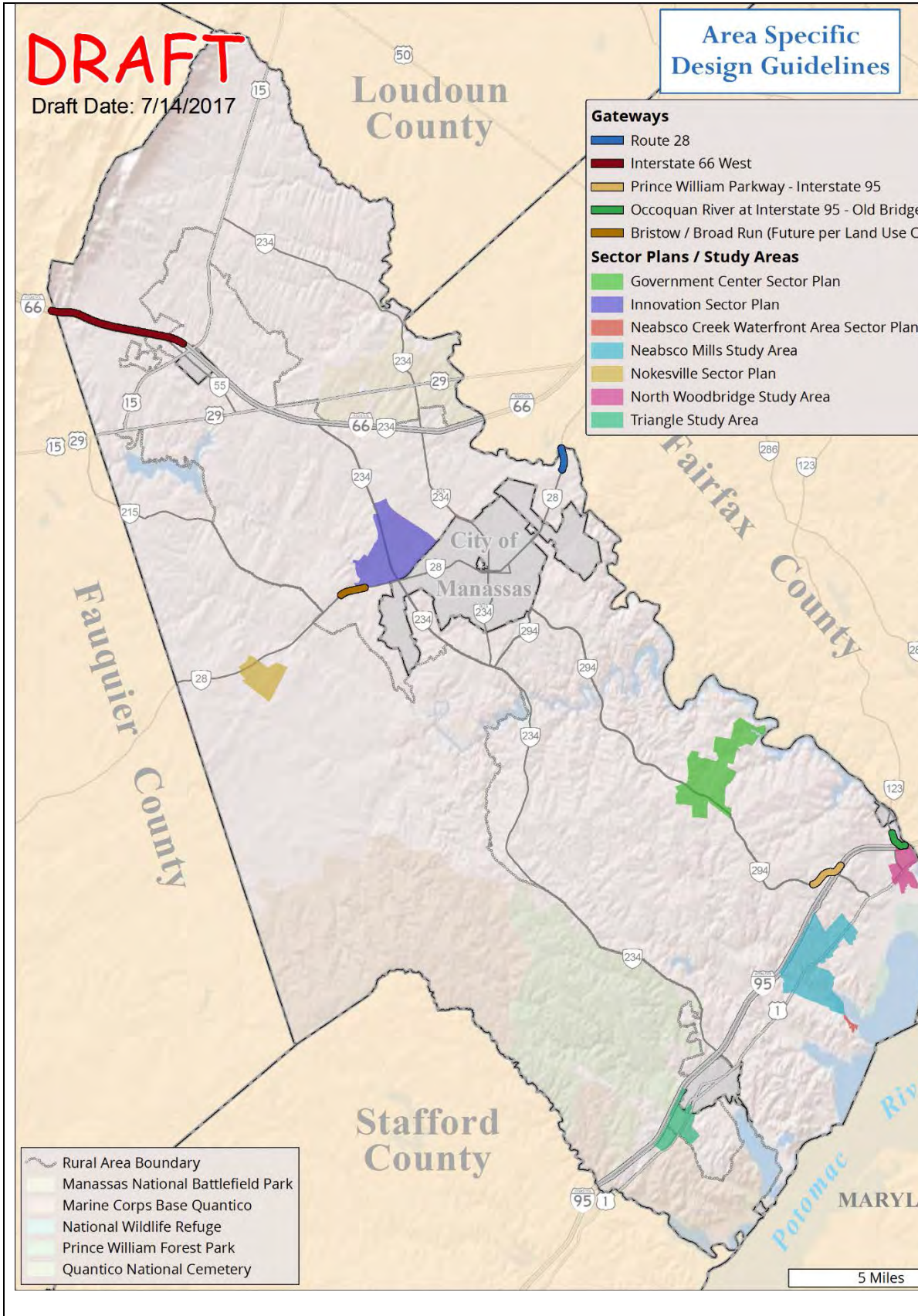


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COMMUNITY DESIGN	
An attractive, well-designed County will attract quality development, instill civic pride, improve the visual character of the community, and create a strong, positive image for Prince William County within the region and the nation. <i>High-quality architecture and urban design – the result of high standards for architecture and site design –</i> will enhance the character of the County, its important natural land features, and its non-residential <u>and mixed use</u> areas. High-quality architecture and site design standards will also assist the County in its efforts to attract and retain significant, non-retail economic development.	Include Mixed Use (Planning)
The intent of the Community Design Plan is to present illustrative guidelines for the effective and efficient design of new residential, commercial, employment, and mixed-use developments and for the redevelopment of existing areas within the County. The Plan applies to both public and private development projects. It should be used by citizens, developers, and public officials in the decision-making process for applications for rezonings, special use permits, public facility reviews, and Comprehensive Plan amendments, as well as for administrative consideration of site and subdivision plans.	
The Community Design Plan contains the goals of community design, <u>specific</u> policies, and action strategies that encourage innovation and imagination in building design and site planning, while ensuring that certain universal principles of good community design are upheld. Certain action strategies advocate changes to existing site development ordinances and standards – in an effort to achieve alternative compliance or a new standard and to foster better, more creative, and more sustainable building and site designs. Other action strategies address ways in which the visual quality of County gateways and major travel corridors can be upgraded.	Edit
The Community Design Plan is supplemented by guidelines that illustrate certain policies and action strategies contained in this chapter and approved by the Board of County Supervisors. The first is the <i>Illustrative Design Guidelines for Office Development</i> . The second is <i>Illustrative Gateway/Corridor Design Guidelines</i> . Both documents outline the general characteristics of the high-quality development the County seeks. <u>In addition, there are multiple planning documents and studies that have area specific design guidelines, as illustrated in the map below.</u>	Added to clarify the areas where specific design guidelines exist.



Map added to clarify areas of the county where specific design guidelines exist.

Reference to Figure 1 label removed.

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.

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As needed, guidelines shall be updated and supplemented with appropriate examples of building and/or site design or other site features that meet the goals and policies of this chapter.	
GOAL: Provide quality development and a quality visual environment throughout Prince William County for residents, businesses, and visitors.	
GOAL: Create livable and attractive communities.	
DES-POLICY 1: Encourage site, architectural, signage, and landscape designs that complement the scale and character of existing and planned development in the Development Area and in the Rural Area.	
ACTION STRATEGIES:	
DES 1.1 Require generalized development plans and master zoning plans – submitted with applications for rezonings, special use permits, and, where appropriate, public facility reviews – to include architectural, sign, lighting, and landscape concepts for all developments. In addition, proposed layouts and architectural elevations for all non-residential projects should be provided. Employ the <i>Illustrative Design Guidelines for Office Development</i> and the <i>Illustrative Gateway/Corridor Design Guidelines</i> , provided as supplements to this chapter, as illustrative examples of the high-quality development the County seeks.	
DES 1.2 For those portions of the Development Area that have been targeted for redevelopment/revitalization – or where such activity is occurring – retain some flexibility in applying illustrative design <u>Design Guidelines for office development and illustrative gateway/corridor design guidelines</u> .	Cross reference with Design Guidelines (Planning)
DES 1.3 Ensure that signs are compatible in design, scale, material, style, and color with other site amenities, with buildings and landscaping, and with both the overall design character of the development in question and any adjacent development.	
DES 1.4 Ensure that signs for individual uses in mixed-use developments are designed and installed consistent with a development-wide sign program.	
DES 1.5 Encourage the development of a hierarchy of appropriately scaled entry and directional signs.	
DES 1.6 Encourage the incorporation of signs into a development’s landscape plans – such as through the use of trees and shrubs to integrate signs into the landscape.	

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DES 1.7 Review the old Highway Corridor Overlay District (HCOB) buffers created prior to February 20, 1996 and classified per HCOB length. Add requirements to these regulations for compliance upon development or redevelopment within these HCOBs.	
DES 1.8 Periodically review the illustrative design guidelines referenced in this chapter and keep these guidelines and graphics current.	
DES-POLICY 2: Encourage site, building, and landscape designs that result in the creation of safe and accessible pedestrian circulation and community open space.	
ACTION STRATEGIES:	
DES 2.1 Encourage the provision of public open spaces and facilities in new developments and locate them close to active uses – commercial, community services, employment, and schools.	
DES 2.2 Encourage the provision of pedestrian links between and among commercial properties, community facilities, and nearby residential neighborhoods.	
DES 2.3 Encourage the clear delineation of pedestrian ways in commercial parking lots and other thoroughfares for public use – through the use of landscaping, lighting, signage, contrasting pavement, pavement marking, or other innovative treatments.	
DES 2.4 Encourage the provision of wider-than-required sidewalks in non-residential areas with high levels of pedestrian activity and ensure that buildings along main streets in town centers are oriented with their fronts adjacent to the sidewalk with parking in the rear.	
DES-POLICY 3: Encourage the use of ridesharing, transit, and other mass transportation through the design of comfortable, safe, and conveniently located facilities.	
ACTION STRATEGIES:	
DES 3.1 Encourage, through community design, the orientation of development to ridesharing, transit, bus, or other mass transportation.	
DES 3.2 Develop design standards for new transportation-related facilities that ensure the creation of safe, comfortable, and attractive places.	
DES 3.3 Provide shelters and route information at bus stops and park-and-ride lots.	
DES-POLICY 4: Upgrade the visual quality of County gateways and major travel corridors.	

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ACTION STRATEGIES:	
DES 4.1 Encourage private developers and public agencies – such as the Virginia Department of Transportation (VDOT) – to provide landscape treatments and appropriate signage and lighting, to improve the scenic quality of highly visible areas along interstate and regional highways and major County thoroughfares – including along County-designated HCODs – at each of the County’s major gateways, in general accordance with the <i>Illustrative Gateway/Corridor Design Guidelines</i> .	
DES 4.2 Prepare illustrative design guidelines for the I-66 gateway at the east end, entering Prince William County from Fairfax County and add to the <i>Illustrative Gateway/Corridor Design Guidelines</i> .	
DES 4.3 Prepare – in cooperation with Virginia Department of Transportation (VDOT) and the private sector, and with plans submitted with applications for rezonings, special use permits, and public facility reviews – landscape plans to improve the scenic quality of highly visible areas along interstate and regional highways and major County thoroughfares, particularly where there are sound walls or along County-designated HCODs.	
DES 4.4 Use indigenous, drought-tolerant plant species for gateway and roadside landscape improvements.	
DES 4.5 Use wildflowers, meadow plantings, and reforestation at gateways and along major travel corridors.	
DES 4.6 Seek grant funding to support forest preservation and reforestation programs for County-owned properties and land within public rights-of-way.	
DES 4.7 Develop projects that will continue to add six linear street miles into the street tree program annually.	
DES-POLICY 5: Establish a hierarchy of community streets with appropriately designed streetscapes.	
ACTION STRATEGIES:	
DES 5.1 Reinforce the hierarchy of streets, through the use of trees, shrubs, ground covers, lighting, and signage that are scaled appropriately to the street’s width and function; in the case of landscaping through the use of evenly spaced street trees adjacent to the street, landscaped focal points at entrances and at the end of streets, with the most intense landscaping along the entrance roads with less on the secondary roads.	

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<p>DES 5.2 Facilitate the location of utility easements within public rights-of-way, and the collocation of utilities within easements, through County coordination with VDOT and local utility companies. Ensure that utility easements and light poles are located so as to do not conflict with the landscaping plan or the planting of trees.</p>	Edit
<p>DES-POLICY 6: Incorporate the Community Design Plan into the County’s development application review and approval processes.</p>	
<p>ACTION STRATEGIES:</p>	
<p>DES 6.1 Require development proposed under rezonings, special use permits, Comprehensive Plan amendments, and public facility reviews, when appropriate, to address the principles and standards of the Community Design Guidelines.</p>	
<p>DES-POLICY 7: Encourage the development of well-functioning residential and commercial areas, and the improvement and enhancement of existing residential and commercial areas.</p>	
<p>ACTION STRATEGIES:</p>	
<p>DES 7.1 Prepare – in conjunction with development proposals and in coordination with the private sector – design guidelines that address landscaping, lighting, street furniture, and signage for the County’s existing commercial areas.</p>	
<p>DES 7.2 Locate, when appropriate, new public buildings and associated public space within mixed-use developments —such as in the 2002 Government Center Sector Plan area, and in the Development Area in general— to encourage economically viable, pedestrian-friendly, mixed-use community centers.</p>	Strikethrough edits clarify and simplify the action strategy. (Planning)
<p>DES 7.3 Encourage consolidation, undergrounding, or relocation, and public or private financing plans to reasonably minimize the negative visual impact of overhead utilities. The plans should include strategies to encourage the participation of property owners.</p>	Edit
<p>DES 7.4 Encourage the consolidation of access points and reconfigure internal circulation drives to improve vehicular and traffic safety, in a manner that does not cause internal congestion. Where and where appropriate, and where such connections will not cause internal congestion, encourage the creation of interparcel connections to permit vehicular movement between adjacent commercial properties.</p>	Strikethrough edits clarify and simplify the action strategy. (Planning)
<p>DES 7.5 Encourage the provision of shelter for pedestrians, complementary building designs (including pad sites), clearly designated building entries, integrated signage (with complementary materials, lettering, color, and complementary lighting) in the design/re-design of building facades visible from public ways.</p>	

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DES 7.6 Encourage the provision of outdoor dining in commercial areas adjacent to eating establishments.	
DES-POLICY 8: Encourage, in appropriate locations, the orientation of new structures towards adjacent rights-of-way, to create well-defined public streets and spaces.	
ACTION STRATEGIES:	
DES 8.1 Encourage the placement of a portion of the required parking in the rear of commercial buildings, with provisions made for convenient and well-defined access from that parking to the building(s) it serves.	Edit per PC work session on 5.3.17
DES 8.2 Encourage the location of new buildings close to the street, to <u>humanize</u> minimize the scale of new arterial and collector streets.	Clarification (Planning)
DES 8.3 Discourage the location of large expanses of parking between public streets and building entrances.	
DES 8.4 Encourage structured parking, <u>where appropriate</u> , to minimize the parking footprint.	Strikethrough edits clarify the action strategy. (Planning)
DES-POLICY 9: Preserve and enhance the unique architectural and landscape qualities of the County’s rural area.	
ACTION STRATEGIES:	
DES 9.1 Encourage commercial development in the Rural Area to provide design compatibility between new and existing development <u>for commercial development in the Rural Area</u> . When there is more than one building on a site, design new commercial structures as a cluster of small-scale buildings to minimize their mass and to blend them in with existing buildings.	Clarification (Planning)
DES 9.2 Use appropriate indigenous plant materials and traditional planting patterns in areas visible from public thoroughfares so that new buildings blend into their landscape surroundings.	
DES 9.3 Provide site plans and building designs that protect the existing visual quality and natural resource values that make these areas distinctive.	

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<p>DES 9.4 Encourage any new development in the Rural Area to preserve the visual character of the rural landscape by providing appropriate building setbacks, with landscaped/preserved open space occupying the setback area; and preserving important scenic resources—hedgerows, mature trees, farm buildings, walls and fences, and open fields.</p>	
<p>DES-POLICY 10: Encourage site plans and building designs for new development that enhance the settings of the County Registered Historic Sites, as identified in the Cultural Resources Plan.</p>	
<p>ACTION STRATEGIES:</p>	
<p>DES 10.1 Design projects to mitigate the adverse effects of development on the architectural and landscape features of archaeological and historic sites and structures when developing properties or adjacent properties.</p>	
<p>DES 10.2 Encourage the preservation of views to and from historic properties through the protection of farm fields, meadows, and woodlands.</p>	
<p>DES 10.3 Incorporate adaptive reuse of historic structures into new developments, rather than demolition, and provide sufficient land around archaeological and historic sites and structures to preserve the integrity of the site in the historic context.</p>	
<p>DES-POLICY 11: Encourage innovative approaches to stormwater management.</p>	
<p>ACTION STRATEGIES:</p>	
<p>DES 11.1 Encourage the use of natural stormwater management designs, such as wet ponds, as opposed to dry detention ponds. Where appropriate, develop systems that function as extensions of a site’s natural drainage properties.</p>	
<p>DES 11.2 Encourage innovative design and landscaping of dry detention ponds.</p>	
<p>DES 11.3 Encourage the design and construction of regional stormwater wet ponds, if allowed by federal regulations. Where appropriate, encourage the provision of these regional facilities as extensions of the County’s public/private open space network.</p>	
<p>DES 11.4 Encourage the use of stormwater facilities as architectural features of new development.</p>	
<p>DES 11.5 Encourage minimizing the amount of impervious surfaces in new development through the use of appropriate low maintenance pervious paving, and the removal of paved areas in existing developments, where applicable, to minimize runoff.</p>	

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DES-POLICY 12: Fit new development into the natural landforms, particularly the existing woodland areas of the County.	
ACTION STRATEGIES:	
DES 12.1 Recognize existing woodland areas as important features for protecting water quality, contributing to the overall beauty of the County, and promoting ecological diversity. Preserve and protect the natural terrain, drainage, and woodland areas in new development in accordance with EN-Policy 4-5, AS-1 and 2 and <u>associated action strategies</u> of the Environment Plan. Preserve historic and champion trees and other specimen trees in cooperation with the County Arborist.	Clarification (Planning)
DES 12.2 Encourage the integration of public open space areas with that of neighboring properties, to avoid fragmentation of open spaces and natural areas.	Edit
DES 12.3 Minimize clearing and cut-and-fill operations. Encourage the placement of buildings so as to minimize the need for excessive grading. Avoid disturbance of steep slopes, particularly up-slope of important natural resource areas, such as perennial streams.	Edit
DES 12.4 Align new roads to follow the natural contours of the land. Incorporate into the DCSM road standards that will allow greater preservation of the natural terrain and woodland areas.	Edit per PC work session on 5.3.17
DES 12.5 Encourage the preservation of existing natural woodland strips of 50 feet in width and greater along collector and higher classification streets to screen views of parking lots and building rears, to maintain a more uniform and continuous streetscape edge along a roadway corridor, and to blend development in with the natural setting of the surrounding areas.	
DES-POLICY 13: Encourage the preparation of plans for the preservation and restoration of landscape resources.	
ACTION STRATEGIES:	
DES 13.1 Encourage re-vegetation that employs appropriate indigenous species and the restoration of natural landscape features, to mitigate the negative impact of development on native plant and animal communities.	
DES 13.2 Encourage re-establishment of the forest edge – where clearing of forested areas is required – through the installation of appropriate edge and understory species.	
DES 13.3 Encourage eradication or control of exotic nuisance plant species, where appropriate.	







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NATURAL VIEWSHEDS POLICIES AND ACTION STRATEGIES	
DES-POLICY 14: Identify significant natural viewsheds in Prince William County.	
ACTION STRATEGIES:	
DES 14.1 Seek funding from federal, state, local, and private organizations in order to secure professional services needed to conduct a Countywide or area-specific viewshed inventory or study.	Edit
DES 14.2 Develop an incentive system for the preservation of viewsheds.	
DES 14.3 Determine whether it is desirable to establish viewshed overlay districts in the County.	

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<p>ILLUSTRATIVE DESIGN GUIDELINES FOR</p>	
<p>OFFICE DEVELOPMENT</p>	
<p><i>The purpose of this guide is to provide a helpful illustration of the objectives and action strategies contained in the Comprehensive Plan Update concerning the promotion of high-quality office buildings within the County. This guide does not preclude any authority of the Zoning Ordinance, the Design and Constructions Standards Manual or the Uniform Building Code. Should there be any questions, please contact the Planning Department at (703) 792-6830 <u>7615</u>.</i></p>	<p>Phone Number Update (Planning) Edit</p>
<p>Introduction</p>	
<p>It is especially important – for Prince William County’s economic development goals and in the interests of an attractive built environment – that the County seeks the highest design standards for new office buildings. Some developers may choose to build a traditional design. In other cases, and in appropriate and/or in key locations in the County, an innovative, modern building may be designed. These high-design pieces of architecture (or “signature” buildings) should be of the highest caliber and should demonstrate the true art in architectural design. Examples of signature buildings in the caliber encouraged are provided on the last page of these guidelines. Whether utilizing traditional or more modern architecture, the design of the office building should generally embody the proper use of the five architectural design fundamentals, including: scale, order, balance, rhythm, and proportion.</p>	<p>Edit</p>
<p>In addition, color and light, sun and shadow patterns are often considered in order to better define the design fundamentals. The building architecture is encouraged to incorporate state-of-the-art building technologies, with the finest design and support facilities available. In response to an ever-changing market, buildings are encouraged to be highly functional and flexible, to create timeless architecture. Streetscape designs are encouraged to emulate the historic and cultural elements found in nearby communities such as Occoquan and Manassas. Samples of building materials, models of the proposed development, and/or computer simulations of building appearance may be requested so that staff, the applicant, the Planning Commission, and the Board of County Supervisors can work together to achieve <u>high-quality office buildings</u> that will enhance the community.</p>	<p>Clarification (Planning)</p>

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<p><i>Examples of the Manassas and Occoquan traditional streetscapes and architecture.</i></p>		
<p>Community Design Objectives</p>		
<ul style="list-style-type: none"> • To create high-quality office buildings that enhance the character of the County, its historical landmarks, important natural land features, and residential neighborhoods. 		
<ul style="list-style-type: none"> • To utilize high-quality architectural and urban design to create a cohesive and attractive environment for people who live, work, and visit the County. This includes coordinating development between neighboring parcels. 		
<ul style="list-style-type: none"> • To enhance the County’s identity and strong sense of community, allowing the County to become a destination rather than a pass-through suburb. 		
<ul style="list-style-type: none"> • To set high standards for architectural and site design by first designing high-quality civic buildings that express both dignity and permanence. These public buildings will then serve to foster high-quality future development, in turn strengthening identity and a sense of place. 		
		
<p><i>Examples of civic buildings that express dignity and permanence.</i></p>		
<ul style="list-style-type: none"> • To discourage the standard “cookie-cutter” design, by encouraging customized, place-responsive buildings. 		

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*Example of a cookie-cutter office development that is **not** place responsive.*



Example of a site-specific office development – Tower element anchors the triangular site.

1.
2.
3.
4.

Building Design

Scale

The perceived scale of a building may be controlled through careful siting and the architectural treatment at the ground level. Scale and visual impact may also be controlled by breaking larger volumes into smaller components through the use of architectural detailing which relates:

- *The size of building parts to the whole building.*
- *The size of building parts compared to the human figure.*
- *The size of the building in relationship to its setting.*



*Example of an office building with **no** scale relationship to its setting.*







*Example of buildings with a **good** scale relationship to the human figure and to each other.*

DES - Strategy 1: Buildings are encouraged to have a human scale at the street level.

DES - Strategy 2: Buildings are encouraged to be articulated vertically as well as horizontally, in order to break up their mass.

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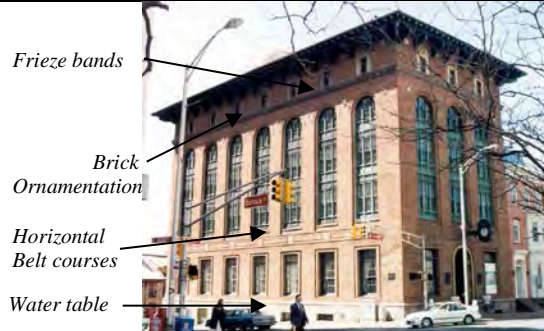
		
<p><i>Good scale relationships – Entrance portico is used to break down the scale of the building at street level.</i></p>	<p><i>Good scale relationships – Notches, offsets, and changes of material are used to reduce the scale of the tower element.</i></p>	
<p>DES - Strategy 3: Buildings are encouraged to utilize simple geometric shapes in plan and in elevation. Buildings are encouraged to be articulated in both plan and vertical elevation, by using offsets to, for example, provide providing recesses or projections of the facade in the form of offsets, notches, openings, balconies, bay windows, etc., or change of material or color of material. The building is encouraged to be articulated through the use of changes in material that create visual character at intervals.</p>		<p>Clarifies the strategy (Planning) Edit</p>
<p>Visual Order</p>		
<p>Order is the consistency of balance, rhythm, and proportion among architectural components. Order understands the relationships between the parts of a building, as well as relationships between buildings in a complex. Traditional Virginia architecture, for example, through the use of distinct symmetries, illustrates hierarchies between central entrances and adjoining wings. In addition, the use of consistent window and door heights can contribute to overall unity of the design.</p>		<p>Edit</p>
		
<p><i>Good visual order - Use of symmetry and emphasis on the entrance</i></p>	<p><i>Good visual order - Use of symmetry and consistent window and door heights</i></p>	
<p><i>Examples of modern office buildings that utilize and creatively interpret traditional architecture</i></p>		

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DES - Strategy 4: The building architecture is encouraged to contain a series of overlain orders. Belt courses, horizontal expressions such as a frieze band, cornice line at the parapet or eave of the roof, water tables, stone or brick ornamentation as well as details at the head and sill of windows are strongly encouraged to achieve these ends.



Good visual order - Several overlain layers are used to create an interesting facade



Good visual order - Examples of horizontal expression Lines

DES - Strategy 5: Building entrances and lobbies are encouraged to be given architectural prominence.



A cylindrical form is used to signify the entrance and give it architectural prominence

DES - Strategy 6: Building wings and additions are encouraged to have similar forms, roof pitch, and architectural character to the main body of the building.

Balance

5.

6.

Balance is achieved through the use of rhythm, repetition, and symmetry.

DES - Strategy 7: The building architecture is encouraged to utilize either a central focal point or, in an asymmetrical facade, more localized symmetry of building parts.

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Good balance - Example of a symmetrical building and how it emphasizes the central entrance



Good balance - Example of an asymmetrical façade that utilizes localized symmetry of window and ground level entranceways

Rhythm

Rhythm is a consistent repetition of building forms or architectural components. Orderly repetition of building elements – including windows, doors, and detailing – contribute to the perceived balance and/or order. By the same token, variations in rhythm are encouraged to be provided to develop visual interest and focal points.

DES - Strategy 8: Buildings are encouraged to incorporate multiple rhythms or cadences (rather than a single repetitive rhythm). These multiple rhythms break down the scale of the building and create an interesting and rich facade.

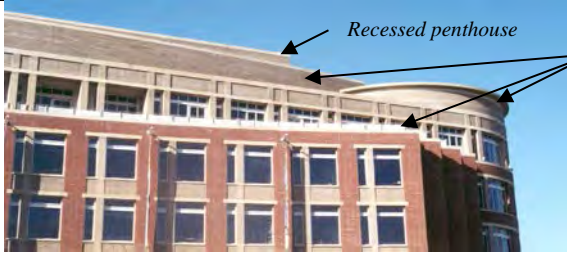


Use of consistent rhythm - Window and door patterns create rhythm while the circular corner portico breaks the rhythm creating an interesting focal point




Proportion

Proportion is the relationship between building elements. This includes window-to-wall ratios (solid-to-void), window width-to-height ratios, and proportions of buildings to distinct environmental features.



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<p>DES - Strategy 9: Buildings are encouraged to reinforce a pedestrian environment with well-defined building elements that create a definitive base, middle section and roof line cornice. This can be done, for example, with three-dimensional elements, such as decorative architectural belt courses and cornices or eaves that project from the building and create interest in the facade. The cornice line is encouraged to be articulated, to create an interesting skyline and building profile, with penthouses or other rooftop equipment integrated into the overall building design and mass. A variety of building heights for a block of development is encouraged, to enhance the skyline.</p>	<p>Edit</p>
<div style="display: flex; align-items: center;">  <div style="margin-left: 20px;"> <p><i>Recessed penthouse</i></p> <p><i>Variety of building heights</i></p> </div> </div> <p>Example of an interesting skyline - Example of an articulated roofline creating an interesting skyline</p>	
<p>DES - Strategy 10: Buildings are preferred to be predominantly masonry (brick, stone, cast stone, pre-cast) and predominantly with punched windows. Exterior openings may vary in size and pattern, but are encouraged to be of vertical proportion of one horizontal to two vertical (1:2). Window to wall ratio of the front facade is encouraged to be a minimum of 30% and a maximum of 50%. The proportion of glass to wall is encouraged to be balanced to ensure a predominantly masonry, punched opening facade. Recessed exterior openings to simulate traditional load-bearing walls are strongly encouraged, since they provide interesting shadow lines on the facade. By the same token, sStrip or ribbon windows are strongly discouraged, since they do not provide an interesting pattern of solid and void on the facade, nor do they provide interesting shadow patterns. Reflective glass is also strongly discouraged, as is aluminum siding, vinyl siding, glass curtain walls, or concrete masonry unit building walls.</p>	<p>Edit</p>

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<p><i>Examples of buildings that clearly demonstrate definitive pedestrian-friendly bases, middle sections, and roof line cornices as well as the correct proportion of solid to void</i></p>		
<p>DES - Strategy 11: All sides of a building are encouraged to be architecturally consistent with the front facade. <u>If necessary</u>, blank, windowless walls are encouraged to be articulated in order to reduce the negative appearance.</p>		<p>Clarification (Planning)</p>
		
<p><i>A windowless second-story creates improper proportion and an overall negative appearance</i></p>		<p><i>Good continuity of building facades - Architectural consistency of all building sides</i></p>
<p><i>Color and Light</i></p>		
<p>Color and light are two of the most important tools for an architect in trying to better define the five fundamental principles of architecture. The proper use of color and light can better define a building's visual order, as well as provide an interesting facade. The improper use of color and light can likewise create a visually and architecturally unappealing building that is a detriment to the natural environment and the community at large.</p>		<p>Edit</p>

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<p>DES - Strategy 12: Flashy and/or showy colors such as electric blue, neon green, bright red, hot pink, etc. are discouraged. These colors may be appropriate for trim details or in signage, or if they are proven to be an integral and important part of the company’s logo and the specific buildings architectural design. The color of all proposed materials should be indicated on the plans submitted at the time the applicant is seeking rezoning approval, according to current Community Design Plan guidelines. Buildings within a land bay shall have compatible, coordinated color schemes.</p>	
<p>DES - Strategy 13: Sun and shadow patterns are encouraged to be considered in the design of the façade, as well as in the <u>and site designs</u> for an entire office development. Shadow patterns should not only be considered on the facade of the building itself, but for the public and private outdoor open spaces created by the building, in order to encourage their use.</p>	Edit
<p>DES - Strategy 14: Lighting fixtures attached to a building or utilized elsewhere on site are encouraged to be architecturally compatible with the building style, with each other, and with the adjacent public streetscape.</p>	
<p>DES - Strategy 15: Sites are encouraged to provide adequate lighting while minimizing adverse impacts, such as glare and overhead sky glow, on neighboring properties. Lighting is encouraged to be used to emphasize a significant building feature, in order to enhance a building’s nighttime image. To this end, m Metal halide or color corrected sodium light sources are encouraged, while non-color corrected low pressure sodium and mercury lights are discouraged.</p>	Clarifies the strategy (Planning) Edit
<p>Additional Examples of Low-Rise Office Buildings</p>	
	
	





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<p>Site Design</p>		
<p>As important as the five architectural principles are to the design of the building itself, site design is equally important to the overall image of the office development. When designing a site, the following principles should be considered:</p>		
<ol style="list-style-type: none"> 1. Fitting the building into the site context. 2. Quality of the public space. 3. Connections to people and their daily needs. 4. Places to walk. 5. Enhancing and protecting the natural environment. 		
<p><i>Fitting the building into the site context</i></p>		
<p>The site should be designed so that the building responds to its surrounding environment. The site context is defined by existing buildings; road networks; natural land features including grades and slopes, trees, and other significant landscape materials; and water bodies (natural and man-made).</p>		
<p>SITE - Strategy 1: Each building is encouraged to be compatible with and enhance the design of adjacent buildings and all other development in the immediate area, so long as the predominant design or design “theme” in the area is one that the County or community wishes to retain, amplify, or encourage.</p>		



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<p>SITE - Strategy 2: Building and site design are encouraged to fit into the existing context. An office building adjacent to the Rural Area should be designed differently from <u>than</u> office building in the Development Area. Additionally, office buildings adjacent to less dense residential areas should be designed to compliment <u>complement</u> the scale and character of the existing development while office buildings next to more “urban” residential areas should be designed to compliment <u>complement</u> the density and character of “urban” development. Site landscaping should utilize indigenous local plant materials. Building materials, roof forms, and scale are encouraged to “take cues” from existing local and/or historical buildings. Buildings should be sited so as to work with the natural slope of the land, not against it, in order to avoid excessive amount of land disturbance leading to destruction of other important land features, including mature trees.</p>	<p>Spelling correction (Planning) Edit</p>
	
<p>Office development that is responsive to the existing site features and the character of the surrounding development by utilizing parking decks instead of large amounts of surface parking in order to preserve existing mature trees and water features.</p>	
<p><i>Quality of the public space</i></p>	
<p>Whether the public space is created within the building or on the exterior of the building, these spaces are what will contribute most to the overall image of the development since theyse are the ones that the public sees and uses. The public associates these spaces with the overall quality of the development.</p>	<p>Edit</p>
<p>SITE - Strategy 3: Create a quality streetscape with enhanced paving, street furniture, landscaping, and lighting that establishes a distinct yet consistent character.</p>	






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 	<p>Replaced with better quality photos (Planning)</p>
<p><i>Examples of a quality streetscape with enhanced landscaping and paving that help to create a distinct and consistent character</i></p>	
<p>SITE - Strategy 4: Buildings are encouraged to be oriented to the street, not to an interior parking area. The building should to be the focus of the site design, not the automobile. Primary entrances are encouraged to face the street with secondary entrances occurring from parking areas on the side or to the rear of the building. Buildings with primary entrances from an interior news <u>access point</u> are strongly discouraged.</p>	<p>Clarifies the strategy. Edit</p>
<div style="display: flex; justify-content: space-around;"> <div data-bbox="151 1213 716 1486">  <p>Improper orientation – Buildings should not orient a secondary façade with mechanical equipment facing the primary street</p> </div> <div data-bbox="760 1184 1308 1486">  <p>Proper orientation – Building oriented to the primary street with parking located in the rear and underground</p> </div> </div>	
<p>SITE - Strategy 5: Open space – in the form of plazas, parks, courtyards, trails, etc. – are encouraged to be incorporated into each site, in order to provide not only recreational amenities but <u>and</u> visual relief at the street level. Where possible, these ground level open spaces should complete linkages between the existing community and any existing or planned regional park system and/or within an overall office/mixed-use project.</p>	<p>Edit</p>



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<p><i>Plazas and courtyards between office buildings provide needed public amenities and enhance the overall public perception of the development</i></p>		
<p>SITE - Strategy 6: On-site parking should be screened from the street. In cases where parking garages are used, garage entrances should be from a secondary roadway. Parking garages are encouraged to be faced with the same quality material and the same design character as the primary building facade.</p>		
<p>SITE - Strategy 7: The number of building and site signs is encouraged to <u>should be</u> restricted <u>to avoid visual clutter</u>. Detached signs and billboards that are typical of highway corridors are strongly discouraged. Streetscapes that become overloaded with signs have a cumulative negative effect on the image of the community as a whole.</p>		<p>Clarification (Planning)</p>
<p>SITE - Strategy 8: Mechanical or HVAC units, trash cans, dumpsters, or any other freestanding building appurtenances should not be visible from the street.</p>		
<p>SITE - Strategy 9: Extensive landscaping should be provided in accordance with a landscape plan prepared by a licensed professional in the field of landscape architecture. All areas of a site not occupied by buildings, parking lots, or other built improvements are encouraged to be intensively planted with trees, shrubs, groundcover, and grasses. Plant suitability, maintenance, and compatibility with the site and construction features are critical factors that should be considered. Plantings are encouraged to be designed with repetition, structured patterns, and complimentary <u>complementary</u> textures and colors and should reinforce the overall character of the community. All dead or dying trees, standing or fallen, should be removed from the site. By the same token, m <u>Maximum</u> effort should be made to save fine or mature specimens, because of size or relative rarity.</p>		<p>Clarification (Planning) Edit</p>
<p><i>Connections to people and their daily needs</i></p>		
<p>Buildings must function well. This includes how a building is sited, its access, and how it relates to the uses of neighboring buildings.</p>		
<p>SITE - Strategy 10: Encourage the extension of street grids into office developments located in office parks or in town centers, in order to create an interconnected network of streets that not only breaks down the scale of development on large parcels but also serves to diffuse traffic at peak hours.</p>		<p>Edit</p>

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<p>SITE - Strategy 11: Interparcel connectors should be provided to help alleviate traffic on major roadways and in conjunction with fire and rescue service objectives. Pedestrian and vehicular connections that should link office uses with residential, retail, and recreational uses, are encouraged to be provided.</p>	<p>Clarification (Planning)</p>
<div style="display: flex; justify-content: space-around;">    </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div style="width: 45%;"> <p><i>Proper site connections - Belmont Town Center: a mixed-use development with office, residential and retail uses within walking distance of each other</i></p> </div> <div style="width: 45%;"> <p><i>Proper site connections - An interconnected network of streets and sidewalks connects office, retail and residential use</i></p> </div> </div>	
<p>SITE - Strategy 12: Building and site signage shall follow the regulations of the Zoning Ordinance. Office buildings in more urban areas should consider the location and size of signage in relation to a pedestrian instead of large-scale suburban-style signage that is oriented to the automobile. Neon and backlit signage should not be used, except in areas where such signage may be otherwise deemed appropriate.</p>	
<p>Places to walk</p>	
<p>Designated places to walk are important not only for safety and health reasons, but also for the enjoyment of the outdoor environment.</p>	<p>Edit</p>
<p>SITE - Strategy 13: Buildings are encouraged, to foster street vitality by maximizing activity along the street and by creating many openings onto the street.</p>	<p>Edit</p>
<div style="display: flex; justify-content: space-around;">   </div> <div style="display: flex; justify-content: space-around; margin-top: 10px;"> <div style="width: 45%;"> <p><i>Mashpee Commons Before: Retail strip mall with retail and professional office; illustrates the domination of the automobile</i></p> </div> <div style="width: 45%;"> <p><i>Mashpee Commons after Redevelopment: A mixed use town center that is pedestrian-friendly</i></p> </div> </div>	
	<p>7.</p>
<p>Enhancing and Protecting the Natural Environment</p>	<p>8.</p>

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<p>The siting of buildings should avoid excessive amounts of cut and fill, as well as clearing of mature trees, wetlands, or other dominant natural land features. A building should fit into the existing landscape, not destroy it.</p>	<p>Edit</p>
<p>SITE - Strategy 14: Excessive amounts of cut and fill and clearing should be avoided, in order to preserve the natural character of the land.</p>	
<p>Signature Building Guidelines</p>	
<p>There are some locations in the County, such as INNOVATION <u>Innovation Park</u>, that may provide the opportunity for a more stylistic approach to building design. These designs are referred to as “signature architecture,” since often they are designed by the best architects of our day and as such carry with them the personal expression of the designer. These signature buildings are also commonly known as “high-design,” since they are recognized in the field as the highest and best designs that today’s architects are creating. Like a painting done by one of the masters, the high-design building must communicate an artistic expression; however, unlike a two dimensional painting, the challenge to the architect is to translate this artistic expression into a three-dimensional architectural form. On occasion signature architecture is specifically inspired by the building’s use, as in the case of Dulles Airport Terminal <u>and its relationship to flight</u> (shown below). It is important to note that although signature buildings do not overtly display a traditional architectural style, high-design buildings still embody the five fundamental elements of architecture. Signature buildings are seen to provide unique interpretations and approaches to scale, rhythm, order, balance, and proportion, as well as color and light. The high-design building – in addition to the architectural fundamentals – utilizes state-of-the-art technological arsenals <u>design</u> that promotes unique structural design and building forms, materials, lighting, and glazing patterns.</p>	<p>Clarification (Planning)</p>
	
	

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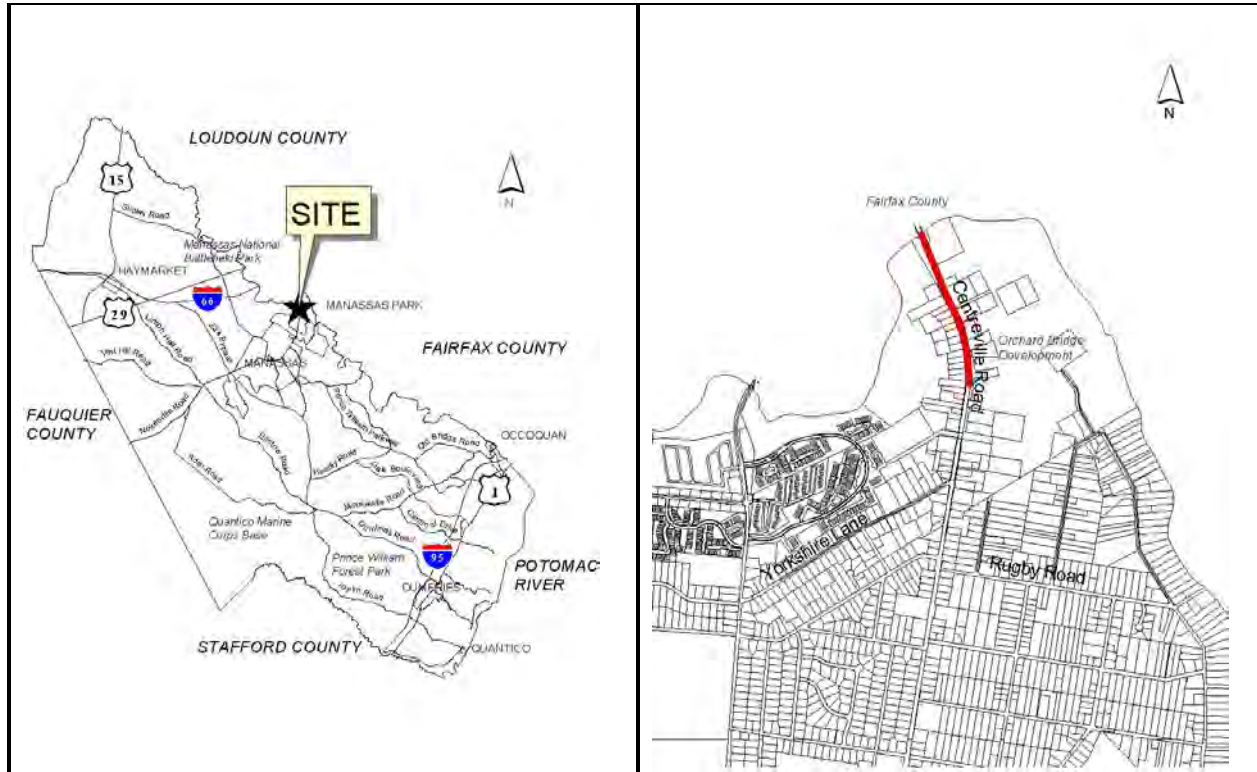
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ILLUSTRATIVE DESIGN GUIDELINE FOR GATEWAYS AND CORRIDORS	
<i>The purpose of this guide is to provide a helpful illustration of the objectives and action strategies contained in the Comprehensive Plan Update concerning the promotion of a high-quality visual environment for County gateways. This guide does not preclude any authority of the Zoning Ordinance, the Design and Constructions Standards Manual or the Uniform Building Code. Should there be any questions, please contact the Planning Department at (703) 792-6830-7615.</i>	Correction (Planning)
Introduction	
The Community Design Plan chapter was added to the Comprehensive Plan with adoption of the 1998 Plan. The intent of this chapter <u>the Community Design Plan</u> is to foster “quality development and a quality visual environment throughout Prince William County.” The goals, objectives, and action strategies of this chapter <u>the Plan</u> are used in the evaluation of various development proposals and the building architecture, landscape, signage, and lighting plans that are provided with the proposals.	Clarification (Planning) Edit
One of the Community Design Plan policies is the <u>to</u> upgrade of the visual quality of County gateways and major travel corridors. The policy is implemented by a series of action strategies. Two of these action strategies are as follows:	Edit
1. Create landscape treatments and install appropriate gateway signage and lighting at each of the County’s major gateways.	
2. Prepare, in cooperation with Virginia Department of Transportation (VDOT) and the private sector, landscape plans to improve the scenic quality of highly visible areas along interstate and regional highways and major County thoroughfares, including County-designated Highway Corridor Overlay Districts (HCODs).	
The Board of County Supervisors and <u>the</u> Planning Commission, in selecting the issues to be studied with the update of the 1998 Comprehensive Plan, were concerned <u>requested</u> that these action strategies be implemented.	Clarification (Planning)
Selected Gateways and Corridors	
Staff selected five <u>six</u> major County gateways for detailed study and recommendations. These gateways include the following:	
<ul style="list-style-type: none"> • Route 28 (Centerville Road), from the Fairfax County boundary to the Orchard Bridge project. • Route 29, from the Fauquier County boundary to Route 15. • Interstate 66 West, from the Fauquier County boundary to the Route 15 bridge. • Prince William Parkway and I-95, from the I-95 off-ramp to Telegraph Road. • Occoquan River/Gordon Boulevard from the I-95 off-ramp to Old Bridge Road. 	

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<ul style="list-style-type: none"> • Bristow/Broad Run Area (Future) 	Added to reflect LU5.1 and to correspond to Figure 1
These gateways were selected because of the opportunities available for re-design of the gateway and corridor areas and the importance of each gateway within the regional or County-wide context.	
Each of these gateways and corridors serves thousands of cars, trucks, buses, and other vehicles daily. Everyone driving or riding in these vehicles forms his or her <u>their</u> own opinion of Prince William County from what can be seen along these corridors. Whether that <u>the</u> impression is positive or negative, that impression <u>it</u> stays with the viewer. It is within the scope of the Comprehensive Plan to actively foster the best image possible, through both public and private improvements.	Per PC Work Session on 5.3.17 Edit
Each of the gateway/corridor designs contains common elements for both public and private improvements:	Edit
<ul style="list-style-type: none"> • The need for attractive, informative signage. 	
<ul style="list-style-type: none"> • The need for extensive landscaped buffers and roadway medians. 	
<ul style="list-style-type: none"> • The need for new or additional pedestrian walkways or trails. 	
<ul style="list-style-type: none"> • The need to buffer or eliminate visual blight. 	
<ul style="list-style-type: none"> • The need for new, additional, or replacement lighting. 	
<ul style="list-style-type: none"> • The opportunity to create, through community design, a “sense of place” for the gateway, the corridor, and Prince William the <u>County in general</u>. 	Clarification (Planning)
The visions and implementation strategies provided <u>for the</u> five significant gateways into Prince William County provide an exciting, bold approach to community design. Funding for these strategies could occur through grants, private development districts, public bonds, rezoning proffers, and/or private funding. Adding new design objectives and action strategies <u>into</u> the Comprehensive Plan signals the County’s desire to upgrade its highway corridors. The various design elements should be incorporated into new or revised Highway Corridor Overlay Districts (HCOs) and should be presented to VDOT for implementation in upcoming highway construction projects.	Per PC Work Session on 5.3.17 Clarification (Planning) Edit

GATEWAY 1: Route 28
Fairfax County boundary to Orchard Bridge
Existing Conditions



Location Map Gateway 1: Route 28

The entrance into Prince William County from the Fairfax County boundary along Route 28 / Centreville Road does not currently utilize the many opportunities available to create a ‘sense of place’ for both residents and visitors. The corridor is entered via a concrete-faced bridge, half in Fairfax County and half in Prince William County. Two large billboards now delineate this County entrance. The roadway is a four-lane, undivided corridor, with turn lanes but no sidewalks or other streetscape treatments. Landscaping is limited to several small, decorative shrubs in front of the gas station and patches of grass along the shoulder. Small businesses, including several antique stores, line the gateway. Automobiles and trucks are routinely parked in front yards along the corridor, with little to no buffers provided. Cobra overhead light fixtures hung from utility poles provide lighting for the roadway. Depending on the time of day, vehicles obtain speeds ranging from 25-50 mph.

Clarification Edit

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View from Fairfax County at Bull Run bridge, looking south



Route 28, looking south toward Manassas

With the lack of a complete streetscape, ~~the~~ high-speeds of vehicles, and ~~the~~ lack of public open space, the street is not pedestrian-friendly and not as enticing as it could be to County visitors and residents frequenting local businesses. Historic Civil War embankments and forts line the riverbed just west of the roadway. Only a small, hidden sign on the Fairfax County side mentions the historic significance of these forts. Located just east of Centreville Road, the Orchard Bridge development – a 750-unit, low-rise apartment complex ~~under construction~~ – is the most significant residential development in the gateway area.

Clarification
(Planning)
Edit

Vision

The vision for the Route 28 gateway into Prince William County from Fairfax County is to create a “village core.” This vision would be achieved through various action strategies that strengthen the existing small village character of the corridor. Opportunities for the creation of a Main Street community complete with historic trails, a walkable and safe, pedestrian-friendly streetscape, new landscape treatments and buffers for uses that create negative visual impact, a public gathering space for visitors and residents, and vibrant retail businesses will be realized.

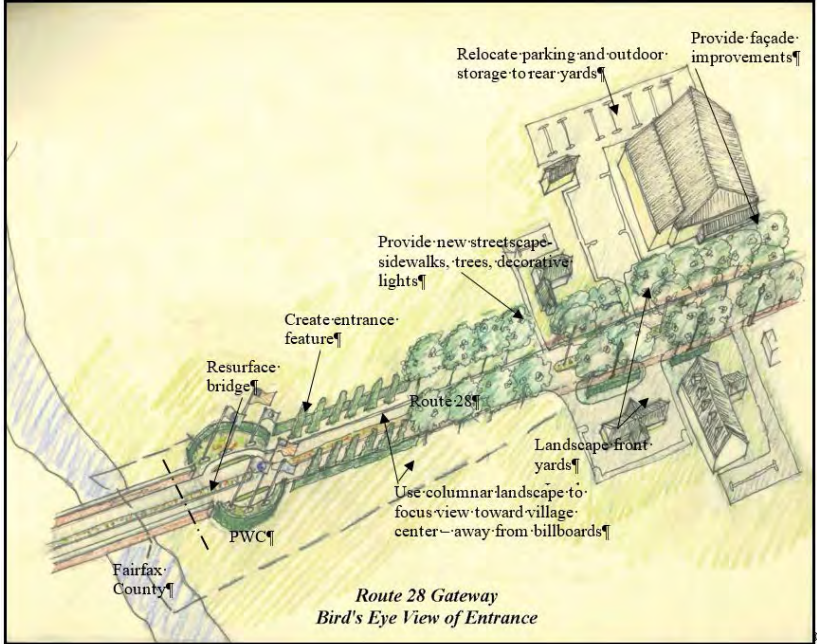
Edit

Implementation

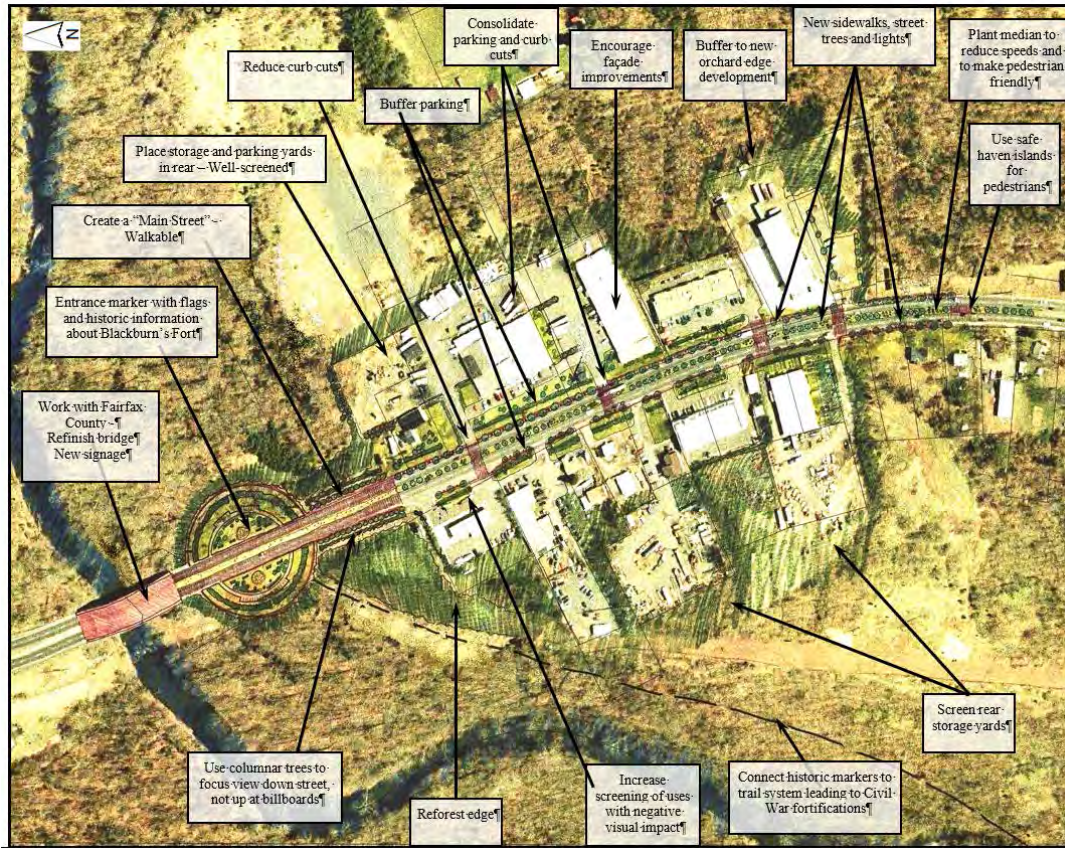
The existing Bull Run Bridge should be improved to provide a more attractive Prince William County entrance feature at this gateway. Resurfacing the bridge or cladding the bridge in a stone or brick material, as well as engraving new welcome signage in the bridge walls, would ~~alert~~ signify to visitors that they are entering a unique place. A park area at the entrance to the village, complete with historic trail markers detailing the importance of the local region and a way-finding directory of local businesses, would help to direct County residents and ~~County~~-visitors to local attractions. Decorative flags in this park area would attract the visitors’ eye down and away from the billboards looming above and announce the entrance to a special and unique village. Implementation of this design should be incorporated into the Rt. 28 Corridor Feasibility Study, on the Yorkshire Small Area Plan, and subsequent studies of the Rt. 28 corridor and Yorkshire area.

Clarification
(Planning)
Edit

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<p>A streetscape program – complete with new sidewalks, street trees and decorative pedestrian-scale light fixtures – would help to attract consumers <u>residents and visitors</u> to the local businesses. Roadside landscaping, a planted median, and a series of columnar trees planted at the gateway entrance would serve several purposes. First, the median would break down the scale of the roadway, making it more pedestrian-friendly. Second, these landscape treatments would alert vehicles that they are entering a pedestrian environment and should proceed cautiously, reducing speed as necessary. Lastly, the columnar planting at the entrance would divert the visitors’ eye from the billboards down the street to the new improvements and the businesses. Pedestrian crossings or safe islands would be located in the median so that pedestrians can safely cross the roadway.</p>	<p>Clarification (Planning)</p>
<p>Parking and storage for local businesses should be relocated to the rear or side of the buildings. Opportunities for common or shared parking areas should be investigated. This would involve working with local business owners and enforcing front yard parking and outdoor storage violations. Removing parking from front yards provides the opportunity for front yard landscaping, thus introducing more green space into a sea of <u>in place of the existing</u> asphalt, concrete, and dirt parking.</p>	<p>Clarification (Planning)</p>
<p>The Orchard Bridge multi-family development will <u>brings</u> new residents to the area requiring local personal services and thus creating new <u>demands</u> for local businesses and shops. The development of a work group composed of local residents and businesses owners, as well as County officials, might be pursued in order to help implement improvements on private property. Since public improvements only serve to create a portion of a gateway image, private improvements are needed to complete the revitalized gateway appearance. To complement the investment in public improvements, a façade improvement program should be begun <u>implemented</u> to help owners better maintain and improve private properties. The development of design guidelines is also key to maintaining the image of the village.</p>	<p>Edit (Orchard Bridge was under construction when this was written)</p>
	

Gateway 1 – Route 28 Aerial View Illustrating Improvements





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Gateway 1 Objectives & Strategies for the Route 28 Gateway	Clarification
<i>Objective: To better define the Route 28 gateway as an entrance into a village core exemplary of a Main Street community.</i>	
ACTION STRATEGIES:	
GATE 1.1 Provide streetscape improvements that emulate a traditional village environment. These improvements would include decorative light fixtures, walkable sidewalks, and shade trees. A planted median and seasonal plantings in existing medians should be added where possible in order to help to visually break down the scale of the roadway and to add to the traditional boulevard or Main Street appearance.	Clarification
GATE 1.2 Provide additional buffers for uses that contribute to negative visual impact including surface parking, automobile repair uses, automobile storage yards, telecommunications equipment, outdoor mechanical equipment, etc. These buffers should completely screen the areas through the use of a manicured evergreen hedgerow, masonry wall such as brick, or a combination of durable fence material and evergreen plantings. Shade trees and landscaped islands should be added to surface parking areas.	Edit
GATE 1.3 Develop design guidelines that regulate setbacks, land use, site design, signage, etc. These guidelines should include the following principles:	
GATE 1.3.a Use several smaller scale buildings instead of fewer larger ones in order to reinforce the character of a small village town, not a suburban strip.	
GATE 1.3.b Use a rural architecture <u>architectural design</u> including gable roofs, earth-tone materials and porches, wood shingles, etc.; and landscape that works with the natural character of the land, etc.	Clarification
GATE 1.3.c Site buildings so that they create opportunities for defined usable open spaces such as courtyards and <u>greenspaces</u> .	Clarification
GATE 1.3.d Encourage business signage that resembles the traditional storefront signage rather than suburban monument style signage.	
GATE 1.4 Provide improved gateway signage welcoming visitors to the area and way-finding (directional) signage to the local attractions. This signage should complement a unique entrance feature that serves to distract the visitors' eyes away from the existing billboards and focuses the view down the road to the village businesses. The entrance feature should provide a pull-off area with information on the local historic areas such as Blackburn's Ford. Create a	Clarification



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<p>designated trail system from the way-finding (directional) signage located at the entrance feature to the <u>Blackburn's Ford</u> area.</p>	
<p>GATE 1.5 Work with all applicable public agencies, as well as private entities, such as local neighborhood/business associations, to develop maintenance plans prior to implementation of the proposed improvements. Ensure that the necessary maintenance for all of the improvements is provided including, but not limited, to seasonal landscaping where applicable, regular litter collection, street cleaning, and general landscaping and lighting maintenance. Work with private property owners to improve the maintenance of private <u>their</u> properties in order to enhance the overall appearance of the gateway.</p>	<p>Clarification (Planning) Edit</p>
<p>GATE 1.6 Work with Fairfax County and the Virginia Department of Transportation (VDOT), as well as any other applicable governmental agencies to make improvements to the Bull Run Bridge. These improvements should include resurfacing the bridge walls and resurfacing the road with paving materials that would slow vehicles down as they enter the village area.</p>	
<p>GATE 1.7 Restrict future land uses that require outdoor storage of vehicles or other types of equipment. Create and enforce zoning laws to not allow <u>restrict</u> front yard storage of vehicles. Encourage screening of parking areas and 20% interior lot landscaping. Encourage the relocation of parking areas to the rear of properties so that parking is not visible from the street and so that a better landscaped front yard area can be created along the entire Main Street corridor.</p>	<p>Edit</p>
<p>GATE 1.8 Encourage small town village uses such as retail shops providing local services and products. These uUses may include a small markets, drycleaners, bakeries, florists, coffee shops, or sit-down restaurants.</p>	<p>Edit</p>
<p>GATE 1.9 Encourage shared parking in order to reduce curb cuts and enhance the pedestrian environment.</p>	
<p>GATE 1.10 Provide incentives for improvements to existing private properties. This may include developing a façade improvement matching grant program.</p>	
<p>GATE 1.11 Investigate the need to expand the width of the commercial area in order to increase development opportunities for rehabilitation/expansion of existing businesses or new businesses.</p>	
<p>GATE 1.12 Before design development begins, investigate the historical plans of the early Yorkshire settlement as well as any Civil War sites in the gateway. Incorporate this information with the proposed gateway improvements in order to develop a more comprehensive village plan that is based upon historical precedents and one that better highlights important historical sites, <u>better</u>.</p>	<p>Edit</p>

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<p>GATE 1.13 Investigate the possibility of placing overhead utilities underground or relocating them to the rears of properties in order to eliminate visual clutter along the roadway.</p>	
<p>GATE 1.14 The County shall work with a <u>the</u> local community and/or citizen association prior to the design development phase of the project in order to develop project details and to confirm a shared vision for the gateway.</p>	Edit
<p>GATEWAY 2: Route 29</p>	
<p><i>Fauquier County boundary to Route 15</i></p>	
<p><i>Existing Conditions</i></p>	
	
<p><i>Location Map</i></p>	
<p>The Route 29 corridor is composed of local businesses catering to the agricultural market and the rural population living in the immediate area. Antique shops, a market, a gas station, and several other businesses compose the small business district. An existing HCOD does little to regulate the overabundance of signage. The existing four-lane undivided roadway is slated to become a six-lane divided corridor. Very little formal landscaping is present and only a standard green VDOT sign identifies the entrance into Prince William County. Likewise, there is no recognition of the Buckland Historic District – the most significant site feature of the gateway – other than a small sign at the entrance to the district itself. Another unrecognized natural site feature, a</p>	<p>ORD. NO 09-265 Amended the Thoroughfare Plan to reduce Lee Highway (Route 29) from six lanes to four lanes between the Fauquier County Lane and James</p>

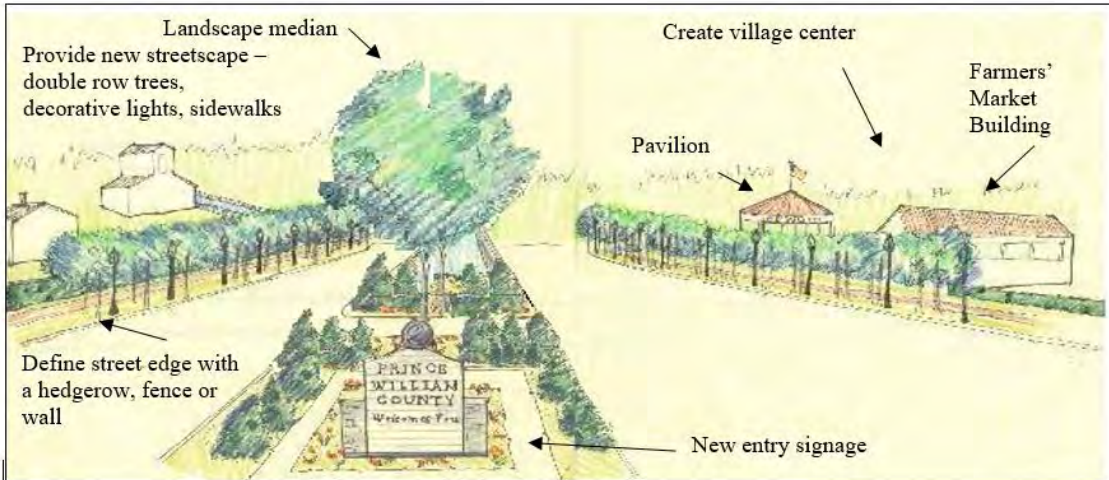
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<p>stream bed, part of Broad Run, runs through the gateway, but has no trail system for formal public access.</p>	<p>Madison Highway (Route 15).</p>
<div style="display: flex; justify-content: space-around;"> <div style="text-align: center;">  <p><i>Route 29, looking east at entrance</i></p> </div> <div style="text-align: center;">  <p><i>Route 29, looking east toward Route 15</i></p> </div> </div>	
<p>Several high-end residential projects, located east of Route 15, have been developed. There is also a mixed-use, moderate-density project in the REC area along the eastern side of the Route 29/Route 15 intersection. Together these moderate- to high-density projects provide an interesting juxtaposition with the Rural Area at the entrance to the gateway.</p>	
<p><i>Vision</i></p>	
<p>The vision for the Route 29 entrance into Prince William County is to build upon the existing historic community of Buckland, accentuating the small town, rural nature of the corridor while at the same time demonstrating a high-quality design example and ‘sense of place’ for the future residential and commercial projects developing east of Route 15.</p>	
<p><i>Implementation</i></p>	
<p>As an initial step in improving the corridor, the Route 29 HCOD standards should be revised in order to include a set of design guidelines that illustrate how to preserve the better qualities of the corridor which add to its rural character. These include mature tree stands, open fields, stream valleys, and natural earthworks. In addition, these standards should illustrate how the Development Area east of the gateway should recall the architectural integrity of the Buckland Historic District through both building architecture and the siting of newly built structures. The existing HCOD standards regarding the regulation of signage should be better enforced and updated, in order to eliminate the negative visual clutter the existing signage creates throughout the gateway.</p>	

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<p>In addition to strengthening and enforcing the HCOD standards, streetscape improvements should be installed when the road is widened to six lanes. The proposed road widening plan calls for a divided roadway; however, there is enough room to leave a planted median which would act to break down the large scale of the roadway. Typically, six-lane divided roadways are reserved for roadways with the scale and speed of a highway. The use of a planted median would maintain the rural nature of the corridor rather than creating a high-speed highway corridor. New decorative light fixtures, sidewalks, and a double row of street trees at the curbside should be utilized to make the roadway more pedestrian-friendly and to again reduce the scale of the pavement. Landscaping along the roadside – in the median and on private property – should be incorporated as part of the roadway improvement plan. Bicycle and equestrian trails should be created as possible, particularly along the streambed. A unique entrance feature, including new entry signage, should be created in the median area that complements the Buckland Historic District architecture as well as the high-quality residential projects farther east along Route 29.</p>	
<p>At the time the roadway is widened, a better functioning interchange at the Route 29 and Route 15 intersection should be developed. A pull-off area could be incorporated here, including way-finding (directional) signage to guide visitors to local attractions and historic markers that illustrate the cultural importance of the Buckland Historic District to the history of the County.</p>	
<p>Since the area just east of the gateway is quickly becoming populated with new high-end residential developments, this gateway area can become the hub of commercial and civic activity. Thought should be given to creating an outdoor public gathering space – such as a farmer’s market complete with an open-air plaza to accommodate fairs, equestrian shows, or theatrical performances. Locating this community space near the stream bed and including a trail system with riverwalk and pavilions, would help both visitors and residents to appreciate the varied natural features of this western gateway.</p>	
<p>In addition to the public improvements noted above, the County should work with local property owners to revitalize private property. This may entail developing a façade improvement or landscape enhancement program for existing businesses. These enhancements might be provided by the private property owner in exchange for a matching grant or partial property tax relief. Design guidelines should be developed in order to maintain consistency of design throughout the corridor, a rural architectural vocabulary and high-quality building and site design that complement Buckland.</p>	

The County should also encourage the development of small, local businesses in the CEC area at Route 29 and Route 15, such as restaurants, small general food or gourmet stores, or specialty stores such as tack shops that provide needed services and goods for the nearby residential, farming, and equestrian communities. Large-scale “big box” retailers should be discouraged since they are not appropriate given the scale of the historic Buckland community, nor do they complement the rural nature of the gateway. This development should not be the typical suburban-strip but rather should utilize a series of smaller structures arranged on the site to create defined usable greens or courtyards. Businesses along the corridor that require outdoor storage of vehicles should be discouraged or at the least mandated to buffer or screen these outdoor areas and locate them to the rear of the property.



Due to historical documentation and analysis completed in the Buckland Historic District area, this exhibit is no longer appropriate or context sensitive. This will be reviewed as part of the Route 29 Small Area Plan.

Gateway 2: Route 29 View from Entrance Looking East

Gateway Objectives & Strategies for the Route 29 West Gateway

Objective: *To create a gateway in a historic community that complements the rural village of the Buckland Historic District while at the same time provides an entrance to the developing equestrian and high-quality residential and commercial projects in the Development Area along the corridor.*

ACTION STRATEGIES:

GATE2.1 Upgrade the Route 29 HCOD standards. These standards should include design guidelines for new developments in the Development Area that will lead to the construction of buildings that preserve the agricultural integrity of the existing landscape. The following principles should be incorporated with the HCOD standards:

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GATE2.1.a	Use several smaller scale buildings that are sited to preserve the better qualities of the land including mature tree groves, earthworks and water forms.	
GATE2.1.b	Use rural/equestrian architecture, including gable roofs, and earth-tone materials that work with the natural landscape, etc.	
GATE2.1.c	Design new buildings that emulate the architectural integrity of local historic structures including most importantly the Buckland Historic District.	
GATE2.1.d	Site buildings so that they create opportunities for defined usable open spaces, such as courtyards and greens, as well as trails for walking, biking, and riding horses.	
GATE2.1.e	Restrict future commercial signage that adds to the visual clutter along the corridor and create a commercial signage program that works with existing businesses to enhance the design character of the corridor.	
GATE2.1.f	Since rears of buildings facing Route 29 will distract from the proposed public improvements, ensure that only front facades face the roadway.	
GATE2.1.g	Provide frontage roads as needed for the Development Area that will allow buildings to front Route 29 without the need for direct access to the roadway.	
GATE2.1.h	Provide a sidewalk to better define the street environment by maintaining a consistent front yard building line of 50 feet. A consistent pedestrian edge should be created by buildings, a hedgerow, tree line, fence or other wall type.	
GATE2.1.i	Encourage the development of rural village land uses in the REC area, such as retail shops providing local services and products. These businesses may include a bakery, coffee house, florist, dry cleaners, gourmet market as well as other equestrian related businesses such as a tack and feed shops. “Big box” retailers and strip shopping centers should be avoided in this gateway area.	
GATE2.2	Provide incentives for improvements to existing private properties. This may include developing a façade improvement matching grant program.	
GATE2.3	Provide streetscape improvements to present a cohesive site design for existing and proposed developments. These improvements should serve to create a traditional village atmosphere by including new decorative light fixtures, street trees, walkable sidewalks, safe pedestrian street crossings, and bicycle and equestrian trails.	
GATE2.4	Encourage the relocation of front yard parking and vehicle/equipment storage areas to the rear of properties. Outdoor storage and parking should be well screened with landscaping such that it is not visible from the street. Use restrictions should prohibit outdoor storage of vehicles or other equipment.	
GATE2.5	Encourage the consolidation of commercial parking areas in order to reduce curb cuts and enhance the pedestrian environment.	

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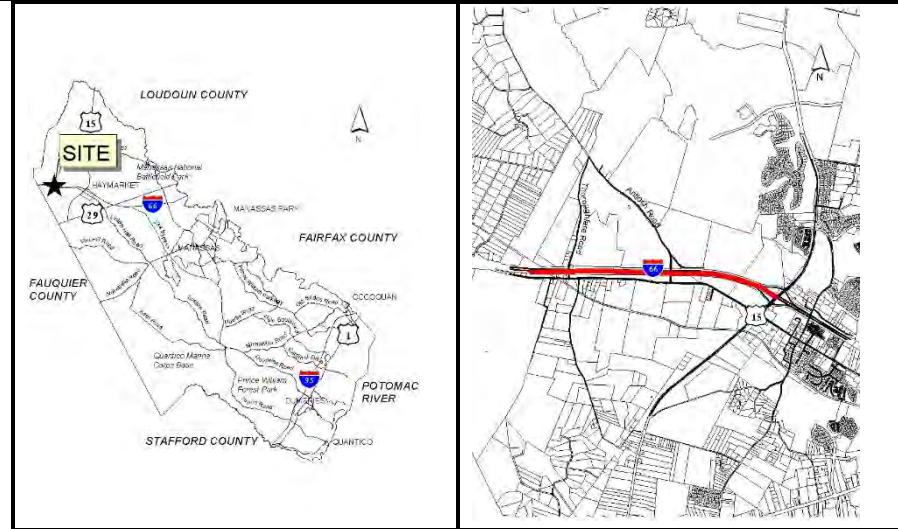
<p>GATE2.6 Provide a unique entrance feature that complements the Buckland Historic District as well as the proposed high-quality residential and commercial projects further east along the Route 29 corridor. This entrance feature should include ‘welcome’ signage and way-finding (directional) signage to local attractions.</p>	
<p>GATE2.7 Provide for an outdoor public facility which demonstrates to the visitor the character of the western, rural part of the County. This facility may include an open-air plaza for a public farmer’s market, equestrian shows, craft fairs, etc. A bandstand pavilion may also be located in this community space to allow for outdoor performances.</p>	
<p>GATE2.8 Provide improvements to the bridge spanning the Lake Manassas tributary in order to make it more attractive, including resurfacing in local quarry stone and engraved signage or artwork.</p>	
<p>GATE2.9 Work with all applicable public agencies, as well as private entities, such as local neighborhood/business associations, to develop maintenance plans prior to implementation of the proposed improvements. Ensure that the necessary maintenance for all of the improvements is provided, including but not limited to seasonal landscaping where applicable, regular litter collection, street cleaning, and general landscaping and lighting maintenance. Work with private property owners to improve the maintenance of private properties in order to enhance the overall appearance of the gateway.</p>	
<p>GATE2.10 Plant the median in order to help break down the scale of the roadway. The plantings should be planted informally at the western end of the gateway and gradually be placed in more formal planting arrangements as you approach the Development Area further heightening the idea of a transition from the Rural to the Development Area. Develop a landscape plan for the median areas as well as the roadsides that complements the existing vegetation.</p>	
<p>GATE2.11 Work with landowners in the Development Area with property directly abutting Route 29 to provide enhanced architecture and siting of buildings as well as a cohesive development on the northern and southern sides of the road, to include similar landscaping and building materials and design.</p>	
<p>GATE2.12 Develop a better functioning interchange at the Route 29 and Route 15 intersection. Public lands that are a part of the intersection should be well landscaped. Consider a pull-off area and monument detailing the historic nature of the surrounding development and its importance to the history of Prince William County. Way-finding (directional) signage should be included as a part of this monument area so that visitors can locate the local historic sites and attractions.</p>	

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<p>GATE2.13 Utilize existing site features, including the Broad Run stream bed to create opportunities to enjoy the rural scenery and reasons for visitors to come to the area. This may entail building equestrian and bike trails, as well as pedestrian walks and pavilions along the stream bed.</p>	
<p>GATE2.14 Investigate the historical plans of the early Buckland settlement as well as any Civil War sites in the gateway before design development begins. Incorporate this information with the proposed gateway improvements, to develop a more comprehensive village plan that is based upon historical precedents and one that better highlights important historical sites.</p>	
<p>GATE2.15 Investigate the possibility of placing overhead utilities underground or relocating them to the rears of properties in order to eliminate visual clutter along the roadway.</p>	
<p>GATE2.16 The County shall work with a local community and/or citizen association prior to the design development phase of the project in order to develop project details and to confirm a shared vision for the gateway.</p>	

GATEWAY 3: Interstate 66 West

Existing Conditions



Location Map

The gateway as it exists today is limited to a small green VDOT sign that lets the visitor know ~~he has~~ they have left Fauquier County and ~~has~~ have entered Prince William County. The corridor is very rural in nature, with farms to either side of the roadway. The historic Beverley Mill sits at the gateway entrance, holding the possibility for a unique historic entrance feature; however, there is no signage indicating its significance or the future work envisioned for the property. Several concrete and steel bridges cross Interstate 66. A large unplanted median is located in the center of the four lane roadway along with an approximate 100-foot buffer along both sides of the roadway. This stretch of Interstate 66 is not at ~~this time~~ planned for widening at this time. The Development Area begins just before the Route 15 interchange. Several moderate density mixed-use projects are planned to flank the roadway at this intersection.

Clarification
(Planning)



I-66 west, looking east toward Development Area



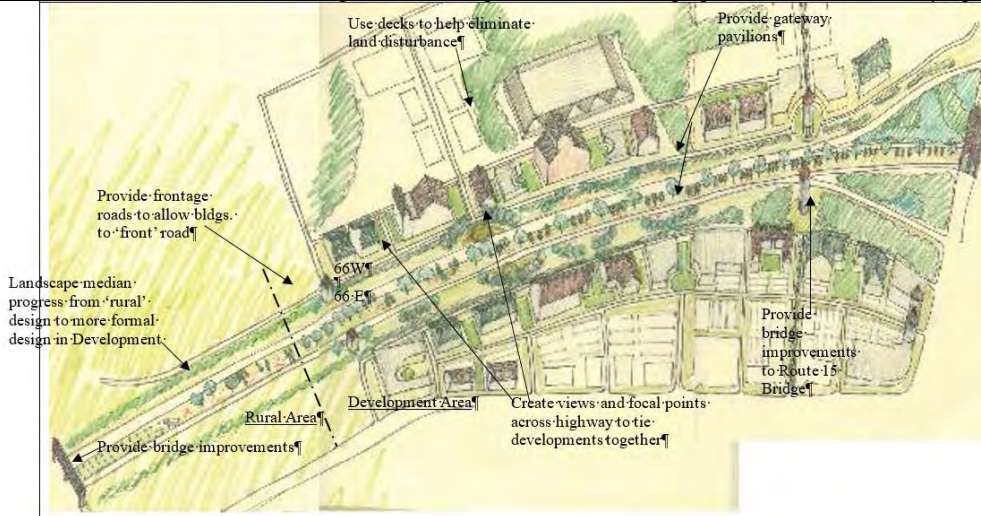
View at entrance, Beverley Mill

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<i>Vision</i>	
The challenge for the Interstate 66 West gateway is to create a corridor that illustrates both the rich agricultural history of the western portion of the County and yet demonstrates the transition to the high-quality mixed-use projects being developed at the Route 15 intersection.	
<i>Implementation</i>	
The entire gateway should provide a transition from the Rural Area to the Development Area. This transition is perhaps illustrated best through the use of landscaping. A minimum 100-foot buffer should be maintained along both sides of the roadway. Plantings in this buffer should be informal at the western part of the gateway – to reflect Community Design Plan strategies for the Rural Area – and should progressively be planted in a more formal fashion as one approaches the Development Area. Varied plantings can be used to illustrate this progression. Reforestation of bare spots in mature tree stands should be utilized to reinforce the existing character of the land. Planting the median will help break down the scale of the roadway. Since the medians are so large, they also provide an opportunity for public artwork and way-finding (directional) signage directing visitors to local attractions and businesses.	
As important as the use of landscaping is to the visual improvement of this gateway, the building siting and architecture of the projects surrounding the Route 15 intersection are equally if not more important. Since rear of buildings with outdoor mechanical equipment and trash receptacles facing Interstate 66 will detract from the proposed public improvements, frontage roads should be utilized parallel to Interstate 66 that will allow buildings to present a front façade to Interstate 66 without the need for direct access from the roadway. Design guidelines should be developed for these new developments that will help regulate building architecture and siting. Building architecture should emulate the traditional, rural nature of existing structures in the area including the historic Beverley Mill. The siting of buildings is equally important. Parking should not face Interstate 66, and parking decks or shared parking arrangements should be provided. Among other benefits to less surface parking, existing mature tree stands can remain, helping to preserve the natural, rural character of the land. The new developments to the north and south of the road should be coordinated, so that entry features on both sides of Interstate 66 can be provided and so that both appear as a unified project. The high-quality office design guidelines, prepared for <u>provided in</u> another section of the Comprehensive Plan update , are an example of the type of guidelines that should be created for this corridor.	Clarification (Planning)
A unique feature of this gateway corridor is the three concrete and steel, blue-painted bridges at the major intersections. These bridges provide an opportunity to enhance the gateway since they act as major thresholds into the County. A	Clarification (Planning)

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bold move – such as resurfacing these bridges in the traditional stone found in the area similar to Beverley Mill – will aid in illustrating the strength, integrity, and character of the corridor. These bridges can then be engraved with welcome signage, artwork, and/or the County logo/seal.



Gateway 3: Interstate 66 West Bird's Eye View

Gateway Objectives & Strategies for the Interstate 66 West Gateway

Objective: *To provide a transition from the Rural Area to the Development Area that illustrates both the rich agricultural history of the region along with and the new proposed and approved mixed-use projects.*

Clarification (Planning)

ACTION STRATEGIES:


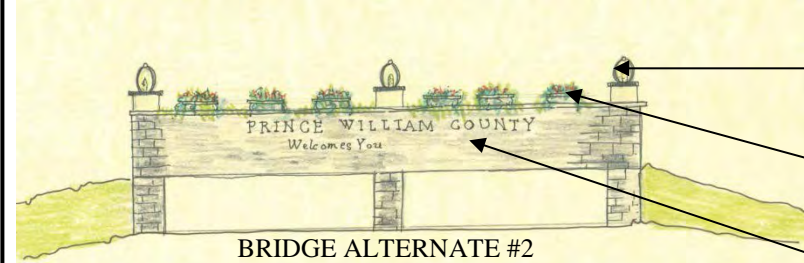
GATE3.1 Given the close proximity to the Rural Area, create design guidelines for new developments in the Development Area that help preserve the agricultural integrity of the existing landscape. These guidelines should include the following objectives:

Renumbering edits for all action strategies

GATE3.1.a Use several smaller-scale buildings – in the Development Area along Interstate 66 – that are sited to preserve the scenic qualities of the land, including mature tree groves, earthworks and water forms.

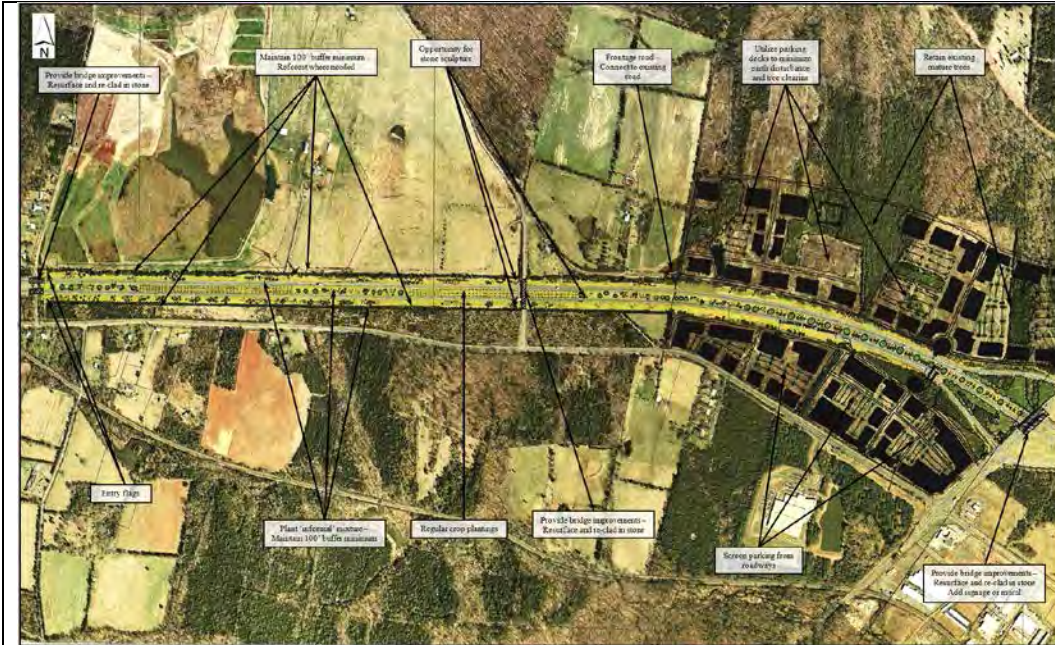
GATE3.1.b Use rural architecture, including gable roofs, earth-tone materials, etc. that work with the natural landscape.

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<p>GATE3.1.c Design new buildings that emulate the architectural integrity of local historic structures including most importantly Beverley Mill.</p>	
<p>GATE3.1.d Site buildings so that they create opportunities for defined usable open spaces such as courtyards, greens spaces, and trails.</p>	Edit
<p>GATE3.1.e Employ the High-Quality Office Guidelines in the Development Area at the Interstate 66/Route 15 intersection to ensure better building and site design.</p>	
<p>GATE3.2 Maintain a 100-foot buffer on both sides of Interstate 66. Reforest bare spots in existing mature tree stands on the northern side of the roadway and provide new evergreen tree stands of similar species on the southern side of the roadway. Develop a landscape plan for the median areas as well as the roadsides that complement the existing vegetation.</p>	
<p>GATE3.3 Provide bridge improvements to the existing three bridges in the gateway corridor in order to make them more attractive including resurfacing in local quarry stone, replacing any guard rails with more decorative screening, and engraved signage or artwork.</p>	
 <p align="center">BRIDGE ALTERNATE #1</p>	<p>Possible covered bridge</p> <p>Resurface bridge w/masonry-stone emulating Beverley Mill</p>
 <p align="center">BRIDGE ALTERNATE #2</p>	<p>Title clarification edit</p> <p>Provide decorative lights</p> <p>Provide decorative planters</p> <p>Provide engraved signage</p>
<p align="center">Gateway 3: Interstate 66 West Options for Bridge Improvements</p>	
<p>GATE3.4 Work with all applicable public agencies, as well as private entities, such as local neighborhood/business associations, to develop maintenance plans prior to implementation of the proposed improvements. Ensure that the necessary maintenance for all of the improvements is provided;</p>	<p>Clarification edits (Planning)</p>

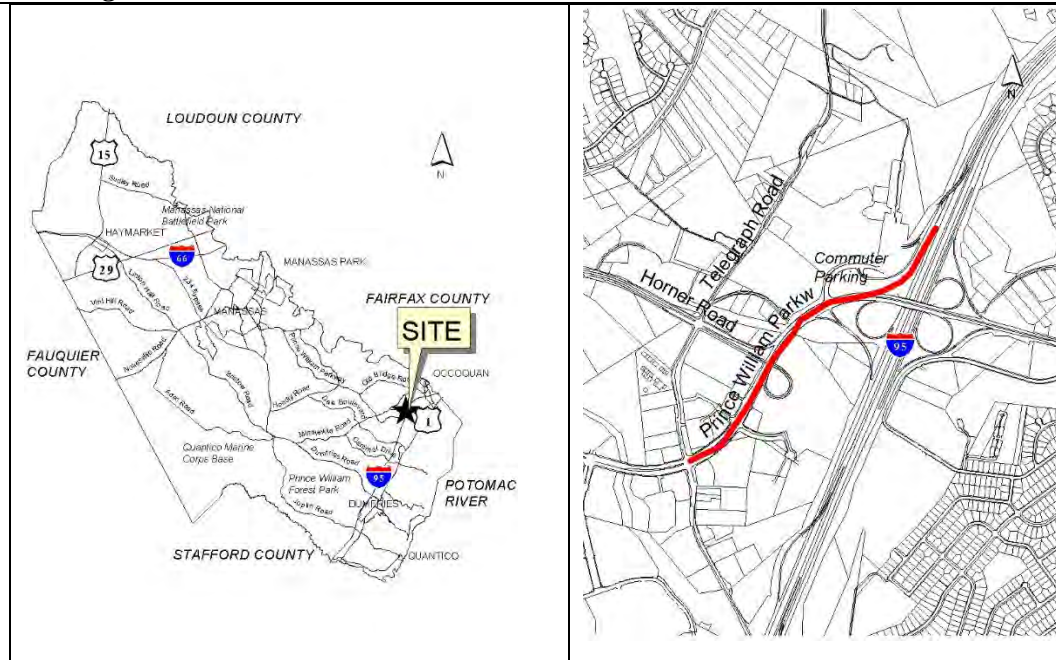
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<p>including, but not limited to, seasonal landscaping where applicable, regular litter collection, street cleaning, and general landscaping and lighting maintenance. Work with private property owners to improve the maintenance of private <u>their</u> properties in order to enhance the overall appearance of the gateway.</p>	
<p>GATE3.5 Plant the median in order to help break down the scale of the roadway. The plantings should be planted informally at the western end of the gateway and gradually be placed in more formal planting arrangements as you approach the Development Area further heightening the idea of a transition from the <u>Rural Area</u> to the Development Area.</p>	<p>Clarification (Planning)</p>
<p>GATE3.6 Work with landowners in the Development Area with property directly abutting Interstate 66 in order to provide enhanced architecture and siting of buildings as well as a cohesive development on the northern and southern sides of the road. This cohesive development should include similar landscaping and building materials and design as well as gateway pavilions on both sides of Interstate 66.</p>	
<p>GATE3.7 Since <u>the</u> rears of buildings facing Interstate 66 will distract from the proposed public improvements, provide frontage roads for the Development Area that will allow buildings to front Interstate 66 without the need for direct access to the roadway.</p>	<p>Clarification (Planning)</p>
<p>GATE3.8 Screen all parking areas from the view of Interstate 66 either with buildings, heavily planted landscape screens, berms or other earthworks, or a quarry stone wall reminiscent of Beverley Mill.</p>	
<p>GATE3.9 Utilize parking decks or underground parking in conjunction with shared parking arrangements in order to avoid large amounts of earth disturbance and damage to mature stands of trees. Where parking decks cannot be used, heavily landscape surface parking areas at a minimum of 20% in order minimize their impact on the rural landscape.</p>	
<p>GATE3.10 The County shall work with a <u>the</u> local community and/or citizen association prior to the design development phase of the project in order to develop project details and to confirm a shared vision for the gateway.</p>	<p>Edit</p>



GATEWAY 4: Prince William Parkway – Interstate 95

Existing Conditions



Location Map

The entrance to Prince William County from I-95 is the most traveled gateway in the County and, as such, is perhaps the most important in portraying a positive, attractive County image. Potomac Mills is the County’s most visited tourist attraction and has often been cited as the top tourist attraction in Virginia.

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Because of its popularity, smaller retailers have grown around the mall, including several fast food and sit-down restaurant chains, to serve the customer base. Immediately exiting I-95, the visitor encounters a large surface parking area, the park-and-ride commuter lot. No landscaping or perimeter buffering is provided. The lot has been expanded. Next is the Horner Road Bridge, with a small brick welcome sign and seasonal plantings flanking the right side of the bridge. Medians are under-planted and there is little to no roadside planting in the public areas along the curbside. Immediately south of the Horner Road Bridge, several big box retailers and restaurant franchises frame the roadway, along with a gas station. Varied roadside plantings are provided in front of the retail and restaurant areas, as well as a berm to help to screen parking; however, there is no consistent streetscape or landscape design for the gateway. An asphalt trail is provided on the western side of the Parkway. There is no pedestrian connection from the park-and-ride lot to the large surface parking area of the retailers north of the Parkway; missing an opportunity for shared parking and the reduction in asphalt paving at the gateway entrance.



Prince William Parkway, looking west toward Horner Road Bridge



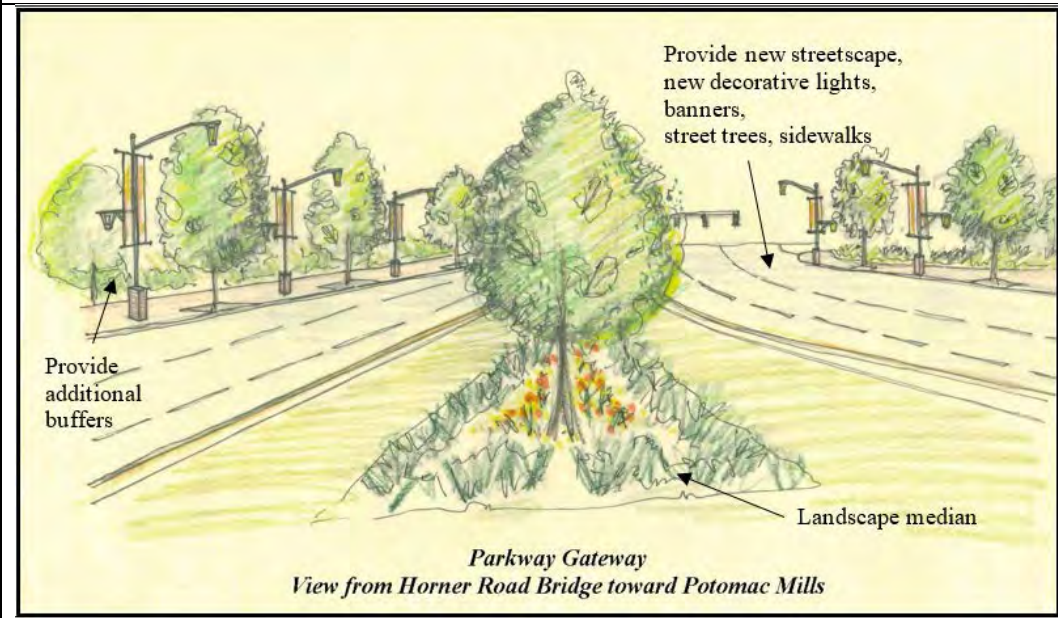
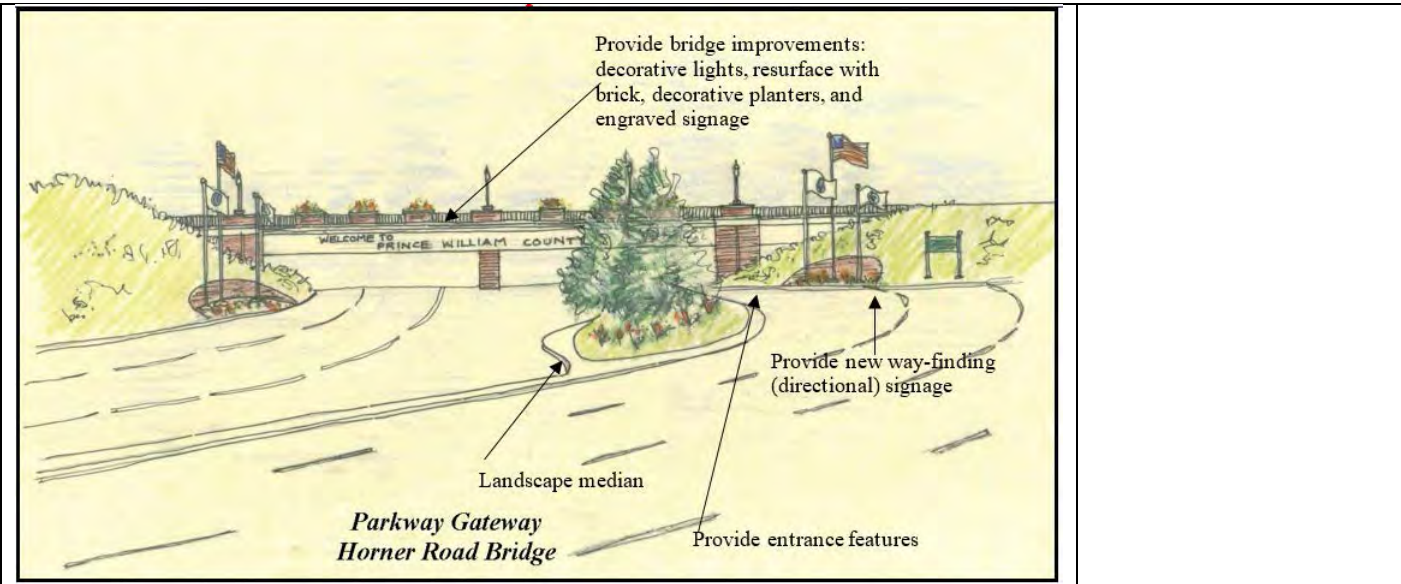
Prince William Parkway, looking west toward Potomac Mills

Vision

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<p>Since Potomac Mills is a major visitor attraction for the County, improvements to the entrance from I-95 along Prince William Parkway are one of the major keys to improving the County’s image. Because of the retail nature of the corridor, this gateway can perhaps handle bolder architectural gestures and landscaping. By the same token, this gateway must make a strong statement communicating the variety of experiences the County has to offer all types of visitors - a day at the ball park, a shopping extravaganza, a variety of restaurant experiences, and a step back in time to visit a historic battlefield, among others.</p>	
<p><i>Implementation</i></p>	
<p>The boldest move in the redesign of the Parkway gateway would be to upgrade the Horner Road Bridge. The bridge is a literal portal into the County and should be treated in a grand manner. The first step would be to resurface the bridge in brick or other high-quality masonry material and to place decorative elements on the bridge, including new light fixtures, engraved welcome signage, and planters. The existing sign to the right of the bridge is not grand enough and should be replaced with two unique monuments and flags flanking both sides of the bridge, in order to better announce the entrance into the corridor.</p>	<p>Clarification (Planning)</p>
<p>As important as the variety of retail experiences is to the visitor and the Potomac Mills Mall, the variety of building designs, signage, and landscaping does little to express integrity and high-caliber of design. Stricter design controls regarding building setbacks, site design, and signage control need to be added to a set of district guidelines in order to establish some level of consistency and high-quality retail design for future developments in the gateway. Streetscape improvements are another tool to providing consistency throughout the gateway. New sidewalks, street trees at the curbside in addition to those on public property, new decorative street and pedestrian-scale light fixtures with decorative banners and planters, and improved median plantings are the first steps in creating a sense of place in the public realm by tying the existing varied architecture and landscaping together.</p>	
<p>Way-finding (directional) signage locating local tourist attractions is missing from the Parkway streetscape. This directory of activities is important to let visitors know where they can find what they need and more importantly, <u>that</u> there is more to experience in the County.</p>	<p>Clarification (Planning)</p>
<p>Buffering of parking areas and uses that create a negative visual image – such as warehouse delivery areas and gas stations – is crucial to supporting the proposed public improvements. The key area to buffer is the commuter parking lot since this is the very first area visitors see upon exiting the highway. Increased interior lot landscaping will help to set an important standard for other private parking lots in the gateway area. Future restriction of land uses that require large amounts of truck and vehicular parking or storage at the roadside should be considered.</p>	

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ACTION STRATEGIES:

GATE4.1 Add stricter design controls to the Parkway Overlay District that regulate setbacks, land use, site design, signage, etc. in order to foster better design of both buildings and open spaces.

GATE4.2 Provide streetscape improvements to create a traditional urban atmosphere including new sidewalks, street trees, and decorative light fixtures. These improvements should serve to unify the varied landscape and architecture of the corridor, as well as reinforce the retail nature of the gateway and surrounding neighborhood.

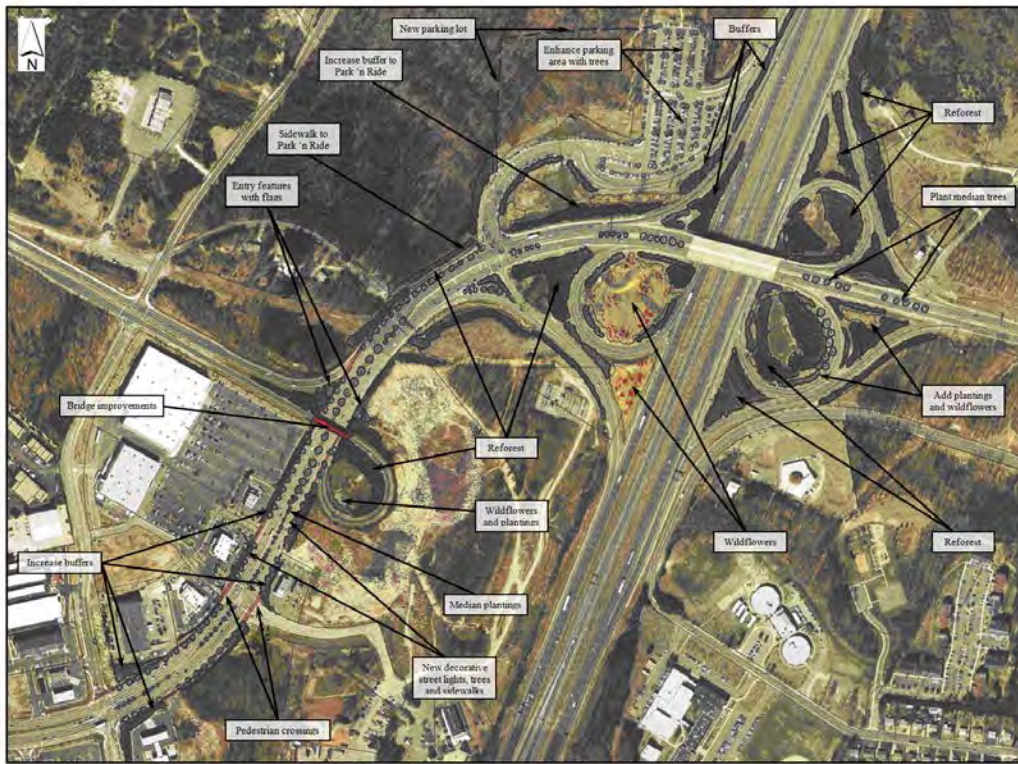
Action strategies have been renumbered for this gateway.

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<p>GATE4.3 Provide enhanced landscape in medians, jug-handles, and along the roadside, as well as increased buffers for automobile-oriented uses and large areas of surface parking that front the Parkway. Reforest roadside areas as needed.</p>	<p>Edit</p>
<p>GATE4.4 Make aesthetic improvements to the Horner Road Bridge. These improvements should include resurfacing the bridge walls with brick and providing new engraved “welcome” signage on the bridge walls, new decorative light fixtures and planters.</p>	
<p>GATE4.5 Provide unique monuments and flags at both sides of the bridge to better announce the entrance into the corridor.</p>	
<p>GATE4.6 Restrict future land uses that require outdoor storage of vehicles or other types of equipment.</p>	
<p>GATE4.7 Work with VDOT and PRTC to provide better buffering of the existing commuter parking lot, as well as interior lot landscaping and way-finding (directional) signage. Connect to the existing sidewalk coming from Telegraph Road to the commuter parking area in order to enhance pedestrian safety along the Parkway. Encourage shared parking arrangements for weekday commuters.</p>	
<p>GATE4.8 Provide way-finding (directional) signage that helps to locate visitor attractions, County offices, and the park and ride lot.</p>	<p>Edit</p>
<p>GATE4.9 Work with all applicable public agencies, as well as private entities, such as local neighborhood/business associations, to develop maintenance plans prior to implementation of the proposed improvements. Ensure that the necessary maintenance for all of the improvements is provided, including, but not limited to, seasonal landscaping where applicable, regular litter collection, street cleaning, and general landscaping and lighting maintenance. Work with private property owners to improve the maintenance of private properties in order to enhance the overall appearance of the gateway.</p>	
<p>GATE4.10 Work with landowners with property directly abutting the Parkway to provide enhanced architecture and siting of buildings, as well as a cohesive development on the eastern and western sides of the roadway, including similar landscaping and building materials.</p>	<p>Clarification (Planning) Edit</p>
<p>GATE4.11 The County shall work with a local community and/or citizen association prior to the design development phase of the project in order to develop project details and to confirm a shared vision for the gateway.</p>	<p>Edit</p>

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Gateway 4 - Prince William Parkway – Interstate 95 Aerial View Illustrating Improvements



GATEWAY 5: Occoquan River at Interstate 95 – Old Bridge Road

This Gateway has been renumbered.

Existing Conditions



Location Map

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This gateway is the smallest of all these investigated in the Comprehensive Plan Update, but it is also one of the most heavily traveled in the County. Upon exiting the off-ramp from I-95, two gas stations and a fast-food restaurant frame the view toward Old Bridge Road. The commuter parking lot located at the intersection of Gordon Boulevard and Old Bridge Road is not screened and contains no interior lot landscaping. The large surface parking area thus becomes a visual blight on the streetscape. With no formal streetscape plan for the roadway, no planted medians, and no real pedestrian access for commuters utilizing the public parking lot, Gordon Boulevard is not a boulevard in the traditional sense. The roadway does not contain any way-finding (directional) signage for visitors. Most importantly the one key design feature missing is that there is no physical or symbolic connection to the most prominent site feature of the gateway, the Occoquan River.

Clarification Edit



Gordon Boulevard, looking north from I-95 Bridge



Gordon Boulevard, looking north toward Town of Occoquan

Vision

Improvements to the Occoquan gateway would be designed to communicate the importance of the Occoquan River to the region and how it has and continues to impact local heritage and culture. The gateway would illustrate the rich maritime heritage of the area by figuratively incorporating a piece of the river into the streetscape.

Implementation

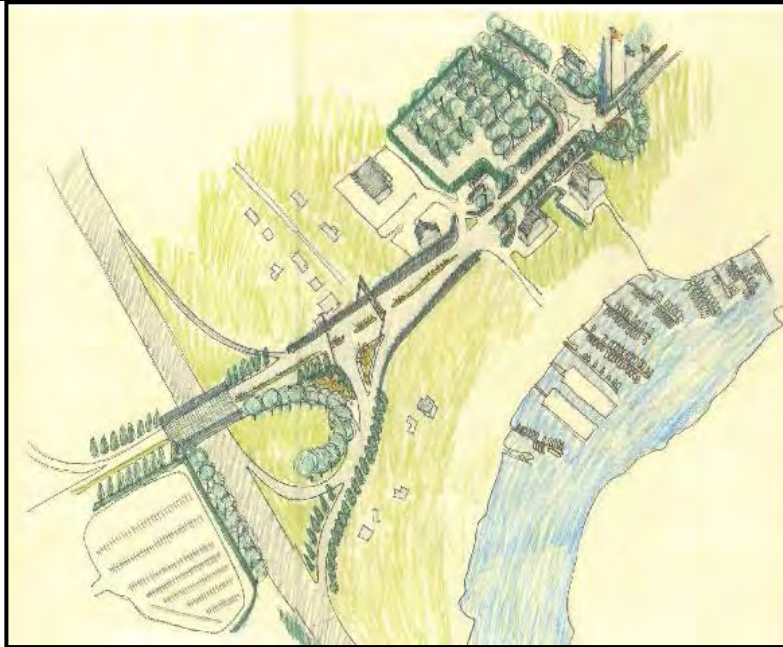
Streetscape is important in creating a traditional boulevard. Streetscape improvements would include new decorative light fixtures, sidewalks, and landscaping in medians and along the roadway. These elements should recall the streetscape features of the local area, including those of the Town of Occoquan. The light fixtures and the landscaping should convey a maritime design theme; in order to strengthen the relationship and proximity the corridor has to the Occoquan River.

Edit

Equally important is the buffering of uses that contribute to a negative visual impact – the commuter parking area, automobile repair and fueling stations, outdoor mechanical equipment including telecommunications stations, and vehicle or boat storage yards. Buffers should completely screen these areas

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<p>through the use of masonry walls, manicured hedgerows, or a combination thereof. The commuter parking lot on the corner of Old Bridge Road and Gordon Boulevard is an underutilized site; however, if the lot is to remain in place, in addition to screening the perimeter of the parking area, landscape islands and decorative light fixtures should be added to the interior of the lot in order to improve its appearance.</p>	
<p>The existing overhead traffic light structure located at the off-ramp can be used to hang new welcome and directory signage. As it stands today, the structure presents a blank face to the visitor traveling in an easterly direction and is therefore a missed opportunity for attractive, informative signage. The use of way-finding or directional signage is crucial to letting the visitor know where local attractions can be found and also the multitude of activities the County has to offer. Currently, there is no directory or way-finding signage of any significance located at the entrance to the gateway.</p>	Edit
<p>There is the need for a focal point for the gateway in order to draw the visitors' eye down the roadway, past the gas stations, fast-food restaurant, and the commuter lot. In order to focus the viewer's eye toward this new site feature, a new wall, opposite the existing retaining wall located on the northern side of the roadway, should be built. These walls can be surfaced with a material that again carries the maritime theme, such as wooden piers.</p>	Edit
<p>Perhaps the grandest of the Occoquan gateway improvements, the focal point to be created at the intersection of Old Bridge and Gordon will make a lasting impression on the visitor. An ideal focal point would be a fountain, soaring high into the air, recalling the maritime heritage of the area and figuratively bringing a piece of the river up to the gateway. Decorative flags and seasonal landscaping would add to this unique feature. This feature can be created within the boundaries of the existing median. In addition to this focal point area, another point of interest can be created across from Old Bridge Road. The inclusion of a historic marker detailing the importance of the river to the early development of the community and its continuing importance would make for an interesting lookout area for those seeking a view down to the river. Way-finding (directional) signage in these areas should also be considered in order to help the visitor locate local attractions.</p>	



Gateway 5: Occoquan Bird's Eye View of Entrance

Gateway Objectives & Strategies

Occoquan Gateway

Objective: *To build upon the maritime theme developed from the Occoquan River, in order to illustrate ~~to visitors~~ the rich heritage of the local area to visitors.*

Edit

ACTION STRATEGIES:

GATE5.1 Provide streetscape improvements that emulate a traditional “town” environment found in neighboring historic communities, such as Occoquan. These improvements would include replacing the existing cobra head street lights with decorative street light fixtures, walkable sidewalks, and shade trees. Coordinate ~~the~~ new light fixtures with those already existing in the commuter parking area, including providing more decorative poles and fixtures for the existing lamps in the parking area. Consider driver safety along the roadway when choosing ~~the~~ new light fixtures. A planted median and seasonal plantings in existing medians should be added where possible ~~in order~~ to help ~~to~~ visually reduce the scale of the roadway, adding to a traditional boulevard or Main Street appearance.

Edit

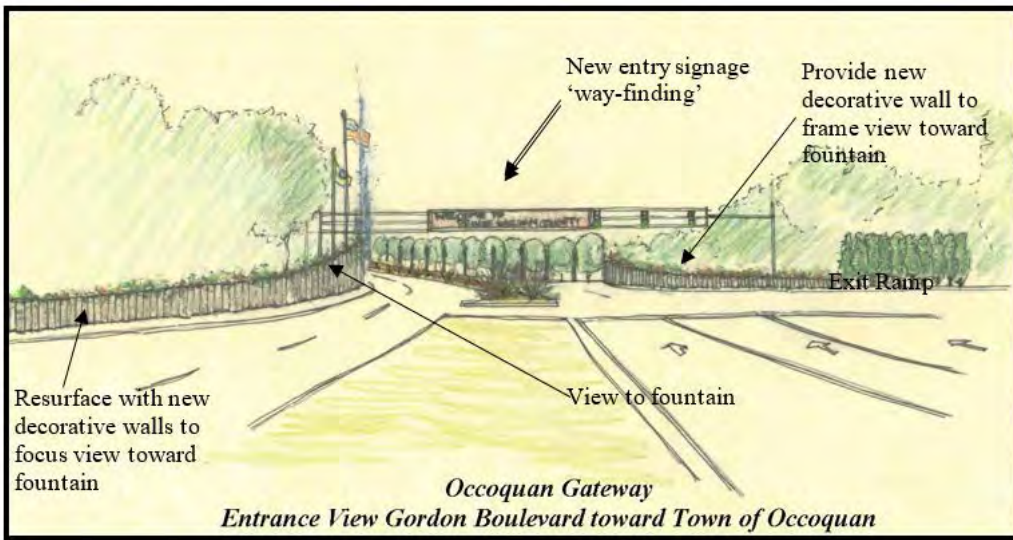
GATE5.2 Provide additional buffers for uses and/or properties that contribute to negative visual impacts including surface parking, automobile repair uses, automobile and/or boat storage yards, telecommunications

Edit

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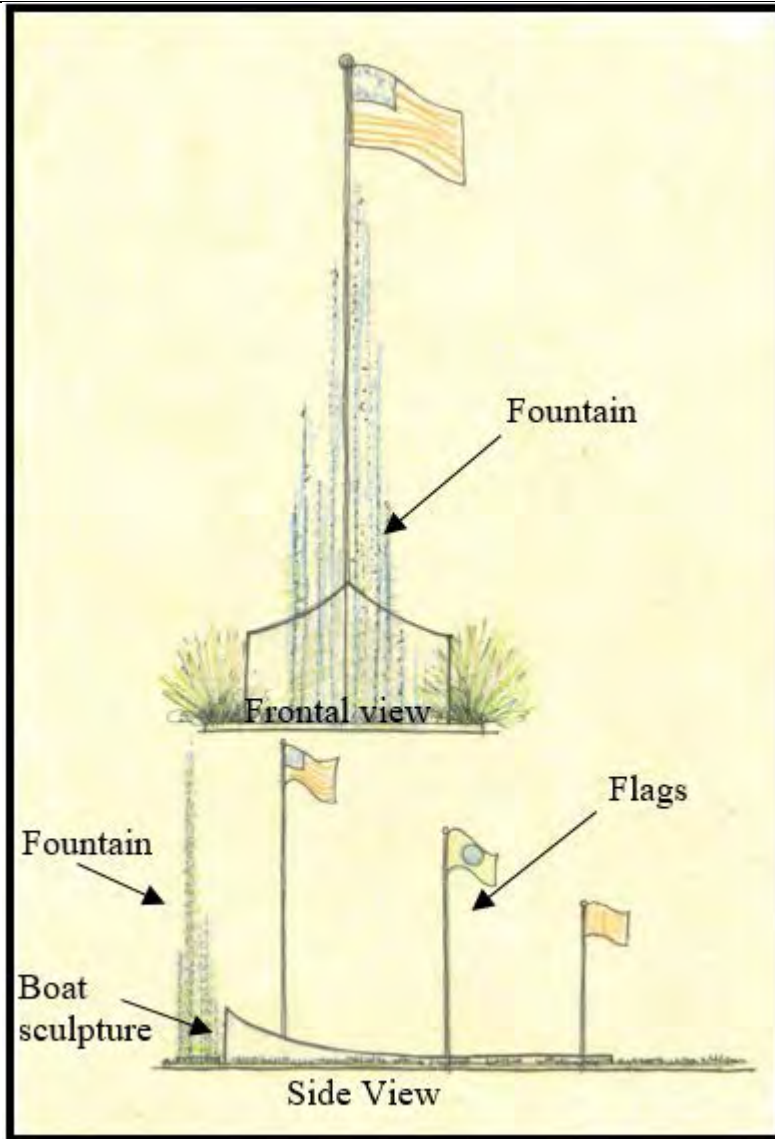
equipment, outdoor mechanical equipment, etc. These buffers should completely screen the areas through the use of a manicured evergreen hedgerow, masonry wall such as brick, or a combination of durable fence material and evergreen plantings. Buffers that enhance the maritime theme while providing the necessary screening are preferred. Shade trees and landscape islands should be added to surface parking areas.

GATE5.3 Utilize the existing overhead signage/traffic light structure at the I-95 exit ramp to provide improved gateway signage welcoming visitors to the area and way-finding (directional) signage to the local attractions.



GATE5.4 Provide a focal point at the intersection of Gordon Boulevard and Old Bridge Road that will ~~act to~~ concentrate the view from the entrance of the gateway to the exit of the gateway. This focal point should illustrate the maritime theme of the local area and may include a fountain, abstract features of a boat, including sails, masts and flags, as well as seasonal plantings. Sculptures can also be used to communicate the theme. The focal point should be grand enough ~~to be able~~ to draw the visitors' eyes from the entrance of the gateway down Gordon Boulevard to the local attractions.

Edit



Gateway 5: Occoquan Fountain Detail

GATE5.5 Work with all applicable public agencies, as well as private entities, such as local neighborhood/business associations, to develop maintenance plans prior to implementation of the proposed improvements. Ensure that the necessary maintenance for all of the improvements is provided, including, but not limited to, seasonal landscaping where applicable, regular litter collection, street cleaning, and general landscaping and lighting maintenance. Work with private property owners to improve the maintenance of private properties in order to enhance the overall appearance of the gateway.

Clarification
(Planning)
Edit

GATE5.6 Provide an attractive focal point and/or historic marker at the termination of Old Bridge Road. This area may provide enough room for visitors

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to pull off the roadway in order to read the marker and to gain a view down to the Occoquan River.	
GATE5.7 Provide improvements to the I-95 bridge in order to make it more attractive, including resurfacing the bridge walls, replacing the standard screening with a more decorative screen, and resurfacing the road with paving materials that would act to slow vehicles down as they enter the gateway.	
GATE5.8 Provide a decorative wall surface on the existing retaining wall and add a new wall opposite the existing on the north side of Gordon Boulevard. This wall should aet to focus views down to the focal point at the intersection of Gordon and Old Bridge and to provide the necessary screening from the rears of properties that face Gordon Boulevard. During design development, investigate how to best graffiti-proof both walls, including not only the materials to be used, but how landscaping and other defensive design techniques may be applied to deter defacing of the wall surface.	Edit
GATE5.9 Investigate the possibility of placing overhead utilities underground or relocating them to the rears of properties in order to eliminate visual clutter along the roadway.	Edit
GATE5.10 The County shall work with a local community and/or citizen association prior to the design development phase of the project in order to develop project, details and to confirm a shared vision for the gateway.	Edit

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CULTURAL RESOURCES	
	Note: Comments reflect a combination of Architectural Review Board (ARB), Historical Commission, and staff
<p>Prince William County is a community with a well-defined character, rich in tradition, that takes pride in its past and respects understands the value of its rich history. and is a community with a well-defined character. Prince William The County promotes the identification, evaluation, and protection of cultural resource sites throughout the County, as well as the tourism opportunities these sites present. As a result, residents and visitors have an enhanced awareness of the important links of present-day Prince William County with its rich heritage and significant cultural resources – historic buildings, archaeological sites, historical sites and districts, and cemeteries, and gravesites.</p>	Edit
<p>The primary intent of the Cultural Resources Plan is to facilitate and encourage the identification and protection of the County’s significant cultural resources – architectural <u>and archaeological sites, cemeteries, battlefields, cultural landscapes, museum objects, archival materials,</u> and historical sites and districts. The secondary intent is to enhance awareness of the history of the County and the importance of preserving properties that are significantly linked with that history. <u>Prince William County defines significant resources as those classified as County Registered Historic Site (CRHS) and those that have been determine eligible for listing or are listed on the National Register of Historic Places (NRHP). In order to be listed on the NRHP a resource must meet one or more of the following criteria: (a) that are associated with events that have made a significant contribution to the broad patterns of our history; or (b) that are associated with the lives of persons significant in our past; or (c) that embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose component may lack individual distinction; or (d) that have yielded, or may be likely to yield, information important to pre-history or history; and it must possess at least several of the following seven aspects of integrity: location, design, setting, materials, workmanship, feeling, and association. To be eligible or listed on the NRHP resources must be significant and possess integrity.</u></p>	<p>Expanded list of cultural resources that we currently plan for.</p> <p>Significant resources defined for this will also be added to the Glossary for clarification purposes. This definition was previously shown in Footnote 1 of CR1.1</p>
<p>The Cultural Resources Plan sets out the goals and policies of the County as they relate to cultural resources. It presents action strategies to implement each policy. The policies and action strategies are intended to guide the Board of County Supervisors, as well as boards, commissions, staff, citizens, and the development community.</p>	

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References to applicable state and national historic/cultural resources criteria and other relevant material for each appropriate policy are identified.	
Prince William County promotes the identification, evaluation, and protection of cultural resource sites throughout the County. To facilitate the identification and protection of known significant properties that <u>Properties known to have significant</u> cultural resource values <u>value</u> worthy of preservation, are given the land use classification of County Registered Historic Site (CRHS) is used in the Comprehensive Plan. Such designated sites have been systematically evaluated and their significance has been determined using specific, recognized criteria. The Long-Range Land Use Plan describes the CRHS land use classification, and the Long-Range Land Use Plan Map shows the location of CRHS properties.	Clarification
The Cultural Resources Plan expands on the CRHS land use classification included in the Long-Range Land Use Plan by providing additional specificity and definition. In addition, Figure 3 the map – entitled “High Sensitivity Areas and County Registered Historic Sites” – locates each CRHS shown on the Long-Range Land Use Plan Map, and Appendix A Table 1 – entitled “County Registered Historic Sites” – provides site-specific descriptions and identification of the appropriate primary uses for each designated <u>classified</u> CRHS. The Prince William County Historical Commission (Commission) continues to develop a list (Appendix A Table 2) of those historic properties within the County that, although they may not have the consent of the property owner at the time, are determined by the Commission to be an eligible County Registered Historic Site. <u>The Prince William County Architectural Review Board (ARB) is an advisory board to the Board of County Supervisors and other county officials, on the protection of local historical and cultural resources. Duties include reviewing National Register Nominations and Certified Local Government grant applications; conducting an ongoing inventory of historic properties in the County, and reviewing Certificates of Appropriateness within Historic Overlay Districts.</u>	Added the role of the Architectural Review Board Added references to Appendix A Clarification CRHS are classified not designated
The Cultural Resources Plan includes areas of potentially significant known, but ill-defined or suspected prehistoric sites, Civil War <u>military</u> sites, historic viewsheds or areas of potential impact to important historic sites (<u>see High Sensitivity Areas & County Registered Historic Sites Figure 3, Appendix B</u>). The Cultural Resources Plan also contains action strategies that will assist in defining the boundary of a particular study area. <u>Developers and property owners must</u> are to consult with the County Archaeologist to determine the appropriate extent of the study area and the scope of work before any work begins <u>during the rezoning, Comprehensive Plan amendment, and special use permit approval process.</u>	Clarified reference Clarification
The <i>Code of Virginia</i> requires the preservation of cemeteries and gravesites. The County promotes the identification (<u>see Cultural Resources - Cemeteries, Appendix B</u>), preservation, protection, and maintenance of all cemeteries and/or gravesites located within the County, whether marked or unmarked, through its Zoning Ordinance and land development review procedures. <u>The County has d</u> Documentation exists that <u>which indicates that many unmarked gravesites were</u> have been placed on the now	Clarified reference Clarification Edit

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<p>visible at the perimeter perimeters of existing cemeteries and that many burial markings <u>markers</u> have been destroyed. Many Descendants of the deceased frequently visit the County with the specific intention of visiting old-family <u>gravesites</u>. Identification, preservation, protection, and maintenance of these sites are important in documenting the County’s past.</p>	
<p>The components of the Cultural Resources Plan are:</p>	Remove redundant language
<p>• Intent, Goal, Policies, Action Strategies, and Accompanying References, where stated.</p>	
<p>• Bristoe Station Historical Area (Figure 1).</p>	
<p>• Buckland Historical Area and <u>Buckland Historic Overlay Zoning District</u> Historical Area (Figure 2).</p>	
<p>• Registered County Historic Sites (Table 1).</p>	
<p>• Eligible County Historic Sites (Table 2).</p>	
<p>• High Sensitivity Areas and County Registered Historic Sites (Figure 3).</p>	
<p>GOAL: Identify, preserve, and protect Prince William County’s significant historical, archaeological, architectural, and other cultural resources —including those significant to the County’s minority communities —for the benefit of all of the County’s citizens and visitors.</p>	
<p>CR-POLICY 1: Identify the significant cultural resources in the County.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CR 1.1 Maintain and update the County’s inventory of significant¹ prehistoric and historic resources; and <u>as well as</u> the database file of cemeteries and gravesites.</p>	Clarification Moved footnote to text
<p>References:</p>	References moved to “Appendix C”
<p>• Virginia Department of Historic Resources (VDHR) inventory forms.</p>	
<p>• Prince William County Board approved County Registered Historic Sites (CRHS).</p>	
<p>• Prince William County Historical Commission Cemetery Documentation and Mapping Project.</p>	
<p>• Historical Commission’s architecture, archaeology, and cemetery files in the Planning Office.</p>	
<p>• Bristoe Station Historical Area.</p>	
<p>• Brentsville Historical Area.</p>	
<p>• Buckland Historical Area and <u>Buckland Historic Overlay Zoning District</u>.</p>	
<p>• County of Prince William Historic Overlay Districts Design Review Guidelines.</p>	

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• Eligible County Registered Historic Sites.	
• American Battlefield Protection Program (ABPP)	
• Journey Through Hallowed Ground Corridor Management Plan.	
• Manassas Battlefields Viewshed Plan	
• Cockpit Point Battlefield Study and Cockpit Point Battlefield Management Plan	
• Bristoe Station and Kettle Run Battlefields Preservation Study	
² The VDHR subscribes to the Criteria for Evaluation for listing on the <i>National Register of Historic Places</i> of “significant historical, architectural, engineering and archaeological resources” for the definition of “significant” resources. Such resources are “...districts, sites, buildings, structures and objects (a) that are associated with events that have made a significant contribution to the broad patterns of our history; or (b) that are associated with the lives of persons significant in our past; or (c) that embody the distinctive characteristics of a type, period or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose component may lack individual distinction; or (d) that have yielded, or may be likely to yield, information important to pre history or history.”	Staff included language for clarification of ‘Significant Resources’ (see footnote 1)
CR 1.2 Continue to <u>C</u>onduct studies of potential historic sites to add to the County Registered Historic Sites.	Clarification
CR 1.3 Conduct studies to identify the most important features and historic values of each of the CRHS approved by the Board of County Supervisors (refer to <u>Appendix A Table 1</u> of this chapter and the Long-Range Land Use Plan Map).	Clarification
CR 1.4 Survey areas, at Phase I, II, and III levels for the presence of prehistoric and historic sites and at reconnaissance and intensive levels for historic structures. The VDHR Guidelines for Preparing Cultural Resource Survey in Virginia (most recent version April 2005) defines three levels of documentation for cultural resources. The first two levels (Phase I and Phase II) constitute components of what federal standards call “intensive” surveys; the third level (Phase III) constitutes treatment for significant resources, discovered through application of Phases I and II.	Moved footnote #2 was incorporated into the action strategy Clarification
References:	All references moved to “Appendix C”
• Sections 106 and 110 of the <i>National Historic Preservation Act</i>.	
• Archaeology and Historic Preservation; Secretary of the Interior’s Standards and Guidelines, including the Professional Qualification Standards.	
² The VDHR <i>Guidelines for Preparing Cultural Resource Survey in Virginia</i> (most recent version April 2005) defines three levels of documentation for cultural resources. The first two levels (Phase I and Phase II) constitute components of what federal	The guidelines have been updated since 2005. Former footnote

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standards call “intensive” surveys; the third level (Phase III) constitutes treatment for significant resources, discovered through application of Phases I and II.	combined with CR 1.4
Each phase is defined by VDHR as follows:	
Identification-Phase I: Identification involves compiling all relevant background information, along with comprehensive recordation of all sites, buildings, structures, objects and potential districts within the survey area. This information is used in planning and making decisions about historic resource management needs. The goals of a Phase I archaeological investigation are:	
<ul style="list-style-type: none"> ● To locate and identify all archaeological sites in the survey area; 	
To estimate site size and boundaries and to provide an explanation as to how the estimate was made; and	
<ul style="list-style-type: none"> ● To assess the site’s potential for further (Phase II) investigation. 	
Evaluation-Phase II: Evaluation of a resource’s significance entails assessing the characteristics of a property against a defined historic context and the criteria of the <i>Virginia Landmarks Register (VLR)</i> and the <i>National Register of Historic Places (NRHP)</i> . The evaluation shall result in a definition of those resources that are eligible or ineligible for VLR and NRHP listing. The purpose of a site evaluation is:	
<ul style="list-style-type: none"> ● To determine whether the site is eligible for <u>listing on the NRHP and VLR</u>; and ● To provide recommendations for future treatment of the site. 	
These goals can best be met when research strategies focus on determining, at a minimum, site chronology, site function, intrasite structure and integrity. At the conclusion of a Phase II evaluation, the site boundaries should be accurately defined and the horizontal and vertical integrity of the site assessed. The level of effort and the methods employed will vary depending upon site size, site type, and the environmental setting.	
It is important to note that resource evaluations must apply to the resource as a whole, not just to the portion of the resource within the project area. Sites evaluated as part of a federal or state agency undertaking (as well as the County) should be evaluated in their entirety, not just within the immediate project boundaries.	
Treatment-Phase III: Once the significance of a historic property has been established, the appropriate treatment for the resource is implemented. Only after evaluations are completed are treatment plans or documents developed. Treatment can include a variety of measures such as avoidance, recordation, data recovery, development of a historic preservation plan, <u>public interpretation</u> , rehabilitation or restoration. Documentation requirements for treatment are determined on a case-by-case basis.	

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<p>Further information, including an outline of items and data required for Phase I and Phase II studies, is available from the Planning Office or from the VDHR.</p>	
<p>CR 1.5 Require that Phase I level archaeological/cultural resource studies – as defined by the VDHR and the County – be conducted by rezoning, Comprehensive Plan amendment, and special use permit applicants in project areas that are identified as sensitive and having one of the following: 1) is designated a County Registered Historic Site; or 2) has a medium to high potential for prehistoric or historic resources, such as those areas indicated on the <u>High Sensitivity Areas & County Registered Historic Sites map Figure 3</u>, or with standard archaeological predictive models or available documents. Phase I studies should include the entire project area, not just the limits of disturbance. Where a reconnaissance level or Phase I level study deems it appropriate, require Phase II evaluation or intensive level survey. Such evaluations are to <u>must</u> be undertaken in consultation with the County Archaeologist including determination of a scope of work before any work begins. If sites are determined to be significant, a treatment plan should <u>shall</u> be completed in consultation with the County in advance of the final site plan approval.</p>	<p>Changes made to emphasize consultation with the County Archaeologist is required.</p> <p>This enhances protection of data.</p>
<p>References:</p>	<p>Moved to “Appendix C”</p>
<ul style="list-style-type: none"> ● Phase I, II, and III level studies, as defined by the VDHR and approved by the Council of Virginia Archaeologists. 	
<ul style="list-style-type: none"> ● Archaeology and Historic Preservation; Secretary of the Interior’s Standards and Guidelines, including the Professional Qualification Standards. 	
<ul style="list-style-type: none"> ● ACHP <i>Recommended Approach for Consultation on Recovery of Significant Information from Archaeological Sites</i>. ● The Secretary of the Interior’s Standards and Guidelines for Architectural and Engineering Documentation, i.e. the standards for the <u>Historic American Building Survey</u>, the <u>Historic American Engineering Survey</u>, the <u>Historic American Landscape Survey</u> 	
<p>CR 1.6 Nominate to the <i>National Register of Historic Places</i> (NRHP), with the consent of the owner(s), sites and districts that meet the NRHP criteria and prepare multiple-property nominations which allow for the simultaneous (and later) registration of thematically (by topic), historically, or geographically-related properties.</p>	
<p>Reference:</p>	<p>Moved to “Appendix C”</p>
<ul style="list-style-type: none"> ● <i>National Register of Historic Places</i> criteria for evaluation (36CFR, part 60.4). 	
<p>CR 1.7 Conduct an inventory to identify cultural resource sites that are of significance to the County’s minority communities and integrate the preservation of these sites into the overall program to protect and preserve Prince William County’s heritage.</p>	

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<p>CR 1.8 Support the development of a GIS layers of cultural resources that includes the digitized 1937 aerial images of the County and other appropriate documents.</p>	<p>The 1937 aerial photographs task was completed. Development of new layers is on-going task.</p>
<p>CR 1.9 Develop a “document before demolish” program for structures 50 years old or older.</p>	
<p>CR 1.10 Explore state enabling legislation that would set penalties for destruction of, or damage to, historic sites.</p>	
<p>CR 1.11 Establish a County archaeology laboratory for processing and curating artifacts found as a result of public archaeology projects.</p>	<p>More accurate to reflect all archaeology projects</p>
<p>CR-POLICY 2: Protect and preserve cultural resources that are important for documenting or demonstrating the prehistory or history of the County.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CR 2.1 Inform owners of properties listed on the <i>National Register of Historic Places</i> or <i>Virginia Landmarks Register</i>, through information brochures, of the availability of property tax incentives.</p>	
<p>Reference:</p>	<p>Moved to “Appendix C”</p>
<p>● Standards for Classification of Real Estate as Devoted to Open Space Use under the Virginia Land Use Assessment Law (minimum of 5 acres, on the <i>Virginia Landmarks Register</i> or the <i>National Register of Historic Places</i> and a protected easement).</p>	
<p>CR 2.2 Guide participants in the use of available state and federal rehabilitation tax credits for income producing conventional historic structures.</p>	
<p>References:</p>	
<p>● <i>Economic Recovery Tax Act of 1981</i> retained under the <i>Tax Reform Act of 1986 (Federal Rehabilitation Tax Credit Program).</i></p>	<p>Moved to “Appendix C”</p>
<p>● The Secretary of the Interior’s <i>Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings.</i></p>	
<p>● State <i>Historic Rehabilitation Tax Credit Program</i> under <i>Virginia Code</i> Section 58.1-339.2.</p>	

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<p>CR 2.3 Adopt a County ordinance that reduces the amount of taxation for – or exempts from taxation – cultural resources real estate that has been substantially rehabilitated. Create additional incentives to enable preservation and protection of historic sites and structures.</p>	
<p>Reference:</p>	
<p>• Virginia Code, Sections 58.1-3220 and 59.1-3221.</p>	<p>Moved to “Appendix C”</p>
<p>CR 2.4 <u>In conjunction with the Architectural Review Board, identify</u> and recommend for Board consideration, additional County Historic Overlay Districts (such as the Brentsville Historic District) – as defined in the <i>Zoning Ordinance</i> – for the purposes of preserving the historical integrity of important historic areas and sites.</p>	<p>Clarification</p>
<p>CR 2.5 Support the use of voluntary redistribution of development rights through encouragement of voluntary establishment by property owners of conservation easements, easements, and similar strategies, including those described under the <i>Virginia Conservation Easement Act, Virginia Code</i> (Sections 10.1-1009 – 10.1-1016).</p>	
<p>CR 2.6 Continue to pursue obtaining funds from private, foundation, and public sources for acquisition, protection, restoration, and operation of historic properties.</p>	
<p>CR 2.7 Require, when development will occur at or on documented prehistoric and historic sites and cemeteries, that a Phase I level study be performed of the site by the applicant and provided in conjunction with any application for a rezoning, special use permit, and Comprehensive Plan amendment. The purpose of this requirement is that the applicant will identify and take into account significant resources at the earliest stages of project planning and incorporate those resources into their project design. Further, require any necessary Phase II and Phase III level studies be provided prior to the site plan review. These studies, and any mitigation measures required as a result of their findings, shall be funded by the applicant. The applicant should agree to curate artifacts, found in the various phases of archaeology, with the County and fund the cost of the initial intake and preparation of the artifacts for storage or display purposes by the County (curation fee).</p>	
<p>CR 2.8 Continue to support the Historical Commission’s development of a controlled-access database that records the location of cemeteries, the names of those buried within the cemetery, the location of gravesites, and the identities of those buried within.</p>	
<p>CR 2.9 Educate owners of historic properties in the process necessary to maintain and protect their historic structures. <u>Refer owners to the County of Prince William Historic Overlay Districts Design Review Guidelines as appropriate. Reinstitute the historie</u></p>	<p>Task completed, the plaque program was restarted.</p>

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<p>building plaque program and work with building owners to have plaques attached to their historic buildings.</p>	<p>Add text re Design Guidelines</p>
<p>CR 2.10 Continue to train inspectors on how to identify and resolve issues related to building codes and historic buildings under the guidance of the Historical Commission, <u>the Architectural Review Board</u>, and the Historic Preservation Division of Public Works. <u>Ensure that County inspectors and reviewers are aware of and enforce the review process required by the Historic Overlay Zoning Districts and the submission requirements for a Certificate of Appropriateness.</u></p>	<p>Added ARB as they have review over historic zoning overlay districts</p>
<p>CR 2.11 Support the Department of Public Works, Historic Preservation Division mission: The Historic Preservation Division is dedicated to the preservation of Prince William County’s publicly-owned historic structures and interiors, archaeological resources, natural resources, and historic landscapes. The Division is tasked with identifying and protecting cultural and historic resources, preservation and rehabilitation of historic sites for public use, and linking historic properties with heritage tourism, new development and redevelopment. The Division manages and maintains an inventory of diverse properties throughout Prince William County and interprets these sites to the public through exhibitions, programs, published research, and living history events. The dynamic role of the historic resources of Prince William County will be perpetuated by their social, economic, and educational contribution to the identity and vitality of the County at large.</p>	
<p>CR 2.12 Develop a County viewshed policy around County Registered Historic Sites (CRHS) and criteria for implementing that policy.</p>	
<p>CR 2.13 Evaluate, with the Historical Commission, County Registered Historic Sites and/or eligible County Registered Historic Sites on a yearly basis in order to recommend additions of properties or to delete properties that are no longer historic because of destruction or significant change of circumstances. Provide the Historical Commission’s approved recommendations to the Board of County Supervisors, together with factual findings supporting the recommendation, to designate a property a County Registered Historic Site.</p> <p><u>On an annual basis, with the assistance of the Historical Commission and the Architectural Review Board, recommend properties for classification as County Registered Historic Sites or eligible County Registered Historic Sites. Concurrently, review the existing list of County Registered Historic Sites to recommend removal of properties that are no longer historic due to destruction or significant change of circumstances. Provide the approved recommendations of the Historical Commission and the Architectural Review Board to the Board of County Supervisors, together with factual findings supporting the recommendations, to designate a property a County Registered Historic Site and update the list of County Registered Historic Sites.</u></p>	<p>Include ARB in review process. Rewritten to increase clarity</p>
<p>CR 2.14 When development, reconstruction, or construction of or on historic land or structures or is necessary, ensure compliance with the relevant guidelines of the</p>	<p>Added language to emphasize the</p>

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<p>Community Design Plan and the Secretary of the Interior Standards. <u>In addition, ensure that the requirements of the Design Review Guidelines are enforced when development, reconstruction, or construction is necessary within a Historic Overlay Zoning District.</u> Explore changes to the development review process to ensure that by-right development in the Rural Area that will impact historic lands and structures will undergo full site or subdivision plan review.</p>	<p>special zoning requirements in Historic Overlay Zoning Districts Edit</p>
<p>CR 2.15 Ensure the policies, ethics, standards, and procedures concerning preservation and protection of the County’s historical and archaeological collections are followed in any and all instances in which collections are exhibited, stored, interpreted, or otherwise utilized.</p>	<p>Edit</p>
<p>CR-POLICY 3: Enhance the awareness of Prince William County’s history and the importance of the County in the historical development of the Commonwealth of Virginia and the United States.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CR 3.1 Encourage research projects and studies that will inform and educate Prince William County’s citizens and visitors about the County’s past.</p>	
<p>CR 3.2 Encourage the Historical Commission to continue publishing and reprinting books, reports, maps, or studies that elaborate on the history and pre-history of the County.</p>	
<p>CR 3.3 Invite universities and colleges to conduct research studies and report on the County’s history and pre-history.</p>	
<p>CR 3.4 Support a cultural resources intern program in coordination with local universities and colleges.</p>	
<p>CR 3.5 Distribute cultural resources reports – including Phase I, Phase II, and Phase III level studies – prepared in conjunction with rezoning, special use permit and/or Comprehensive Plan amendment applications to appropriate repositories and libraries, including the Virginia Department of Historic Resources and the Prince William County regional libraries.</p>	
<p>CR 3.6 Inventory, in cooperation with the Historical Commission, the Architectural Review Board, Department of Economic Development, Department of Public Works Historic Preservation Division, the Office of Planning, and the Convention and Visitors’ Bureau, prehistoric and historic sites that may be used or developed to promote tourism in the County.</p>	
<p>CR 3.7 Continue to fund the preparation of brochures that provide County visitors with information on the history and pre-history of the County and the significant cultural resources in the County.</p>	

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<p>CR 3.8 Ensure that land owners and developers evaluate the potential benefits to Prince William County’s citizens and visitors – and to the owner/developer – of preserving the County’s significant cultural resources either through a donation of a site and/or building to the County or otherwise preserving and reusing a site and/or building as part of a development, if permitted by per Sec 15.2 -2303.4.</p>	<p>Edit for proffer legislation</p>
<p>CR 3.9 Continue to preserve and develop the Brentsville Courthouse Historic Centre, Bristoe Station Battlefield Heritage Park, Ben Lomond Historic Site, Rippon Lodge Historic Site, Williams Ordinary, <u>Cockpit Point Civil War Park</u>, and other historic sites or buildings acquired by the County for the educational, programming, rental, and interpretive benefit of County citizens and their guests.</p>	<p>Edit</p>
<p>CR 3.10 Continue actions to document and protect the site of the Neabsco Mills (Tayloe) Iron Works. Explore the feasibility of acquiring the iron works site.</p>	
<p>CR 3.11 Conduct cultural and natural resource management of county-owned historic sites and heritage parks.</p>	
<p>CR 3.12 Develop a plan to establish a centralized county historical museum dedicated to showcasing the County’s history and housing appropriate items and artifacts found in the County. Items donated to the County museum may be on loan to County-owned historic properties on a temporary or permanent basis.</p>	
<p>CR 3.13 Work with landowners and archaeologists who have collected and catalogued artifacts found in the County, that are now located in various repositories, to curate such artifacts with the County for the purpose of displaying them for education and tourism.</p>	
<p>CR 3.14 Develop a “Preserve a Site” program in which citizens and businesses pledge to preserve and properly manage an archaeological, architectural, or cemetery site.</p>	
<p>CR-POLICY 4: Encourage preservation of the County's most significant historic properties through use of the County Registered Historic Site (CRHS) classification.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CR 4.1 Use one or more of the following criteria in considering a property for the County Registered Historic Site (CRHS) classification on the Long-Range Land Use Map:</p>	
<p>CR 4.1.a Has been determined to be eligible for listing in the <i>National Register of Historic Places</i> or <i>Virginia Landmarks Register</i> by the Virginia Department of Historic Resources or the National Park Service.</p>	

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CR 4.1.b Has been included in the <i>Historic American Building Survey</i> (HABS) or the <i>Historic American Engineering Record</i> (HAER).	
CR 4.1.c Is in a preservation easement.	
CR 4.1.d Is part of a Historic Overlay District.	
CR 4.1.e Has been selected for inclusion on the list of CRHS’ in the annual evaluation and update of such list by the Historical Commission during the past 12 months.	
CR 4.1.f Ideally, has the consent of the property owner at the time of the CRHS designation and the approval by the Board of County Supervisors for such designation.	
CR 4.1.g Is included in the CRHS-eligible list.	
CR 4.2 To be in one of these indicated inventories or registers, systematically evaluate the significance of a site in terms of its architectural, archaeological, or historical characteristics using specific criteria (such as the <i>National Register of Historic Places</i> Criteria for Evaluation). For example, if a structure is important because of its architecture, then the preservation of the structure and its architectural integrity is desirable. If an area is important because of what the ground is known to contain, then minimizing ground-disturbing activities in the area is essential. Each County Registered Historic Site (which may include state and national registry status) is described in Table 4 Appendix A in this chapter.	Edit
CR 4.3 Identify appropriate primary uses – including dwelling unit densities where applicable – for each of the CRHS’ shown on the Long-Range Land Use Plan Map and in Table 4 Appendix A . What constitutes an appropriate primary use of a cultural resource depends on the nature of the cultural resource and the surrounding land uses. In order to encourage preservation of the County's most significant CRHS’, a range of appropriate uses is recommended for each CRHS. The County advocates adaptive re-use of historic properties. Rather than demolition, a plantation manor house could be incorporated into a residential development as a community center, or a large, architecturally unique barn might be converted into a restaurant. Consider appropriate primary uses for historic properties to generally include one or more of the following:	Edit
CR 4.3.a Residential - Includes dwelling unit densities at the lowest end of the density range associated with the residential land use classifications reflected on the Long-Range Land Use Plan Map.	
CR 4.3.b Retail-Historic - Includes retail uses that are compatible with and help to preserve and promote the cultural or historical values or characteristics of a site, such as a bed & breakfast, restaurant, or gift store.	
CR 4.3.c Historical/Cultural - Includes educational or cultural uses that are compatible with and help to preserve and promote the cultural or historic values of a site, such as a museum, community center, or educational center.	
CR 4.4 Consider other primary uses that may be appropriate. For example, lands surrounding a historic structure or located within the bounds of a battlefield could have agriculture or parks and open space as the primary use.	

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CR 4.4.a Park - Includes open space that provides a recreational opportunity or other outdoor activities associated with the use of the historic buildings.	
CR 4.4.b Agriculture - Recognizes that farming in association with a CRHS in the Rural Area is appropriate and contributes to the use and preservation of historic buildings. This also recognizes that archaeological sites within plow zones may have been disturbed, but archaeological resources below the plow zone continue to have integrity.	
CR 4.4.c Transportation - Includes historic roads, railroads, bridges, and waterways that are still in use, but played a role in the history of the County and its development.	
CR 4.5 Review in conjunction with the Historical Commission and the County Archaeologist, rezoning, special use permit, and Comprehensive Plan amendment applications to determine if cultural resources may be impacted as a result of the proposed project.	
CR 4.6 Near areas identified as a County Registered Historic Site or County Registered Historic Site-eligible, ensure that the following measures are undertaken in consultation with the County:	
CR 4.6.a Development densities and intensities at the lowest end of the range shown on the Long-Range Land Use Map;	
CR 4.6.b A viewshed analysis to determine topographic and vegetative conditions that will provide guidance on appropriate building mass, heights and placement of buildings on the developing site so as not to negatively impact views to and from the CRHS;	
CR 4.6.c A sufficient amount of land preservation around the CRHS to maintain its historic integrity; and	
CR 4.6.d A buffering/tree preservation/landscaping plan to screen proposed development from the CRHS.	
CR-POLICY 5: Identify and preserve known (but ill-defined) or expected prehistoric or historic resources through the application of standard archaeological modeling methods, reconnaissance level surveys, and use of appropriate maps and other documents.	
ACTION STRATEGIES:	
CR 5.1 In consultation with the County, applicants for, rezoning, special use permit, and Comprehensive Plan amendments should determine the presence of known but often ill-defined cultural resources, such as where there is a suspected presence, where exact boundaries are not delineated, or where the exact location is unknown.	
CR 5.2 If potentially important cultural resources are expected to be located in a given area, then special actions are indicated. Examples of these actions include:	

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<p>CR 5.2.a Conducting archaeological and architectural surveys of the property to determine if the expected resource is present, its extent, and its integrity.</p>	
<p>CR 5.2.b Preserving the resource or mitigating the impacts to those resources that are determined to be highly significant (those that meet the <i>National Register of Historic Places</i> Criteria for Evaluation or are CRHS-eligible).</p>	
<p>CR 5.2.c Opting for low-rise buildings and/or retaining vegetation buffers and/or using the natural topography to eliminate or mitigate visual impacts, in accordance with the policies and action strategies in the Community Design chapter.</p>	
<p>CR 5.3In consultation with the County, applicants for rezoning, special use permit, and Comprehensive Plan amendments should determine appropriate actions that should be undertaken on a site-specific basis. In general, a Phase I – and perhaps a Phase II – level study will be warranted, particularly when potentially significant prehistoric, historic, or Civil War <u>military</u> archaeology sites are expected. On the other hand, if it is determined—upon more detailed review—that significant cultural resources are not expected within a specific project area—perhaps because the area has been extensively graded or the terrain is extremely steep, or the views have already been seriously degraded—then no special actions may be recommended.</p>	<p>Military is a broader definition and includes Revolutionary War sites, Spanish American War camp sites which may be located in PWC</p> <p>Deleting this paragraph clarifies this action strategy.</p>
<p>CR 5.4Evaluate if historic viewsheds are of concern, and whether or not a visual study is warranted to identify ways to alleviate or minimize the visual impacts.</p>	
<p>CR 5.5Continue to develop sensitivity maps for prehistoric and historic sites, and historic viewsheds. Sensitivity maps are not site-specific. For example, some types of prehistoric sites are known to be located in areas that have certain environmental features. Areas with these features, rather than individual prehistoric sites, have been mapped. A sensitivity map for Civil War <u>military</u> sites is based primarily on historic research and accounts, rather than on environmental variables. Professional guidelines dictate that the exact location of known or suspected prehistoric and Civil War <u>military</u> sites that are represented by subsurface remains should not be presented in public documents because of the possibility of vandalism and artifact removal. For more site-specific information, the cultural resources files in the Planning Office may be consulted.</p>	<p>Military is a broader definition and includes Revolutionary War sites, Spanish American War camp sites which may be located in PWC</p>
<p>CR-POLICY 6: Preserve, protect, and maintain known or discoverable cemeteries and gravesites, whether marked or unmarked.</p>	
<p>ACTION STRATEGIES:</p>	

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<p>CR 6.1 Promote the identification, preservation, protection, and maintenance of all cemeteries and/or gravesites located within the County, whether marked or unmarked. Document any unmarked gravesites placed on the perimeter of existing cemeteries whose markings may have since been destroyed.</p>	
<p>CR 6.2 Direct land owners and developers of land – including the County for County-owned sites to be developed – to research deeds, wills, and other records for all parcels planned for development or redevelopment. In the event that records <u>or site conditions</u> indicate a cemetery <u>or gravesite</u> was once <u>present or potentially present, on the land</u> – or in the event that reasonable site investigation would disclose the presence of a cemetery or gravesites – <u>have</u> require that the land owner/developer conduct a Phase I level or cemetery delineation study to determine <u>existence if a cemetery existed</u> and to <u>establish</u> quantify its boundaries <u>of protected area</u>. Said study should be submitted with the initial Comprehensive Plan amendment, rezoning, or special use permit application or prior to the issuance of any site disturbance or building permit.</p>	<p>More accurate description</p>
<p>CR 6.3 Ensure that owners and developers of land planned for development or redevelopment – including the County for County-owned land – incorporate requirements for future protection and maintenance of the cemetery into proffered conditions, site plans, and land records.</p>	
<p>CR 6.4 Discourage owners and developers of land planned for development or redevelopment – including the County for County-owned land – from relocating a cemetery or gravesites to another location. If circumstances require relocation, owners and developers shall secure the proper legal means and document the past location of the cemetery, the names of all interred within the cemetery (if available), and the location of the new cemetery, and shall provide this documentation to the Prince William County Historical Commission. Graves should never be moved without the known family descendants' permission.</p>	
<p>CR 6.5 Revise the permitting process to require a check for the presence of a cemetery on a property proposed for grading or construction and to ensure compliance with the cemetery preservation requirements of the <i>Zoning Ordinance</i>.</p>	
<p>CR POLICY 7: Apply mitigation measures to all new development within the Bristoe Station Historical Area.</p>	
<p>An area known as the "Bristoe Station Historical Area" is delineated on the attached map, labeled <u>Bristoe Station Historical Area</u> Figure 1, and that delineation is hereby recognized.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CR 7.1 Require the owners/developers of property located in the Bristoe Station Historical Area, depicted on <u>the Bristoe Station Historical Area Map</u> Figure 1, to conduct Phase I archaeological/cultural resource studies in areas in which documented</p>	<p>Continuation of cultural resource studies language</p>

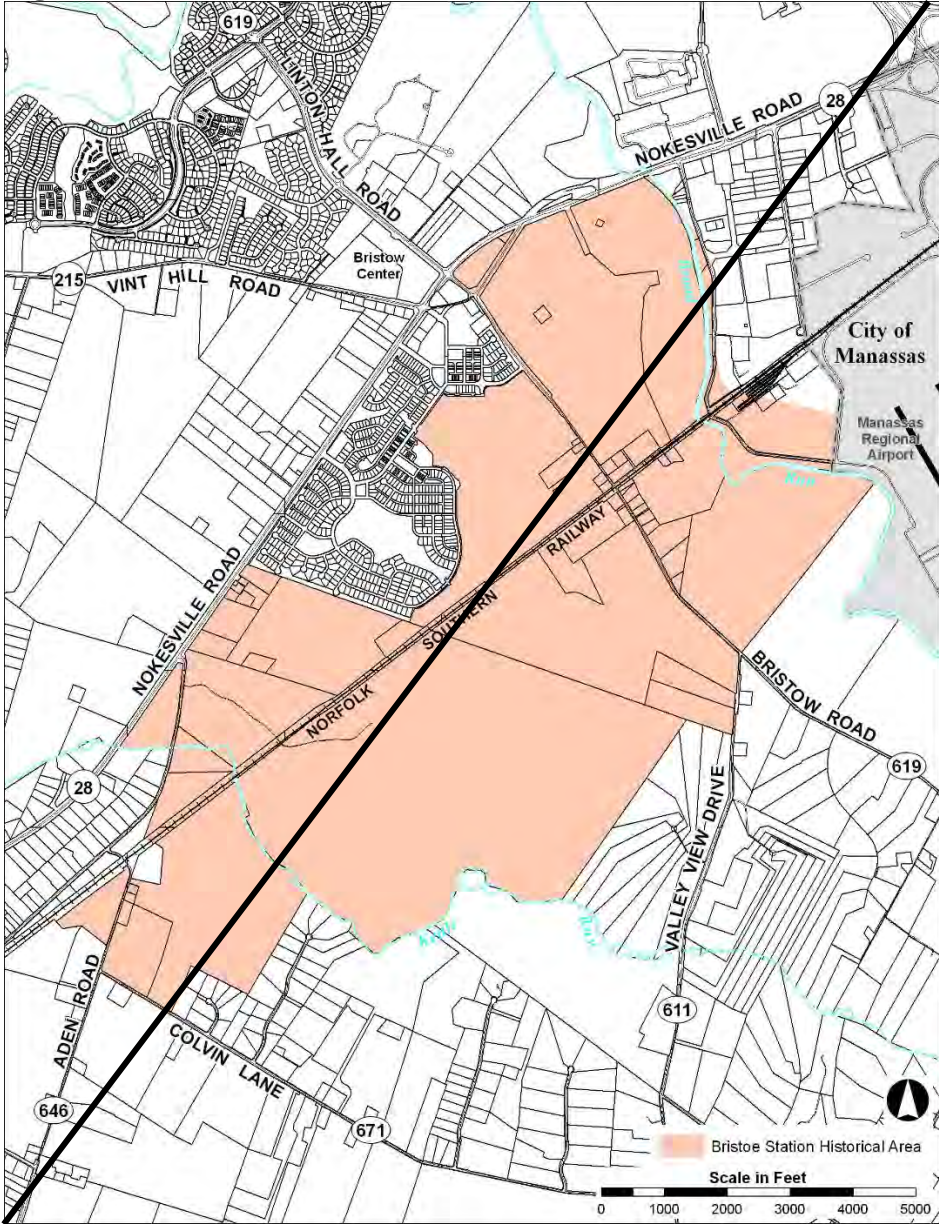
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<p>historical events occurred. If areas of historic/cultural significance are substantiated and additional archaeological/cultural resource studies is <u>are</u> appropriate, conduct additional Phase II and/or Phase III archaeological studies.</p>	<p>Edit</p>
<p>CR 7.2 Require the owners/developers of property located in the Bristoe Station Historical Area, depicted on <u>the Bristoe Station Historical Area Map Figure 1</u>, to submit plans for Comprehensive Plan amendments, rezoning, and special use permit applications within the area and to incorporate the results of Phase I archaeological/cultural resource studies and such other studies as are indicated by the results of the Phase I archaeological/cultural resource study.</p>	<p>More accurate statement Edit</p>
<p>CR 7.3 Encourage property owners to dedicate land to the County or provide historic resource <u>or conservation</u> easements at the time a rezoning is granted <u>per Sec 15.2 - 2303.4</u>, or a special use permit or other site development is approved, whichever occurs earliest, for the purpose of preserving and providing public access to historically significant features of the Bristoe Station Historical Area, particularly along pedestrian trails where historic markers and other interpretive materials will be located to provide information about the Battle of Bristoe Station and other significant uses of the area during the Civil War. Said dedication or easements are to be legally granted at the time of site plan approval. Land disturbance and new construction will not be permitted within the historic resource lands or easements except to the extent necessary to construct trails, markers, and other interpretive materials. The historic resource lands or easements may include roads and utilities and stormwater management facilities provided such structures and improvements are designed with the objective of minimizing the impact to historical features. The need for such crossings will be justified at the time of rezoning, special use permit, or site plan. Property owners/developers shall be entitled to the density otherwise associated with land located within the historic resource lands or easements based on the underlying land use designations depicted on the Long-Range Land Use Plan Map</p>	<p>Clarification to include “Conservation Easements” Edit for proffer legislation.</p>
<p>CR 7.4 Encourage development that is located, situated, and buffered so as to maintain a high degree of the existing physical and visual integrity of the area while permitting the appropriate development as outlined in the Long-Range Land Use Plan Map. Ensure that a viewshed analysis is undertaken in consultation with the County to determine topographic and vegetative conditions that will provide guidance on appropriate building mass, heights, and placement of buildings on the developing site so as not to negatively impact views to and from the area.</p>	
<p>CR 7.5 Incorporate the following as part of any rezoning/special use permit for the Bristoe Station Historical Area:</p>	
<p>CR 7.5.a Commit to development densities and intensities at the lower end of the range shown on the Long-Range Land Use Map.</p>	
<p>CR 7.5.b Cluster development to allow the overall density contemplated but to preserve more significant or appropriate areas, to create points of interest, and to provide markers or interpretive exhibits, etc.</p>	

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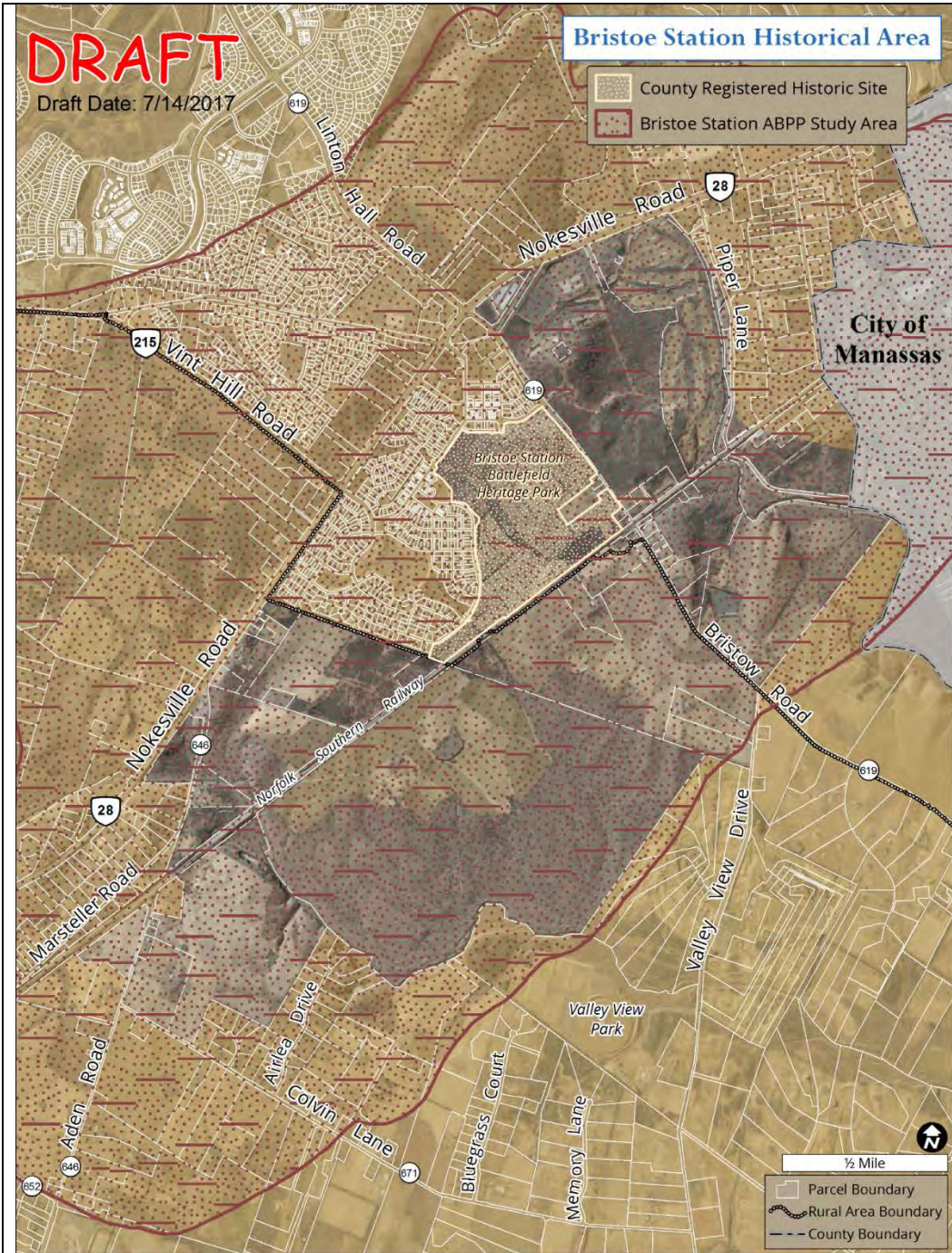
<p>CR 7.5.c Provide a development plan as part of the rezoning/special use permit process that outlines the concept for development within the Bristoe Station Historical Area.</p>	
<p>CR 7.5.d Provide an architectural concept plan as part of the rezoning/special use permit process for the Bristoe Station Historical Area to provide a general concept for dwelling and structure design, including architectural style, details of roof lines, architectural ornamentation, materials, colors, and texture.</p>	
<p>CR 7.5.e Use landscaping and buffers to create a setting compatible with the historic/cultural significance recognized/memorialized on the property.</p>	
<p>CR 7.6 Maintain existing vegetation where appropriate and where it contributes to the character consistent with the historical/cultural significance of the area.</p>	
<p>CR 7.7 Ensure individual development proposals reserve land/open space for use as interpretive settings related to the significance of the site. In cases where there are multiple development proposals within such area, establish pedestrian trails or other similar linkages between areas.</p>	

Figure 1– Bristoe Station Historical Area



Map to be updated.

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Updated map inserted.

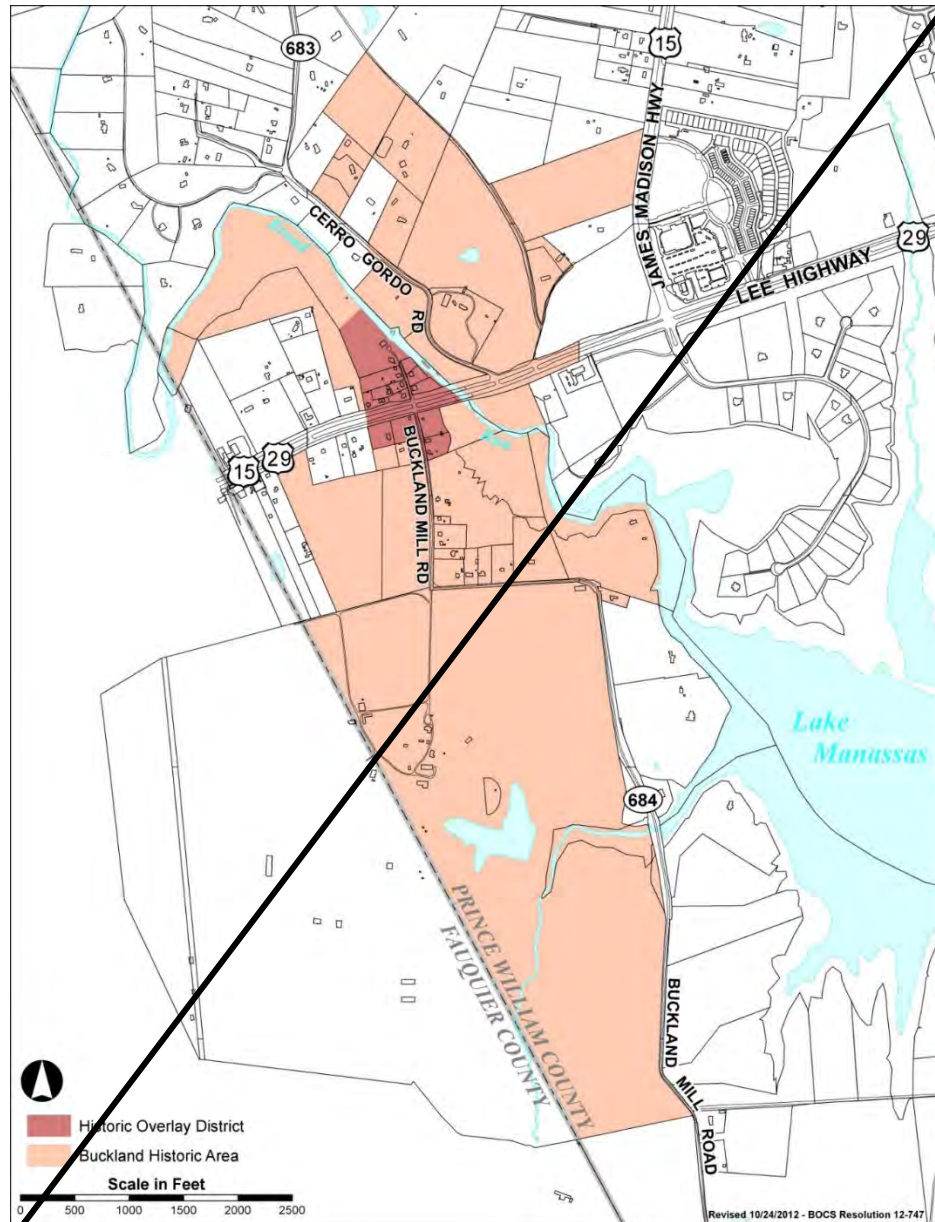
Reference to Figure 1 label removed

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.

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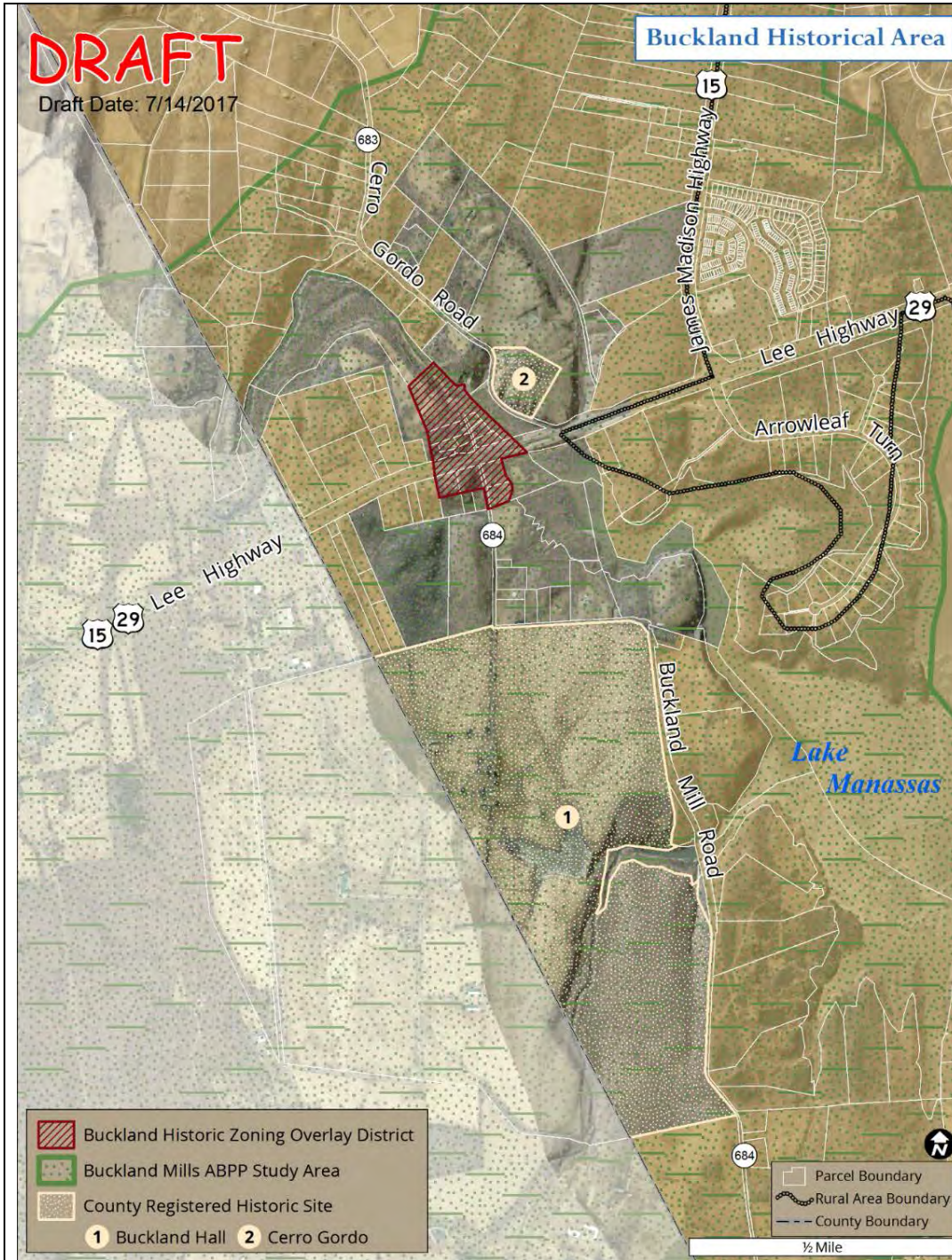
<p>CR POLICY 8: Utilize appropriate historic sensitivity measures for all proposed new development in and around the Buckland Historical Area.</p>	
<p>An area known as the "Buckland Historical Area" is delineated on the attached map, labeled <u>Buckland Historical Area Figure 2</u>, and that delineation is hereby recognized.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CR 8.1 Require the owners/developers of property located in the Buckland Historical Area, depicted on <u>Buckland Historical Area Map Figure 2</u>, to conduct Phase I archaeological/cultural resource studies of properties proposed to be developed or redeveloped. If areas of historic/cultural significance are substantiated and additional archaeological/cultural resource study is appropriate, conduct additional Phase II and/or Phase III archaeological studies.</p>	<p>Other studies in addition to archaeological studies are sometime currently requested Edit</p>
<p>CR 8.2 Require the owners/developers of property located in the Buckland Historical Area, depicted on <u>Buckland Historical Area Map Figure 2</u>, who submit development proposals within the area, to incorporate the results of Phase I archaeological studies/cultural resources and such other studies as are indicated by the results of the Phase I archaeological study/cultural resources. The development plan will need to demonstrate compatibility with this late 18th and early 19th century mill village and recommendations for Buckland contained in Table 1 <u>Appendix A</u>, County Registered Historic Sites, as follows:</p>	<p>Other studies in addition to archaeological studies sometime currently be requested Edit</p>
<p>CR 8.2.a Buildings situated and laid out so as to be properly oriented, like the existing buildings' orientation, to the historic grid pattern of streets laid out in the 1798 plat of the Town of Buckland;</p>	
<p>CR 8.2.b Building scale and massing similar to the scale and massing of the existing historic buildings in the area;</p>	
<p>CR 8.2.c An architectural concept that demonstrates a compatible design of the structures, including the building style, details of roof lines, ornamentation, materials, colors, and textures;</p>	
<p>CR 8.2.d Parking of a scale, location, and design that makes it as inconspicuous as possible;</p>	
<p>CR 8.2.e Site amenities such as landscaping, signage, fencing, and lighting that is compatible with a late 18th and early 19th century rural village; and</p>	
<p>CR 8.2.f Preservation of existing trees that contribute to the historical significance of the area.</p>	

Figure 2– Buckland Historical Area



Map to be updated.

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Updated Map inserted.

Reference to Figure 2 label removed

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.

<p><u>TABLE 1-APPENDIX A</u></p> <p>COUNTY REGISTERED HISTORIC SITES</p> <p>Key to Notations Used in the Tables:</p> <p>[76-] = Assigned Virginia Department of Historic Resources file number.</p> <p>PE = Preservation easement granted.</p> <p>NR = Listed in or officially determined eligible for listing in the <i>National Register of Historic Places</i>.</p> <p>HABS [VA-] = Documented as part of the <i>Historic American Buildings Survey</i> (Note: Hagley [VA-276], Log Cabin [VA-287], Mountain View [VA-291], Poplar Hill [VA-830], St. John’s Church [VA-286], , and Waverly Mill [VA-284], recorded as HABS sites by the National Park Service, are not identified as County Registered Historic Sites because they have either been destroyed or their location is unknown).</p> <p>HAER [VA-] = Documented as part of the <i>Historic American Engineering Record</i>.</p> <p>VLR = Listed in the <i>Virginia Landmarks Register</i>.</p> <p>Historic Overlay District = Local zoning overlay that controls alterations to the district through a review and issuance of a Certificate of Appropriateness by the Architectural Review Board.</p> <p>Use Categories:</p> <p>The following use categories are indicated with each County Registered Historic Site property as a guide to appropriate uses of the site or buildings that may allow continued use and preservation.</p> <p><i>Residential</i> Dwelling unit densities correspond to those in the Long-Range Land Use Plan, unless otherwise noted.</p> <p><i>Retail-Historic</i> Includes retail and other appropriate commercial uses that are compatible with and help preserve and promote the cultural or historical values and use of a historic site or building. Examples: bed & breakfast establishments, restaurants, gift stores, and offices.</p> <p><i>Historical/Cultural</i> Includes educational or community uses that are compatible with and help preserve and promote the cultural or historic values of a site. Example: museums, community centers, and educational centers.</p> <p><i>Park</i> Includes open space that provides a recreational opportunity or other outdoor activities associated with the use of the historic buildings.</p>	<p>Table 1 and Table 2 moved to Appendix A</p>
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<p><i>Agriculture</i> Recognizes that farming in association with a County Registered Historic Site in the Rural Area is appropriate and contributes to the use and preservation of historic buildings.</p> <p><i>Transportation</i> Includes historic roads, railroads, bridges, and waterways that are still in use and played a role in the history of the County and its development.</p> <p>Land Use Classifications:</p> <p>The following land use classifications are indicated with each County Registered Historic Site property. Land use classification descriptions and definitions are available in the Long-Range Land Use chapter of the Comprehensive Plan.</p> <p>AE Agricultural or Estate CEC Community Employment Center CRHS County Registered Historic Site CR Convenience Retail EI Industrial Employment ER Environmental Resource FEC Flexible Employment Center GC General Commercial P&OS Parks and Open Space PL Public Land RCC Regional Commercial Center REC Regional Employment Center RPC Residential Planned Community SRH Suburban Residential High SRL Suburban Residential Low SRM Suburban Residential Medium SRR Semi-Rural Residential UMU Urban Mixed Use</p>	
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COUNTY REGISTERED HISTORIC SITES	
<p>Antioch Church and Cemetery [76-127] Symbol 5 Location: Waterfall Road, Waterfall Ownership: Private Acres: 2.5</p> <p>This is a one-story, rural, frame church with weatherboard siding built in 1901 on the foundations of an earlier stone church. A stone wall encloses a portion of the property. The Antioch Church was organized in 1837 by members who withdrew from another church (Long Branch). The early congregation met in a nearby log house, which is now located at Sully Plantation in Fairfax County. The church, cemetery, and stone wall are set among a stand of mature trees in a rural landscape at the foot of the Bull Run Mountains. <u>Based on the Church’s history potential for significant archaeological resources is high outside the limits of the cemetery.</u></p> <p>Primary Uses: Historical/Cultural (religious ceremonies, community use, and cemetery); Park Analogous Land Use Classification: None Surrounding Land Use Classification: AE</p>	<p>Edit based on additional information now available.</p>
<p>Asbury Church and Cemetery [76-253] Symbol 33 Location: Fleetwood Drive, Nokesville Ownership: Private Acres: 1.0</p> <p>This small one-story, rural, frame church with weatherboard siding, sits on a red sandstone foundation. Civil War veteran, Newton Sayers and his wife Annie, donated the land for the church. Sayers and other Civil War veterans built the church in 1893. This is one of two remaining rural 19th century churches in this part of the County and is similar to its counterpart, the Brentsville Union Church (1874). The cemetery is located on the south side of the church. <u>Based on the Church’s history, potential for significant archaeological resources is high outside the limits of the cemetery.</u></p> <p>Primary Uses: Historical/Cultural (religious ceremonies; community use; cemetery) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p>	<p>Edit based on additional information now available.</p>

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<p>Bacon Race Church Site and Cemetery [76-69] Symbol 44 Location: Davis Ford Road, Prince William Ownership: Private Acres: 2.90</p> <p>According to the Virginia Department of Historic Resources, the Occoquan Church, the first Baptist church in Prince William County, was built on this site before 1794. This church was an offshoot of the Chappawamsic Church in northern Stafford County. Members of the Occoquan Church petitioned the General Assembly for religious freedom in 1776 after the congregation was established in 1774. The Bacon Race property was granted to the Baptist Society by Samuel and Mary Jackson in 1798. The Bacon Race Church, a later church structure, was built about 1836 by Andrew Broaddus. That church had a plain, unornamented façade and belonged to a sect of the Old School or Primitive Baptists called the Smootites. That meeting house collapsed on December 25, 1987, after having sat vacant since 1938.</p> <p>The cemetery contains about 200 grave stones, some bearing the names of familiar family names such as Fairfax and Davis, as well as a number of Civil War soldiers and veterans. A prominent grave is that of Reverend William M. Smoot, the last elder (or preacher) of the church who served from 1874 to 1938.</p> <p>Additionally, the site also served as a hospital for Confederate Colonel Wade Hampton’s Legion during the fall of 1861 when they guarded the Wolf Run Shoals crossing of the Occoquan River. Over the winter of 1861-62, the church served as a reserve position for Confederate Major S.D. Lee’s artillery battalion and a supply depot for Hampton’s entire brigade which was assigned to support the Confederate Blockade of Union shipping on the Potomac River. <u>Based on the Church’s history, potential for significant archaeological resources is high outside the limits of burials.</u></p> <p>Primary Uses: Historical/Cultural (cemetery); Park Analogous Land Use Classification: See comment below Surrounding Land Use Classification: SRR Comment: The church structure collapsed on December 25, 1987, and religious ceremonies are no longer held on this site.</p>	<p>Edit based on additional information now available.</p>
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<p>Bel Air [76-1] (PE, NR, HABS [VA-99], VLR)</p>	<p>Symbol 45</p>	<p>Edit based on additional information now available.</p>
<p>Location: Saratoga Lane, Woodbridge Ownership: Private Acres: 22.0 +/-</p> <p>Believed to have been built in 1740 on the basement of an earlier house, or perhaps the wall of a fort. Bel Air is a brick, 1½-story structure. Captain Charles Ewell probably built the house. His granddaughter, Frances, married Mason Locke Weems, the first biographer of George Washington, and moved into Bel Air about 1809. <u>Based on the site’s description and a number of previously recorded archaeology sites, potential for finding additional archaeological resources is high.</u></p> <p>Primary Uses: Residential (1 house [Bel Air] per 22 acres); See comment below; Historical/Cultural (museum) Analogous Land Use Classification: None Surrounding Land Use Classifications: SRL</p> <p>Comment: An easement to the Virginia Department of Historic Resources restricts uses and development on this property.</p>		

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<p>Bennett School [76-61] (NR) Symbol 25 Location: Lee Avenue, Manassas Ownership: Prince William County Acres: Within 14.7-acre County courthouse complex</p> <p>The building was authorized in 1908 by the General Assembly for the establishment of several agricultural high schools across the state. Dr. M.C. Bennett of Manassas donated two acres of land for the building. On completion in 1909, the building was used for an elementary school due to a large enrollment. The agricultural and domestic sciences, however, were housed in the nearby Ruffner School. The building is an imposing two-story brick structure with a classical portico and rusticated stone foundation. The building once had a cupola which the County is planning to reconstruct as part of the restoration.</p> <p>Primary Uses: Historical/Cultural (educational, community center); Retail-Historic (offices) Analogous Land Use Classification: None Surrounding Land Use Classification: PL</p> <p>Comments: The County is in the process of restoring the building for an employee training center. The numerous partitions, drop ceilings, and other more modern alterations to the building interior have been removed in preparation for restoration of the original classrooms and hallways. A 1937 brick addition on the rear has been removed due to its poor condition and floor elevations that differed from the original building.</p>	<p>Restoration project has been on hold for many years.</p>
<p>Ben Lomond [76-4] (NR, HABS [VA-836], VLR) Symbol 20 Location: Sudley Manor Drive, Manassas Ownership: Prince William County Acres: 5.9</p> <p>This house was built in 1837 by Benjamin Tasker Chinn, grandson of Robert “King” Carter. Ben Lomond also served as a hospital during the Civil War; soldiers’ impromptu last wills and testaments can still be seen on the walls. Three stone outbuildings, one possibly a slave quarters, are located on the property. <u>Significant archaeological resources exist as well.</u></p> <p>Primary Uses: <i>Historical/Cultural</i> (museum); <i>Retail-Historic</i> (gift shop); <i>Park</i> Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: RPC, PL, P&OS</p>	<p>Edit based on additional information now available</p>

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<p>Beverley (Chapman’s) Mill [76-2] (NR, HABS [VA-282], VLR) Symbol 1</p> <p>Location: Beverley Mill Drive, Thoroughfare Gap Ownership: Private, nonprofit Acres: 4.5</p> <p>Originally built in the mid-1770s and later expanded, this imposing stone building adjacent to Interstate 66, served as a mill for the surrounding region. During its history, Beverley, or Chapman’s Mill, also provided essential food products during five wars – including the French and Indian War, Revolutionary War, War of 1812, Mexican War, and Civil War. The building was heavily damaged by fire on October 22, 1998. <u>Significant archaeological deposits have been discovered throughout the property.</u></p> <p>Primary Uses: <i>Park; Historic/Cultural</i> (e.g., mill museum); <i>Retail-Historic</i> (gift shop, restaurant, or other appropriate uses allowed by the Board of County Supervisors with a special use permit). Analogous Land Use Classification: See comment below. Surrounding Land Use Classifications: AE, ER</p> <p>Comment: Only the outside walls of the mill remain after the 1998 fire. The walls are stabilized with a steel frame and the structure will stand as a landscape feature and reminder of the former mill. The site is operated by a non-profit organization that is raising funds to establish a cultural/historical park and museum on the site.</p>	

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<p>Bradley School House [76-308] Symbol 43</p> <p>Location: Bradley Forest Road, Brentsville Ownership: Private Acres: 1.04</p> <p>In 1871, Thomas and Martha Jones donated one acre of land to the trustees of the school district of Manassas as a site for a public free school for white students. By 1872, the trustees had erected a small, frame, one-room school house for the purpose of providing education for children in the new community of Bradley. This structure, still standing, is thought to be one of the oldest one-room school houses in Prince William County as the Commonwealth of Virginia had only introduced the compulsory public school system in 1869. The school house served area children until 1936. During the 1930s, the Prince William County School Board began replacing one-room and two-room schools in favor of a centralized system. The structure is currently in a residential use, but has served as a church.</p> <p>Primary Uses: <i>Residential</i> (1 house (Bradley School House structure) on 1.04 acres) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p> <p>Comment: The County operates Lucasville School, a one-room school house, as a museum demonstrating the educational experience of children in a rural setting in the late 19th and early 20th centuries.</p>	

<p>Brentsville Courthouse and Jail [76-21 and 76-231] Symbol 38 (PE, NR, VLR) Location: Bristow Road, Brentsville Ownership: Prince William County Acres: 3.0</p> <p>Brentsville Courthouse was Prince William County’s fourth courthouse. The courthouse and jail were built in 1822 and retained their functions until the County seat was moved to Manassas in the early 1890s. The courthouse and jail stand today as a rare example of a rural County seat and reflect the taste and style of the early Republic. The courthouse is a half-size of a stock courthouse plan designed by Thomas Jefferson, which may have been used by the builder of the courthouse, William Claytor.</p> <p>Primary Uses: <i>Historical/Cultural</i> (e.g., museum, tourist center, community center); <i>Park</i>; <i>Retail-Historic</i> (e.g., reception halls, tourist center, community events, weddings, gift shop). Analogous Land Use Classification: P&OS; also see Brentsville Historic District comments. Surrounding Land Use Classifications: AE, CRHS, P&OS, CR</p> <p>Comment: The courthouse and jail are part of a larger complex comprising the Brentsville Courthouse Historic Centre (23 acres). Other buildings within the complex include the Brentsville Union Church (1874) and the One-Room School House (1928). An early 19th century log cabin has been permanently placed at the site which was the residence of John Hall, an <i>aide-de-camp</i> to General Robert E. Lee. The master plan for the complex includes the ultimate re-establishment of the Brentsville Tavern and some other minor improvements that will not compromise the overall appearance of the site. An easement granted to the Virginia Department of Historic Resources restricts the uses and development on this property.</p>	
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<p>Brentsville Historic District [76-338] (NR, VLR)</p> <p>Location: Brentsville Ownership: Private and Prince William County Acres: 50.0 +/-</p> <p>Brentsville was established in 1822 as a planned new community for the site of Prince William County's fourth courthouse. It was the County seat from the early 1820s to the 1890s. <u>Significant archaeological deposits were discovered throughout the property.</u></p> <p>Primary Uses: <i>Residential</i> - (preservation of existing historic houses, old houses moved into Brentsville or new architecturally compatible infill); <i>Retail-Historic</i> use of historic structures (e.g., restaurants, bed & breakfasts, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Agriculture; Park; Historical/Cultural</i> (see Brentsville Courthouse and Jail)</p> <p>Analogous Land Use Classification: See comment below. Surrounding Land Use Classifications: AE, P&OS, CRHS, CR</p> <p>Comment: Existing 1/3 - 2/3 acre lots are characteristic of Brentsville. Emphasis should be placed on encouraging preservation and development that promotes Brentsville's historic character (i.e., a small, rural village or hamlet). This would involve a mixture of residential uses (primarily), limited retail uses (i.e., those that meet the needs of the residents and promotes the history of the area), compatible religious facilities and infill residential, and park uses.</p>	<p>Symbol 39</p> <p>Edit based on additional information now available</p>
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<p>Bristoe Station Battlefield [76-24] (NR, VLR) Symbol 27 Location: Bristow Road, Bristow Ownership: Prince William County Acres: 132.0</p> <p>This is part of a larger core area of a Civil War battlefield, most notable for a battle on October 14, 1863, when A.P. Hill’s corps stumbled upon two corps of the retreating Union army at Bristoe Station and attacked without proper reconnaissance. Union soldiers, posted behind the Orange & Alexandria Railroad embankment, mauled two brigades of Henry Heth’s division and captured a battery of artillery. Hill reinforced his line but could make little headway against the determined defenders. Hill lost his battle standing in the eyes of Lee, who angrily ordered him to bury his dead and say no more about it. The estimated casualties were about 2,000. <u>Many portions of the battlefield landscape are intact. Potential for significant archaeological resources is high.</u></p> <p>Primary Uses: <i>Historical/Cultural</i> (heritage park); <i>Retail-Historic</i> (e.g., visitor’s center/gift shop, restaurant, bed & breakfast, County offices); <i>Park</i> Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: CEC, FEC, SRR, AE, ER</p>	
<p>Buckland Hall [76-32] (NR) Symbol 16 Location: Buckland Mill Road, Buckland Ownership: Private Acres: 227.5</p> <p>This mid- to late- 18th century, central hall-plan, 1½-story house was built by Samuel Love on an 800-acre plantation. Thomas Mellon Evans restored the house in the 1960s retaining the elaborate hand-carved wood work, wide pine flooring, and stairways. The property also contains a small, low, stone smoke house and the grave of Samuel Love. The house is representative of the English and early American form of a rural development with a manor house overlooking a small village.</p> <p>Primary Use: <i>Residential</i> (1 du/10 ac. with 3-acre rural cluster lot development that is sympathetic to the architecture and does not negatively impact the viewshed of Buckland Hall); <i>Agriculture</i>; <i>Historical/Cultural</i> (part of a museum complex) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p>	

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<p>Buckland Historic District [76-313], (NR, VLR), Historic Overlay District, Buckland Historical Area</p> <p>Location: Buckland Ownership: Private Acres: 263</p> <p>The 19-acre historic overlay district (HOD) is located on both sides of US Route 29 (Lee Highway) near the Fauquier County line. The CRHS contains a portion of the larger 408 acre Buckland Historic National Register District, the Federally-recognized Buckland Mills Civil War Battlefield, and all of the Buckland Historic Overlay District. An Act of the Virginia General Assembly established Buckland as a chartered town in 1797 near the junction of Broad Run and the Warrenton Turnpike (modern Lee Highway).</p> <p>As the first inland town in the County, Buckland consists of both architectural and archaeological resources and survives as one of the best 18th and early 19th century industrial or mill villages in Virginia. Buckland served as an important wagon stop on the Warrenton Turnpike and was visited by many prominent public figures, including several U.S. Presidents, during the early days of the nation. Due to its location at the junction of Broad Run and the Warrenton Turnpike, it was a prosperous agricultural and industrial community. Additionally, prior to the Civil War and after the war, during the Reconstruction period, Buckland was the home of a significant community of African-Americans.</p> <p>During the Civil War, Stuart’s cavalry shielded the withdrawal of Lee’s army from the vicinity of Manassas Junction after defeat at Bristoe Station. Union cavalry under Kilpatrick pursued Stuart’s cavalry along the Warrenton Turnpike but were lured into an ambush near Chestnut Hill and routed. The Federal troopers were scattered and chased five miles in an affair that came to be known as the “Buckland Races.”</p> <p>Architecturally, the CRHS contains 15 of the National Register District’s 29 contributing resources. Buckland is largely intact with only six original structures known to have been demolished since the historic period. Many of the streets depicted on the original 48-lot town plan are still intact. The majority of the standing structures have construction dates ranging from 1770 to 1850. Currently, many of the structures are used as residences. However, historically these structures served a variety of uses; for example, three of these residences were once taverns. Today, Buckland Mill is the focal point of the village and is a remnant of a period of time when there were a number of manufacturing mills here. Buckland Mill is the last standing mill in the County with machinery that was installed in 1899.</p> <p>Primary Uses: <i>Residential</i>. See comment below; <i>Retail-Historic</i> use of historic structures located adjacent to highway (e.g., gift shops, restaurants, or other appropriate uses allowed by the Board of County Supervisors with</p>	<p align="center">Symbol 14</p> <p>Historical Commission Comment: Justin Patton prepared a cultural resource site map of Buckland for Supervisor Lawson in Spring of 2015. This map is excellent - detailing the Historic Overlay District, the NRHD, the Battlefield and the CRHS map.</p> <p>Recommendation: Add this map to the CR Comp Plan-Buckland Section. Again, all of these designations have been supported by PWC BOCS resolutions, and accordingly, merit being reflected within the CR Comp Plan.</p> <p>Response: A map of all battlefields in the County was added to Appendix B.</p> <p>Buckland Historical Area now includes the Buckland Historic Overlay Zoning District, CRHS – Cerro Gordo and Buckland Hall, the Buckland Historical Area, and the Buckland Mills Battlefield Study Area.</p>
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<p>a special use permit); see comment below. <i>Historical/Cultural</i> (e.g., museum complex); other facilities as required for the operation of Lake Manassas as a regional water supply on parcels owned by the City of Manassas.</p> <p>Analogous Land Use Classification: See comment below.</p> <p>Surrounding Land Use Classifications: AE, ER</p> <p>Comment: The preferable use of the historic structures is residential. <i>Retail-Historic</i> or <i>Historical/Cultural</i> uses of the historic structures should be encouraged when residential use is undesirable. A portion of Buckland is within a historic <u>zoning</u> overlay district. Any alterations within the district are subject to review by the Architectural Review Board.</p>	
<p>Cerro Gordo [76-593] (NR) Symbol 15</p> <p>Location: Cerro Gordo Road, Buckland</p> <p>Ownership: Private</p> <p>Acres: 7.5</p> <p>This 2½-story stone house was built on the foundations of an earlier house (ca. 1820) by the Alexanders, and later owned by the Tylers, then the Hunttons before and during the Civil War. That was a frame house that burned sometime in the early 20th century and was replaced by <u>the</u> present stone house in the 1930s by Philip Harry Lee, a descendant of Lighthorse Harry Lee. The existing Georgian/Federal Revival-style house sits on a high knoll overlooking the Buckland Historic District.</p> <p>Primary Use: <i>Residential</i> (1 du/10 ac.)</p> <p>Analogous Land Use Classification: None</p> <p>Surrounding Land Use Classifications: AE</p>	<p>Clarification edit.</p>

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<p>Cockpit Point Battery [76-302] (NR, VLR) Location: Cockpit Point, Dumfries Ownership: Private Acres: 16.2</p> <p>From October 1861 to March 1862, the Confederate blockade diverted almost all shipping away from the Potomac River, the Union’s main supply route. In addition to causing hardship for the military troops and civilians in Washington, D.C., the blockade was highly embarrassing for Union politicians and military leaders. Of the original four batteries, Cockpit Point is the only “strong” battery that remains. The batteries are located along the edge of a cliff which is over 70 feet high. <u>Many portions of the battlefield landscape and viewsheds are intact. Potential for significant archaeological resources is high.</u></p> <p>Primary Uses: <i>Park; Historical/Cultural</i> (e.g., heritage park); See comment below. Analogous Land Use Classification: See comment below. Surrounding Land Use Classifications: REC, EI, ER</p> <p>Comment: There is currently no road access to the site. For the property to be accessible a crossing over the CSX train tracks would have to be constructed or an easement obtained through the property to the north, currently used as a fuel depot. The owner/developer of <u>Potomac Shores Harbor Station</u> has dedicated the site to the County to ensure the preservation of this significant national resource. The County is working on a master plan for the interpretation and public access to the site and nomination of the site to the National Register of Historic Places</p>	<p>Symbol 52</p>	<p>Edit based on additional information now available</p> <p>Edit reflects current project name.</p>
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<p>Effingham [76-6] (NR, HABS [VA-575], VLR) Symbol 34 Location: Aden Road, Nokesville Ownership: Private Acres: 13.0 +/-</p> <p>This well cared for Tidewater-style plantation house was built in the late 1700s by William Alexander, a great-grandson of John Alexander, for whom Alexandria is named. Effingham’s smokehouse, slave quarters, a very early terraced garden, and a blacksmith shop remain. The house has outstanding interior woodwork. The historic buildings on the property were restored by Dr. Eng of Cleveland, Ohio, who used Effingham as a summer home. <u>Historic photographs show numerous outbuilding on the 13 acre parcel. The historic landscape surrounding the house is intact. Potential for significant archaeological resources is high.</u></p> <p>Primary Uses: <i>Residential</i> (1 du/10+ ac.), <i>Retail-Historic</i> use of historic structures (e.g., bed & breakfast, catered events, receptions, weddings, or appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Park</i>; <i>Historical/Cultural</i> (e.g., 18th century plantation complex museum) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, PL, ER</p> <p>Comment: The land surrounding the Effingham house has recently been significantly reduced from 494 acres to 13 acres as part of a subdivision of the property and development for single-family dwellings.</p>	<p>Edit based on additional information now available</p>
<p>Ellen’s Veil [76-182] Symbol 12 Location: Shelter Lane, Woolsey Ownership: Private Acres: 20.3</p> <p>This late 18th century, central hall-plan, 2½-story stone and stucco house was built by Martin Cockburn and later owned by the Rogers and the Polend families. This was part of a tract that Martin Cockburn owned which also contained his summer house, “The Shelter.” The property contains a stone slave quarters and a cemetery containing the graves of the Polend family.</p> <p>Primary Use: <i>Residential</i> (1 du/10 ac.) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p>	

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<p>Evergreen [76-7] (HABS [VA-833]) Symbol 8 Location: Evergreen Country Club, Waterfall Ownership: Private Acres: 5.0+/-</p> <p>Built in the 1820s, this imposing 2½-story Greek Revival brick and stucco house was the residence of Edmund Berkeley. During the Civil War, Berkeley raised a company known as the Evergreen Guards, which was mustered into Confederate service as Company C of the 8th Virginia Infantry. Attaining the rank of Lieutenant Colonel, Berkeley and his sons served with this regiment throughout the war. After the war Colonel Berkeley campaigned to establish a memorial park on the battlefield of Manassas but he died in 1915 before his dream came to fruition. The house has outstanding interior paneling and other woodwork and is a focal point of the Evergreen community.</p> <p>Primary Uses: <i>Retail-Historic</i> use of historic structure (e.g., club house, restaurant, offices, meeting rooms, bed & breakfast, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Cultural/Historic</i> (private school, museum) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE</p>	
<p>Fleetwood [76-8] (HABS [VA-427]) Symbol 36 Location: Fleetwood Drive, Nokesville Ownership: Private Acres: 54.4</p> <p>Fleetwood was a pristine example of Federal architecture in Prince William County. The east wing dated to the 1770s; the main stone structure and west wing were built in 1823. <u>The site is now an archaeology site.</u></p> <p>Primary Uses: Unknown (see comment below) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p> <p>Comment: The house had been vacant and neglected for many years and it burned in 2003. Only the exterior walls remain.</p>	Edit based on additional information now available

<p>Grayson’s Tomb [76-259] Symbol 47</p> <p>Location: Longview Drive, Woodbridge Ownership: Private Acres: 0.10</p> <p>William Grayson, who along with Richard Henry Lee served as Virginia’s first two elected senators, was born at Belle Air Plantation in 1742. The Grayson family, who had been in Virginia for several generations, was among the first to settle along Quantico Creek. His mother was Susannah Monroe, the sister of Spence Monroe, the father of James Monroe of Orange County. Grayson was educated in Philadelphia, Pennsylvania, and Oxford, England, and practiced law in Dumfries beginning in 1765. He and his wife were frequent visitors to Mount Vernon.</p> <p>At the start of the Revolutionary War, Grayson served as the captain of a Continental Regiment he formed in 1774 in Prince William County. He served as <i>aide-de-camp</i> to General George Washington, and participated in the Battles of Long Island, White Plains, Brandywine, Germantown, and Monmouth. After the Revolutionary War, Grayson was a representative to the House of Delegates, both Continental Congresses, the Virginia Ratifying Convention, and the First Session of the Federal Congress. His first cousin, James Monroe, succeeded him as U.S. Senator from Virginia.</p> <p>Grayson was appointed a trustee for the two towns, Newport and Carrborough, which were established at the mouth of the Quantico Creek in the 1780s. These two towns were intended to attract river trade after the heavy siltation of Quantico Creek threatened to cut off Dumfries. William Grayson died in 1790 and was placed in the family cemetery. The Grayson family burial vault is located on the side of a hill near the house. Grayson County, Virginia, is named for William Grayson.</p> <p>Primary Use: <i>Historical/cultural</i> (i.e. cemetery) Analogous Land Use Classification: See comment below Surrounding Land Use Classifications: SRL</p> <p>Comment: William Grayson’s tomb is a large barrel vault tomb typical of burials in the late 18th century. The cemetery itself is approximately 20 feet by 20 feet. The CRHS area includes 25 feet on all sides from the center of the tomb.</p>	

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<p>Glee Hall [Davis-Beard House] [76-245] (NR, VLR) Symbol 29 Location: Bristow Road, Bristow Ownership: Private Acres: 0.56</p> <p>Prominently located at the intersection of Bristow Road and the Norfolk Southern Railway tracks, this house and attached store (now an antique store) are the finest and most elaborately detailed example of a late Victorian general store and merchant’s quarters extant in Prince William County.</p> <p>Primary Uses: <i>Residential</i> (1 du/10+ ac.); <i>Retail-Historic</i>; (e.g., store, restaurant, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Historical/Cultural</i> (contributing building to the Bristow village) Analogous Land Use Classification: See comment below Surrounding Land Use Classifications: AE, SRL, ER, FEC</p> <p>Comment: Aside from its architectural value, Glee Hall illustrates the history of the small, rural railroad community of Bristoe Station. Throughout most of its history, this building housed a combination of residential and commercial uses. Continued use of the building as a residence and store should be encouraged. If changes in the area make the building undesirable as a residence (e.g., increased train traffic or industrial development across the street), then <i>Retail-Historic</i> uses that preserve the architectural values of the structures and which promote the history of Bristoe Station should be encouraged.</p>	
<p>Green (Dower) House [76-9] (HABS [VA-825]) Symbol 35 Location: Aden Road, Nokesville Ownership: Private Acres: 7.1</p> <p>This is a 1½-story Tidewater-style cottage on a red sandstone foundation with stone chimneys on the gable ends. The house is similar to the nearby Park Gate house. Original portions of this frame building date to about 1775, but the building was altered with additions, partial porch enclosure, and a covering of modern siding in the 1970s, which has not significantly impacted the original fabric of the older section of the house. A subdivision road has recently been cut through the property to provide access to 10-acre lot residential development to the north.</p> <p>Primary Uses: <i>Residential</i> (1 du/10+ ac.); <i>Retail-Historic</i> use of historic structure (e.g., restaurant, gift shop, or other appropriate uses allowed by the Board of County Supervisors with a special use permit) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p>	

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<p>Greenwich Presbyterian Church and Cemetery [76-175] (NR, VLR) Symbol 17</p> <p>Location: Burwell Road/Vint Hill Road, Greenwich Ownership: Private Acres: 7.6</p> <p>This church is the only example of a rusticated Gothic Revival church in Prince William County. Built in the late 1850s by Charles Green, of The Lawn, this is also the only church in the County that the Union military did not occupy or severely damage. Mr. Green, a citizen of England, convinced the Union military leaders that if the church ceased to be used as a church then ownership would revert back to him making Greenwich Church technically the property of the English Crown. The graves of Captain Bradford Smith Hoskins, the Englishman who rode with Colonel John S. Mosby and several other Civil War soldiers are located in the cemetery.</p> <p>Primary Uses: <i>Historical/Cultural</i> (religious ceremonies, community events) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE, CRHS</p>	
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<p>Hazelwood and Truro Plantation Site [76-5144] Symbol 32</p> <p>Location: Hazelwood Drive, Nokesville Ownership: Private Acres: 321.43</p> <p>Hazelwood is a rare surviving example of an agrarian farmstead with a large house and several outbuildings, including an outside kitchen and a smokehouse. The Truro Plantation house, which also occupied the property, was burned during the Civil War and was not rebuilt. The cemetery associated with Hazelwood and Truro contains many descendants of the Foote and Colvin families, as well as a number of Civil War soldiers and veterans.</p> <p>The tract of land associated with these homes was part of Richard Foote’s 7,500-acre portion of the Brent Town tract which was located in both present-day Prince William and Fauquier Counties. Brent Town was envisioned as a collection of large estates with manor homes, but the town never developed. Richard Foote II, the son of Richard Foote I who received the grant, came to Prince William County in the early 18th century to represent the interests of his father. He first settled in the Chotank Creek section of Stafford County. He later divided the tract among his five children. The house remained with Richard Foote II’s descendants until 1834 when it was purchased by the Colvin family where it remained until the 1980s.</p> <p>Hazelwood, still standing, began as a small log cabin at some point in the mid-18th century. Hazelwood, through four major additions, developed into an imposing two-story, frame, Federal-style, I-type house with a side passage plan. The house rests on a high basement with a single, exterior, brick end-chimney. During the Civil War, Hazelwood was commandeered and used by Union forces.</p> <p><u>The property exhibits a high potential for finding significant archaeological resources. Three cemeteries are reported to be on the property. The Truro plantation house is in archaeological ruins. Slave quarters were reported near the standing house.</u></p> <p>Primary Use: <i>Residential</i> (1 du/10 acres) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p>	<p>Edit based on additional information now available</p>
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<p>Historic Village of Bristow Symbol 28</p>	
<p>Location: Bristow Road and the Norfolk-Southern Railroad Line</p>	
<p>Ownership: Private</p>	
<p>Acres: +/-20.00</p>	
<p>The historic village of Bristow is significant as the core of this 19th and early 20th century farming community. Centered on the intersection of Bristow Road and the Norfolk Southern rail line, the village takes its name from Robert Bristow who received the “Bristow Tract” in 1737. With the arrival of the Orange and Alexandria Railroad in 1852, Bristow (alternately called Bristoe Station) gained prominence as a post office. In its heyday, Bristow had churches, schools, hotels, stores, a blacksmith shop, and storage buildings used in the transport of agricultural goods onto rail cars.</p>	
<p>The village of Bristoe Station was badly damaged during the October 14, 1863 battle when Confederate General Ambrose Powell Hill, native son of Culpeper, launched an attack without realizing that the Union rear guard, Major General Gouverneur K. Warren’s Second Corps, had taken a strong position on the south side of the rail road embankment. The Confederates were repulsed with 1,300 casualties to Warren’s 548. Forty-three Union soldiers and 137 Confederate soldiers were buried on the battlefield. Thomas K. Davis, owner of the store and hotel at Bristoe Station, was allowed \$1,728 off his taxes for “buildings destroyed” during the war. Earlier, on August 27, 1862, the “Battle of Kettle Run” shifted closer to Bristoe as Confederate General Richard S. Ewell fought a classic rear guard action against General Joseph Hooker’s Union division. Ewell successfully held Bristoe until ordered to fall back on Confederate General Thomas J. “Stonewall” Jackson’s main body at Manassas that evening. Ewell had 143 wounded and left behind 35 dead while Union losses totaled nearly 300 men killed and wounded. Later that night, Jackson abandoned Manassas Junction, marching his divisions northward to the First Manassas battlefield.</p>	
<p>The Bristow Store, the Rollins House, the Davis-Beard House, and the Rollins Store survive in this post-Civil War crossroads.</p>	
<p>Primary Uses: <i>Residential</i> (preservation of existing houses, old houses moved to Bristow or new architecturally compatible infill); <i>Retail-Historic</i> use of historic structures (e.g. restaurants, bed & breakfasts, antique shops, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Agriculture; Park</i></p>	
<p>Analogous Land Use Classification: See comment below</p>	
<p>Surrounding Land Use Classifications: AE, ER, FEC, CRHS</p>	
<p>Comment: Existing 1/3 – 2/3 acre lots are characteristic of Bristow. Emphasis should be placed on encouraging preservation and development that promotes Bristow’s historic character (i.e. small, rural village or hamlet). This would involve a mixture of the following: residential uses (primarily);</p>	

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<p>limited retail uses (i.e. those that meet the needs of the residents and promote the history of the area); compatible religious facilities; infill residential; and park uses.</p>	
<p>Historic Village of Thoroughfare [76-5150] Symbol 13 Location: John Marshall Highway (Route 55) and the Norfolk-Southern Railroad line in the Broad Run community Ownership: Private Acres: +/-5.0</p> <p>Families of African-American, Native American, and mixed ancestry migrated here from Fauquier, Culpeper, Rappahannock, and Warren Counties after the Civil War. The Allen, Berry, Fletcher, Nickens, and Payton families, along with former slaves from this area, acquired land from former plantations, built homes, and established the farming community of Thoroughfare which prospered until the 1940s. Many of the “free people of color” who settled here were illiterate and their families were not accepted into the schools and churches of their white neighbors. The “core” of the village consists of three homes constructed by Frank Fletcher, a skilled carpenter in the Piedmont region, which are adjacent to the Norfolk-Southern railroad line. The railroad depot survives although it has been relocated to a nearby property. By 1885, the North Fork School (for African-Americans) was built with local labor and county funding on property owned by the Primas family. In 1899, community growth compelled the families to construct a second floor room and hire an additional teacher at their own expense. By 1909, members of the community built the current Oakrum Baptist Church on donated land and selected their own ministers. Oakrum, as a congregation, began to meet before the Civil War. Oakrum’s church records, which have been donated to the Library of Virginia, serve as a reflection of 19th and early 20th century life in rural Virginia.</p> <p>Primary Uses: <i>Residential</i> (preservation of existing houses), old houses moved to Thoroughfare or new architecturally compatible infill; <i>Retail-Historic</i> use of historic structures (e.g. restaurants, bed and breakfasts, antique shops, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Agriculture; Park</i></p> <p>Analogous Land Use Classification: See comment below Surrounding Land Use Classifications: AE, ER</p> <p>Comment: Existing 1/3 to 2/3 acre lots are characteristic of Thoroughfare. Emphasis should be placed on encouraging preservation and development that promotes Thoroughfare’s character (i.e. small, rural village or hamlet). This would involve a mixture of the following: residential uses (primarily); limited retail uses (i.e. those that meet the needs of the residents and promote the history of the area); compatible religious facilities; infill residential; and park uses.</p>	

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<p>King’s Highway [76-11] (HABS [VA-579]) Symbols 49 at Belmont Bay and Rippon Lodge Location: Near Railroad Avenue, Woodbridge and Rippon Boulevard near Rippon Lodge Ownership: HOA at Belmont Bay, Prince William County at Rippon Lodge Acres: Probably less than 2.0</p> <p>This is one of a few remaining unpaved segments of the King’s Highway as it cut through eastern Prince William County. The northernmost segment of the road is located within the Belmont Bay development within the common open space owned by the homeowner’s association. A central segment, owned by the County, is located to the north and west of Rippon Lodge. The King’s Highway was part of the north-south, inter-colonial postal route through the colonies. It was also part of what is known as the “Washington and Rochambeau Road”. From Alexandria to Fredericksburg, the highway incorporated the Potomac Path. This important section of the King’s Highway is adjacent to the ferry landing, dating from the colonial period, located across from Colchester, a small colonial town in Fairfax County. George Washington, as well as other colonial leaders frequently traveled this part of the King’s Highway. Washington, in a diary entry, even describes a near catastrophe that occurred as his horses were crossing the Occoquan River at Colchester. The first courthouse of “Old” Prince William County (which included what is now Prince William, Fairfax, Arlington, Fauquier, and Loudoun counties and the City of Alexandria) was located on the hill near this road segment.</p> <p>Primary Uses: <i>Historical/Cultural</i> (trail and interpretive markers); <i>Park; Transportation</i> (trail) Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: REC, SRL, RPC, PL, ER</p>	

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<p>La Grange [76-12] (HABS [VA-289]) Symbol 4 Location: Antioch Road, Haymarket Ownership: Private Acres: 20.0</p> <p>La Grange is a large, impressive brick house, built about 1790 by George Green, brother of James Green of Locust Bottom. It commands a magnificent view of the surrounding countryside. In 1827, the house was owned and occupied by Benoni Harrison, a merchant and member of the General Assembly. By the 1930s the house was in ruinous condition and was restored by Joseph and Irma Gibbons.</p> <p>Primary Uses: <i>Residential</i> (1 du/10 ac.); <i>Agriculture</i> (winery); <i>Retail-Historic</i> use of historic structures (e.g., bed & breakfast, commercial winery, or other uses allowed by the Board of County Supervisors with a special use permit)</p> <p>Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p> <p>Comment: After many years of the house being vacant, it is now part of a commercial winery operation and used for wine tasting and meals.</p>	
<p>The Lawn [76-178] (NR, VLR) Symbol 18 Location: Vint Hill Road, Greenwich Ownership: Private Acres: 28.7</p> <p>The Lawn was built by Charles Green, a wealthy English cotton merchant. Architecturally, the Lawn is unique and is the only surviving example of a mid-19th century Gothic Revival farm complex in Prince William County. The main house burned in 1924 and was replaced by a Tudor Revival-style house in 1926. Many of the Gothic-style outbuildings remain.</p> <p>Primary Uses: <i>Residential</i> (1 du/10 ac.); <i>Agriculture</i>; <i>Retail/Historic</i> (e.g., bed & breakfast, conference center, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Historical/Cultural</i> (house or large estate museum)</p> <p>Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, CRHS</p>	

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<p>Locust Bottom [76-88] (NR, VLR) Symbol 9 Location: Logmill Road, Hickory Grove Ownership: Private Acres: 212.4</p> <p>Built in the early 1800s by James Green, a gentleman planter, this brick house survives as one of the finest examples of a Federal plantation house in northern Prince William County.</p> <p>Primary Uses: <i>Residential</i> (1 du/10 ac. with 3-acre rural cluster lot development that is sympathetic to the architecture and does not negatively impact the viewshed of Locust Bottom); <i>Agriculture</i>; <i>Retail-Historic</i> (e.g., bed & breakfast, or other appropriate uses allowed by the Board of County Supervisors with a special use permit) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p> <p>Comment: The property has recently been subdivided by the heirs of Dr. Aldred who owned the property for a number of years. Approximately 240 acres to the west of the house have been converted to 10-acre lot residential development. 212 acres remain around Locust Bottom. Three-acre cluster lot development would be appropriate if further subdivision is contemplated. The new houses should be designed and placed so as to not negatively impact the architecture of Locust Bottom and its viewshed.</p>	
<p>Lucasville School [76-5175] Symbol 42 Location: Godwin Drive, Manassas Ownership: Prince William County Acres: 0.5</p> <p>This is the last remaining one-room school built for African-American students after the Civil War. This school was originally located further south off Lucasville Road, but was moved north into a farm complex in the 1930s. The building was moved and reconstructed in a small park along Godwin Drive by the developer of the Mayfield Trace subdivision, and then donated to the County with a half acre of land.</p> <p>Primary Use: <i>Cultural/Historical</i> (museum) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p> <p>Comment: The County operates the site as a museum demonstrating the educational experience of African-American children in a rural setting during the late 19th and early 20th centuries.</p>	

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<p>Manassas National Battlefield Park [76-271] (NR, VLR) Symbol 19 Location: North of I-66 in Prince William and Fairfax Counties Ownership: National Park Service Acres: 4,358</p> <p>The Manassas National Battlefield Park was established in 1940 to preserve the scene of two major Civil War battles, First and Second Manassas, occurring in 1861 and 1862 respectively. The park’s most important resources are the large tracts of land managed to represent the battlefield landscape as it existed at the time of the Civil War. The battlefield is an important cultural landscape in that it includes three houses that date from the Civil War period, several post-war historic buildings, a Confederate cemetery, the reconstructed Stone Bridge over Bull Run, six miles of historic road traces, and numerous other resources including monuments, archaeological sites, family cemeteries, trenches, and earthworks.</p> <p>The following recorded historic sites lie within the Manassas National Battlefield National Register Historic District: Lucinda Dogan House [76-5] HABS [VA-581] The Stone House [76-28] HABS [VA-144] Brawner House (Douglas Hall) [76-168] HABS [VA-1372] Thornberry House (Sudley Springs Post Office) [76-170] Deep Cut/Manassas Gap Railroad Independent Line (Unfinished) [76-171] Portici Site [76-205] Henry House (Spring Hill) [76-208] HABS [VA-1363] Chinn House Site (Hazel Plain) [76-209] HABS [VA-138] Brownsville Site [76-216] Pittsylvania Site [76-330] Stone Bridge HAER [VA-66]</p> <p>Other historic sites include: Chinn Ridge Cundiff House Site (Meadowville) Dogan Ridge Henry Hill Matthews Hill Robinson House Site Stuart’s Hill Van Pelt House Site Primary Uses: <i>Historical/Cultural; Park</i> Analogous Land Use Classification: None Surrounding Land Use Classifications: AE, PL, CEC, REC</p>	
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<p>Martin Scarlit Gravestones and Table Stones [076-0026] Symbol 51 Location: Rippon Lodge Historic Site Ownership: The stones are on loan to Prince William County from the Potomac River National Wildlife Refuge. Acres: 40</p> <p>Two late 17th century gravestones are displayed at Rippon Lodge Historic Site. One is a large sandstone gravestone of Martin Scarlit with the surface inscription, “M.S. 1695 Hear Lyes Martin Scarlit Gen’t”. The other is a broken rectangular sandstone table stone bearing a faded inscription of an hourglass and believed to have marked a Scarlit family grave. Scarlit owned the land known as Deep Hole Farm along Neabsco Creek. In the early 1900s, these stones were pulled from the Occoquan River and placed in a grove of trees at the wildlife refuge at Occoquan Bay. Both stones were moved to Rippon Lodge in 2005. These are some of the oldest stones in Prince William County. The stones are on loan to Prince William County from the Potomac River National Wildlife Refuge. Preservation efforts are underway.</p> <p>Primary Uses: <i>Cultural/Historic</i> (house museum); <i>Park</i> Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: RPC, P&OS, PL Comment: An easement granted to the Virginia Department of Historic Resources restricts the uses and development on this property.</p>	
<p>Meadowland (ruins) [76-197] (HABS [VA-829]) Symbol 2 Location: Beverley Mill vicinity Ownership: Private, nonprofit Acres: Less than 4.0</p> <p>These are the ruins of the Chapman residence, original owners of Beverley Mill. Meadowland was built in the mid-1700s. It was a large stone house, 2½-stories tall, having a double-pile plan, with double chimneys on either end. It burned in the 1880s, but some of the exterior walls remain north of the Norfolk Southern Railroad tracks.</p> <p>Primary Uses: <i>Park</i> (e.g., incorporate ruins and house site into plans for using Beverley Mill - see above) Analogous Land Use Classification: See Beverley Mill comments above. Surrounding Land Use Classifications: AE, ER</p>	

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<p>Mitchell’s Ford Entrenchments (NR, VLR) Symbol 21 Location: Old Centreville Road and Bull Run Ownership: HOA Acres: 5.0</p> <p>These entrenchments were constructed by South Carolina troops and used by the Confederacy during the Battle of Blackburn’s Ford and the First Battle of Manassas. They are located just above Bull Run. The entrenchments have been incorporated into a development as open space and are part of the Quail Hollow Homeowners Association property.</p> <p>Primary Uses: <i>Park</i> (e.g., a small, passive park with interpretive signs; reconstruction of the earthworks is not recommended). Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: ER, SRH</p>	
<p>Moor Green [76-14] (NR, HABS [VA-564], VLR) Symbol 41 Location: Flint Rock Road, Bristow Ownership: Private Acres: 10.8</p> <p>This early 19th century brick house, built by Howison Hooe, is an outstanding example of a country Federal estate comprising about 482 acres at that time. The house’s fine brickwork, handsome interior woodwork, and spacious rooms are representative of the best rural work of the early Republic. Its shed-roofed ell, its plan, and its “striped” three course American bond brickwork are rare in Virginia and connect the house architecturally with dwellings of similar date in southeastern Pennsylvania and northern Delaware.</p> <p>Primary Uses: <i>Residential</i> (1 du/10 ac.) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE</p>	

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<p>Mount Atlas [76-15] (NR, HABS [VA-831], VLR) Symbol 7 Location: Mount Atlas Lane, Waterfall Ownership: Private Acres: 1.8</p> <p>Constructed in 1795, Mount Atlas is one of the finest and least altered examples of late-Georgian domestic architecture in Prince William County. The structure needs immediate attention. Unless the roof, windows, and foundation are repaired, Mount Atlas may soon be too dilapidated to warrant restoration.</p> <p>Primary Uses: <i>Residential</i> (1 du/ 1 ac.), <i>Historical/Cultural</i> (e.g., house museum) Analogous Land Use Classification: SRR Surrounding Land Use Classifications: AE</p>	
<p>Nokesville Truss Bridge (NR, VLR) Symbol 30 Location: Aden Road and Norfolk Southern Railroad, Nokesville Ownership: Virginia Department of Transportation Acres: Less than 1.0</p> <p>This bridge, which dates to 1882, is a rare example of wrought iron truss bridges built by the Keystone Bridge Company of Pittsburgh, a pioneer in truss bridge technology. This is the last remaining of the truss bridges built in the County in the latter part of the 19th and early 20th centuries. It is a one-lane bridge and could be replaced.</p> <p>Primary Uses: <i>Transportation</i> (if the bridge is replaced, it should be preserved for recreational uses) Analogous Land Use Classification: Not Applicable Surrounding Land Use Classifications: AE</p>	

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<p>Orange and Alexandria Railroad Bridge Piers [76-238] (NR, VLR) Symbol 22 Location: Southern Railroad and Bull Run Ownership: Private Acres: Less than 1.0</p> <p>The Orange and Alexandria Railroad played a major role in the Civil War for both the Confederacy and the United States. These piers are what remain of the railroad bridge over Bull Run. Between 1861 and 1865, the bridge was rebuilt at least seven times because of military attacks and flash floods. The piers are immediately adjacent to Bull Run and close to the existing railroad bed. Park land surrounds the piers on the north and a golf course now lies along the south side.</p> <p>Primary Uses: <i>Park</i> Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: ER</p>	
<p>Park Gate [76-18] (NR, HABS [VA-555], VLR) Symbol 37 Location: Park Gate Drive, Nokesville Ownership: Private Acres: 41.3</p> <p>Park Gate is a well-maintained example of Tidewater-style, domestic architecture. Colonel Thomas Lee, eldest son of Richard Henry Lee, a signer of the <i>Declaration of Independence</i>, lived at Park Gate. Colonel Lee’s first wife was Mildred Washington, George Washington’s niece.</p> <p>Primary Uses: <i>Residential</i> (1 du/10+ ac. with 3-acre rural cluster lot development that is sympathetic to the architecture and does not negatively impact the viewshed of Park Gate); <i>Agriculture</i>; <i>Retail-Historic</i> (e.g., restaurant, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Historical/Cultural</i> (e.g., house museum) Analogous Land Use Classification: See comment below. Surrounding Land Use Classifications: AE</p> <p>Comment: The most practical use of the property is residential. If, in the future, residential use becomes impractical or undesirable, <i>Historical/Cultural</i> or <i>Retail-Historic</i> uses should be explored.</p>	

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<p>Pilgrim’s Rest [76-19] (NR, HABS [VA-837], VLR) Symbol 31</p> <p>Location: Belmont Grove Road, Nokesville Ownership: Private Acres: 75.5</p> <p>This house is one of the best preserved examples of a late-18th century plantation house in Prince William County. The architectural style is unusual in Northern Virginia; it is more similar to styles seen in the Tidewater region. The house has been meticulously restored. The Kinsley Granary has been moved to the site from Buckland because of the raising of the Lake Manassas water level by the City of Manassas.</p> <p>Primary Uses: <i>Residential</i> (1 du/10+ ac. with 3-acre rural cluster lot development that is sympathetic to the architecture and does not negatively impact the viewshed of Pilgrim’s Rest); <i>Agriculture</i>; <i>Retail-Historic</i> (e.g., bed & breakfast, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Historical/Cultural</i> (e.g., house museum)</p> <p>Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p>	

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<p>Powell-Allen House [76-206] Symbol 6 Location: Waterfall Road, Haymarket Ownership: Private Acres: 13.80</p> <p>The house was completed in April 1890 most likely by Allen Virgie Powell as his name and that date appear on the attic wall. This is a rare, 1½-story rubble stone structure set on a high stone cellar. The double-gallery form consisting of a columned porch on the upper and lower levels is an uncommon building style in Piedmont Virginia. A massive stone end-chimney forms one side of the home. The house is a vernacular form, with two rooms up and two rooms down, with stairs leading to the sleeping quarters. The Powell surname has long been associated with stone masonry construction in Prince William County. Burr Powell (1832-1916), who is buried in Antioch Church cemetery, reconstructed Beverley Mill after a disastrous fire.</p> <p>The house is built on a spur in the Bull Run Mountains and is positioned in a hillside to take advantage of the split grade. This house was one of many that formed the Waterfall-Hopewell community which, at its peak, had several mills, coopers’ shops, and the shops of other skilled artisans and craftsmen. The land was part of the original 1,000 acre tract which belonged to Enoch Foley and his descendants, beginning in 1797. The land was left to Burr Powell in trust for his daughter through the will of William E. Foley.</p> <p>Primary Uses: <i>Residential</i> (1 du/10 acres); <i>Agriculture</i> Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p>	

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<p>5th Prince William County Courthouse Symbol 24 (Old Manassas Courthouse) [76-5080] (PE, NR, VLR) Location: Lee Avenue, Manassas Ownership: Prince William County Acres: 2.3</p> <p>In 1894, Prince William County moved its court operations from the fourth Prince William County courthouse in Brentsville to its new Romanesque Revival structure in Manassas. This handsome stone and red brick building embodied many of the architectural ornamentation found in structures of the “Gilded Age”, and was inspired by the architecture of Henry Hobson Richardson of Boston, though it was designed by the Norfolk architecture firm of Teague and Marye. The building was used for court functions until 1984. The County completed a restoration of the building in 2002. It is now used for County offices on the first floor and has a large meeting and reception room on the second floor in the old courtroom.</p> <p>Primary Use: <i>Cultural/Historic</i> (County offices, community meeting room, receptions) Analogous Land Use Classification: None Surrounding Land Use Classifications: PL</p>	

<p>Prince William Forest Park [76-299], Cabin Branch Pyrite Mine [76-299] (NR, VLR), Camp Goodwill Historic District [76-131] (NR, VLR), Camp Mawavi Historic District [76-135] (NR, VLR), Camp Orenda Historic District [76-136] (NR, VLR), Camp Pleasant Historic District [76-146] (NR, VLR) Location: Joplin Road, Triangle Ownership: National Park Service Acres: 12,130.04</p> <p>Prince William Forest Park, originally known as the Chopawamsic Recreation Development Area at its inception in 1934, was part of the Recreation Demonstration Area (RDA) program of the <i>New Deal</i>. The RDA program was intended to provide conservation areas relatively close to population centers, particularly for low-income groups, for camping, hiking, swimming, and picnicking. The program targeted lands that were sub-marginal for agriculture but required land takings and displacement of residents. As farming and land development in Northern Virginia has destroyed much of the Piedmont forest, the park is now a rare example of this type of forest. The park is the only component of the National Park System dedicated to preserving a representative example of the Piedmont/Triassic physiographic province and the unique deciduous forest type that it supports. The park contains five cabin camps, originally constructed by the Civilian Conservation Corps, and the site of the Cabin Branch Pyrite Mine which employed the residents of the area. Four of the cabin camps and the mine site are listed in the <i>National Register of Historic Places</i>. A four-year archaeological study of the park has found numerous other historic resources that are potentially eligible for listing in the National Register. The park contains a segment of the King’s Highway – Washington/Rochambeau Route.</p> <p>Primary Uses: <i>Historical/Cultural; Park</i> Analogous Land Use Classification: None Surrounding Land Use Classifications: AE, PL, and numerous others along Dumfries Road</p>	<p align="center">Symbol 46</p>

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<p>Prospect Hill and Hutchinson Cemetery [76-22] (HABS [VA-832]) Symbol 10</p> <p>Location: Little River Road, Hickory Grove Ownership: Private Acres: 6.8</p> <p>Built in the late 1700s by John Hutchinson, this 1½-story, frame house sits atop a sandstone foundation. The house has at its approach a moderately large family cemetery containing the graves of Judge John Hutchinson (1768-184?) and his wife Nancy. Judge Hutchinson was the presiding judge of the County court. The Hutchinsons are said to have been known for their generous hospitality at the richly furnished Prospect Hill. The house has been vacant for many years and has been neglected. Preservation efforts need to be undertaken.</p> <p>Primary Uses: <i>Residential</i> (1 du/10/+ ac.); <i>Historical/Cultural</i> Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE</p>	
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<p>Railroad Avenue Houses [76-5068, 5069, 5070, 5071, and 5072] Symbol 48</p> <p>Location: Railroad Avenue, Woodbridge Ownership: Private Acres: 2.0</p> <p>The last vestige of the King’s Highway (Old Colchester Road) in the northern part of the County can be found behind these five houses of varying styles along Railroad Avenue. The foundation of the first Prince William County courthouse is also in this area. Given the historic significance of the area and the incompatibility of single family homes along a busy highway and railroad, this area could become part of the Potomac Heritage National Scenic Trail, with one of the houses functioning as an interpretive center. 76-5068 is the most interesting of these houses. Constructed in the 1920s, it is a 3-bay Dutch Colonial Revival-style house of wood frame and clad with wooden weatherboards. The steeply pitched gambrel roof with flared eaves is punctuated by dormers, and there are nine-over-nine sash windows throughout. 76-5069 is a good representation of the American Four Square-style prevalent from the 1900s to the 1920s. 76-5070 is a simple, but typical Bungalow-style of the 1920s. 76-5071 is the earliest of the houses, a two-story, vernacular 19th century house. 76-5072 is a two-story, vernacular duplex dating from around 1910.</p> <p>Primary Uses: <i>Residential</i> (1 du/1/4 ac.); <i>Historical/Cultural</i>; <i>Park</i>; <i>Transportation</i></p> <p>Analogous Land Use Classification: SRL</p> <p>Surrounding Land Use Classifications: REC, UMU, P&OS, ER</p> <p>Comment: The Potomac Communities Plan of the Comprehensive Plan calls for the County to acquire these houses as they become available.</p>	
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<p>Rippon Lodge [76-23] (PE, NR, HABS [VA-106], VLR) Symbol 50 Location: Blackburn Road, Woodbridge Ownership: Prince William County Acres: 40</p> <p>Built by Richard Blackburn about 1745, this 1½-story frame house has interior paneling of a fine quality not often seen in this region of Virginia. Thomas Blackburn inherited the property and enlarged the house to the north. Judge Ellis restored the house in the 1920s and added the flanking wings. The property was acquired by Prince William County in 2000 and is a house museum. The property is used for house tours, functions and events. <u>A number of archaeological resources exist throughout the property.</u></p> <p>Primary Uses <i>Cultural/Historic</i> (house museum); <i>Park</i> Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: RPC, P&OS, PL</p> <p>Comment: An easement granted to the Virginia Department of Historic Resources restricts the uses and development on this property.</p>	<p>Edit based on additional information now available</p>
<p>Signal Hill Fortifications [76-16] (NR, VLR) Symbol 23 Location: Signal Hill Road and Blooms Road Ownership: City of Manassas Park and HOA Acres: 24</p> <p>During the Battle of First Manassas, the primary Confederate signal station was located on Signal Hill. Captain Alexander spotted the Union Army troops attempting a surreptitious crossing of Sudley Ford. This information was signaled to Confederate generals who then managed to maneuver their troops into battle position to fend off the attack. This was the first use of the semaphore signaling system in warfare and marked the beginning of the First Battle of Manassas. Manassas Park owns the western portion of the site and has incorporated this area into a park. The eastern portion is established as a preservation area and is part of the Roseberry Homeowners' Association property.</p> <p>Primary Uses: <i>Park</i>. See comment below. Analogous Land Use Classification: P&OS; See comment below. Surrounding Land Use Classifications: SRR, P&OS, SRL</p> <p>Comment: The eastern side of the hill was rezoned for residential and portions of the hill were included in the homeowners' association open space. Other portions are part of the Signal Hill Park owned by the City of Manassas Park.</p>	

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<p>Stepney [76-215] Symbol 11 Location: Stepney Drive, Haymarket Ownership: Private Acres: 4.0</p> <p>Stepney was built on part of the Bull Run tract originally belonging to Lewis Burwell (1710-1752) who served as treasurer and president of the Governor’s Council in colonial Virginia. The original part of the house was built in the late 18th century. Like Snow Hill, a neighboring colonial home of the landed gentry, the house was built on land conveyed by Lewis Burwell II to Matthew Whiting from 1763 through 1774. Since the construction of the house, Stepney has been the home of a number of prominent Virginians including the Brooke, Lewis, Ball, and Stuart families. Stepney is a rare surviving example of an agrarian farmstead with a number of original outbuildings including a smokehouse, a carriage house, and a root cellar.</p> <p>The family cemetery, now on an adjacent property, contains a number of prominent Virginians including Reverend John Taliaferro Lewis, who is related to General George Washington through the marriage of Colonel Fielding Lewis and Betty Washington Lewis, sister of George Washington.</p> <p>Primary Use: <i>Historical/Cultural</i> (bed & breakfast) Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p>	

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<p>Thomasson Barn [76-285] Symbol 26</p> <p>Location: Nokesville Road, Innovation @ Prince William Ownership: Prince William County Acres: some portion of a 205.2-acre tract (see comment, below)</p> <p>This large decorative-block dairy barn has an unusual arched metal roof, pierced by four dormers on each side and topped by fanciful vents or cupolas. There are two large silos on the east end, each with two dormers in the roof. Will Thomasson, who purchased the property from the Hornbakers in the early 20th century, built this barn in the 1920s. The barn is a landmark along Route 28. It is the last remaining intact barn of its type in the County and the last remaining building of the Thomasson farm.</p> <p>Primary Use: <i>Retail-Historic</i> (retail, office, or other appropriate uses allowed by the Board of County Supervisors with a special use permit); <i>Cultural/Historic</i> (museum, community meeting center) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p> <p>Comment: The Prince William County Department of Economic Development is actively engaged in finding an entity that will restore and use the building for employment and other uses that would be appropriate for the Innovation Business Park. The barn site will be subdivided out from the 205-acre tract when a user is found for it.</p>	<p>Completed, sold to a brewery.</p>

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<p>Thoroughfare Gap Battlefield [76-030 and 76-1016] Symbol 3</p> <p>Location: Thoroughfare Road, Haymarket Ownership: Private Acres: +/- 500.0</p> <p>The Battle of Thoroughfare Gap was fought on August 28, 1862 and played an instrumental role in the outcome of the Battle of Second Manassas. General James B. Ricketts’ Union division blocked General James Longstreet’s Confederate forces at Thoroughfare Gap for several hours late in the day. Eventually, skirmishers from the brigades of Evander Law and Henry Benning gained the flanks of Ricketts’ position and forced his withdrawal. Ricketts’ troops retreated through Haymarket and Gainesville and proceeded to Manassas Junction (within the present-day City of Manassas). This seemingly inconsequential action opened Thoroughfare Gap for Longstreet’s divisions to pass through and unite with the forces under General Thomas J. “Stonewall” Jackson the next day, virtually assuring the defeat of General John Pope’s Union Army at Second Manassas.</p> <p>This battle is one of eight Civil War battles fought in Prince William County ranked by the <i>American Battlefield Protection Program (ABPP)</i>. The Battle of Thoroughfare Gap is classified as Class “C” as it had some influence on the Northern Virginia campaign which occurred from June through September 1862. <u>Large portions of the battlefield landscape are intact.</u></p> <p>Primary Uses: <i>Historical/Cultural; Park</i> Analogous Land Use Classification: AE Surrounding Land Use Classifications: AE, ER</p> <p>Comment: There are no facilities which interpret the Battle of Thoroughfare Gap on-site. Much of the CRHS is occupied by the Bull Run Mountains State Nature Preserve.</p>	<p>Edit based on additional information now available.</p>
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<p>The White House [76-31] (NR, HABS [VA-553], VLR) Symbol 40 Location: Bristow Road, Brentsville Ownership: Private Acres: 1.8</p> <p>This is the finest example of Federal, residential architecture in Brentsville. This two-story, scored, stucco-over-brick house, was built in 1822, in conjunction with the County courthouse and jail, for the clerk of the court.</p> <p>Primary Uses: <i>Residential; Retail-Historic</i> (e.g., bed & breakfast); <i>Historical/Cultural</i> (e.g., house museum or part of the Brentsville Courthouse Historic Centre complex) Analogous Land Use Classification: See Brentsville Historic District comments above. Surrounding Land Use Classifications: CRHS, P&OS</p>	
<p align="center">TABLE 2</p> <p align="center">ELIGIBLE <u>TO BE CLASSIFIED AS</u> COUNTY REGISTERED HISTORIC SITES</p>	<p>Clarification Table 1 and Table 2 moved to Appendix A</p>
<p>Bloom Hill [76-149] Location: Lucasville Road, Manassas Ownership: Private Acres: 52.5</p> <p>This is a late 18th or early 19th century, 1½-story gable-roof frame cottage. According to local tradition, the house was used as a tavern. Traces of the old road to Brentsville can still be seen passing the front of the house. The house is one of only a few early 1½-story heavy timber-constructed houses remaining in the County.</p> <p>Primary Uses: <i>Residential</i> (1 du/10 ac. with 3-acre rural cluster lot development that is sympathetic to the architecture and does not negatively impact the viewshed of Bloom Hill house); <i>Agriculture</i> Analogous Land Use Classification: None Surrounding Land Use Classifications: AE, FEC, SRL (across the 234 Bypass)</p>	

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<p>Bradley [76-70] Location: Dumfries Road, Manassas Ownership: Private Acres: 3.0</p> <p>This Federal-style brick, central hall-plan, two-story house was built by James Hooe in 1815 on a 1,376-acre plantation. James Hooe was the nephew of Bernard Hooe of Hazel Plain. The excellent brick work is laid in Flemish bond on the front and five-course American bond on the sides and rear. Beneath the metal-covered gable roof is a molded-brick cornice. The interior has deep, paneled window wells and interior walls made of brick to support the center of the house. The house was used as a religious institution in the 19th century and the grounds served as a Civil War camp.</p>	
<p>Falkland [76-77] Location: Falkland Drive, Buckland Ownership: Private Acres: 12.6</p> <p>Falkland is one of a few remaining manor houses in the County associated with the Carter family. The house was built in 1844 by John Hill Carter. It is a large, two-story, side hall-plan, stone house resting on a raised basement. There are two stone, 1½-story flanking wings, one containing the original kitchen. A small frame school house remains on the property. The craftsmanship that went into the building of Falkland is rarely seen. The interiors, though not entirely original, are the work of a fine craftsman.</p> <p>Primary Use: <i>Residential</i> (1 du/10 ac.) Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p> <p>Comment: Given the history and its associations, and the architecture, gardens, and setting, Falkland is a high priority for listing in the <i>National Register of Historic Places</i> and the <i>Virginia Landmarks Register</i>.</p>	

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<p>Lake Jackson Historical Area [76-390] and Lake Jackson (Alpaugh) House [76-72] Location: Dumfries Road, Lake Jackson Ownership: Private Acres: 50.0 +/-</p> <p>This is part of an 800-acre Depression era resort which contains many of its original log cabins. Lake Jackson was developed by C.W. Alpaugh, beginning around 1927 with the construction of a dam across the Occoquan River to create a 12 mile lake. Mr. Alpaugh developed the resort with his sons by selling log cabins, each on two lots. The cabins are located within two tracts north and south of Lake Jackson known as the Lion Tract and the Cornwell Tract respectively. The house that Mr. Alpaugh built for the family in 1930 is situated on a prominent knoll at the entrance to the resort. The east front is a one-half scale model in stucco of the Custis-Lee Mansion in Arlington.</p> <p>Primary Use: <i>Residential</i> Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p>	

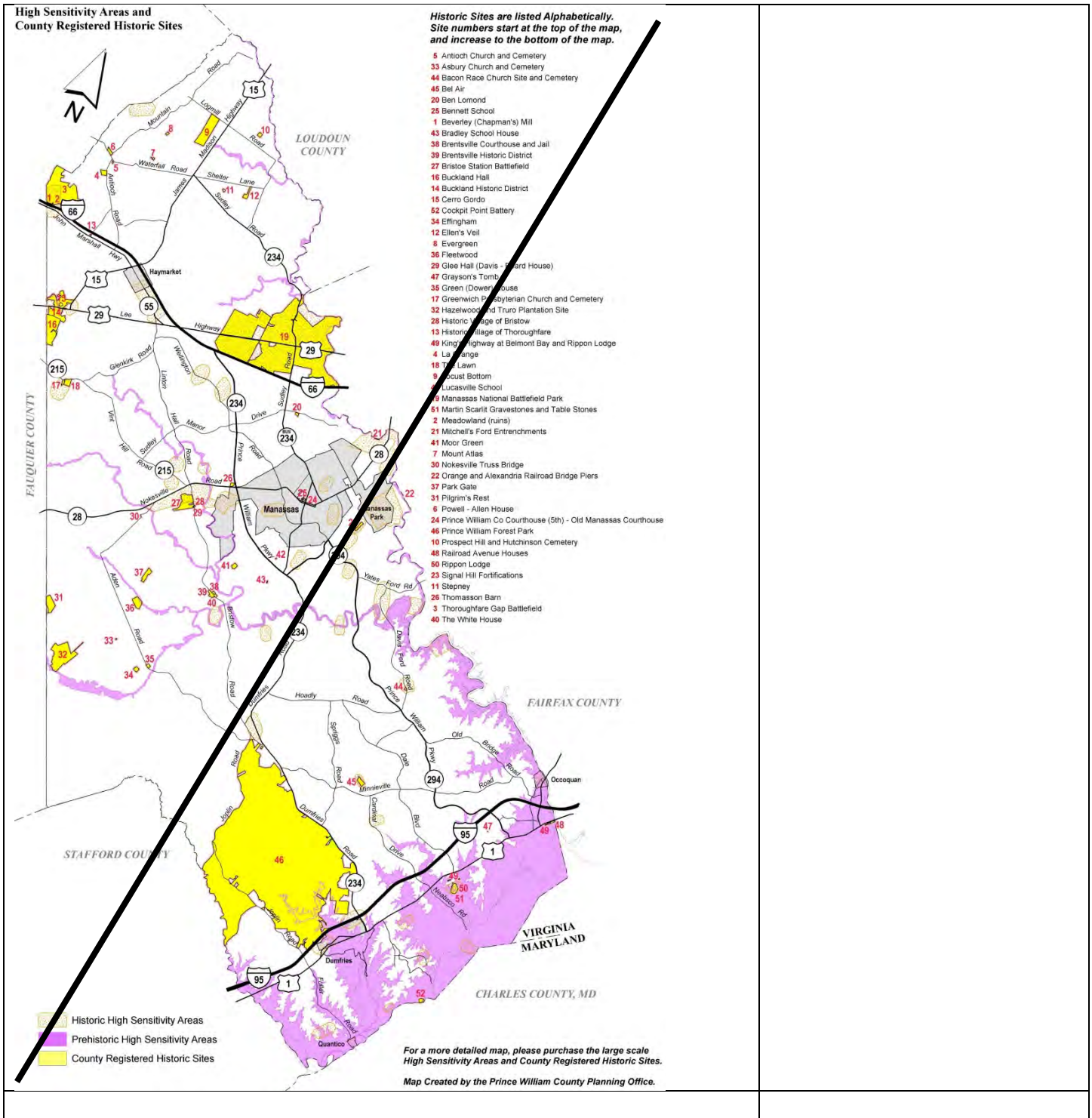
Attachment B – Comprehensive Plan Chapter Edits

<p>Tayloe (Neabsco) Iron Plantation [76-265] (NR Eligible) Location: Benita Fitzgerald Drive, Dale City Ownership: Private Acres: 152.8</p> <p>For over a century, the Tayloe family played an important role in the development of the County. Over the course of a century between 1730 and 1830, three generations of this family built communities, founded businesses, and sailed the waterways of the County. The family’s industrial and transportation businesses were situated almost entirely within the County, including this iron plantation. The Tayloes were instrumental in the development of Occoquan and Dumfries, and were renowned for their iron making and ship building enterprises at the Neabsco and Occoquan Ironworks. At the height of their involvement in the County, the family owned nearly 20,000 acres. The ironworks at Neabsco was run almost entirely by slaves.</p> <p>Primary Use: <i>Cultural/Historic; Park</i> (heritage park) Analogous Land Use Classification: P&OS Surrounding Land Use Classifications: RPC</p> <p>Comment: The State Review Board had determined the Tayloe Ironworks to be eligible for listing in the <i>National Register of Historic Places</i>. The site is part of the Dale City Residential Planned Community and designated open space. The County is interested in acquiring this property as part of its inventory of historic sites.</p>	

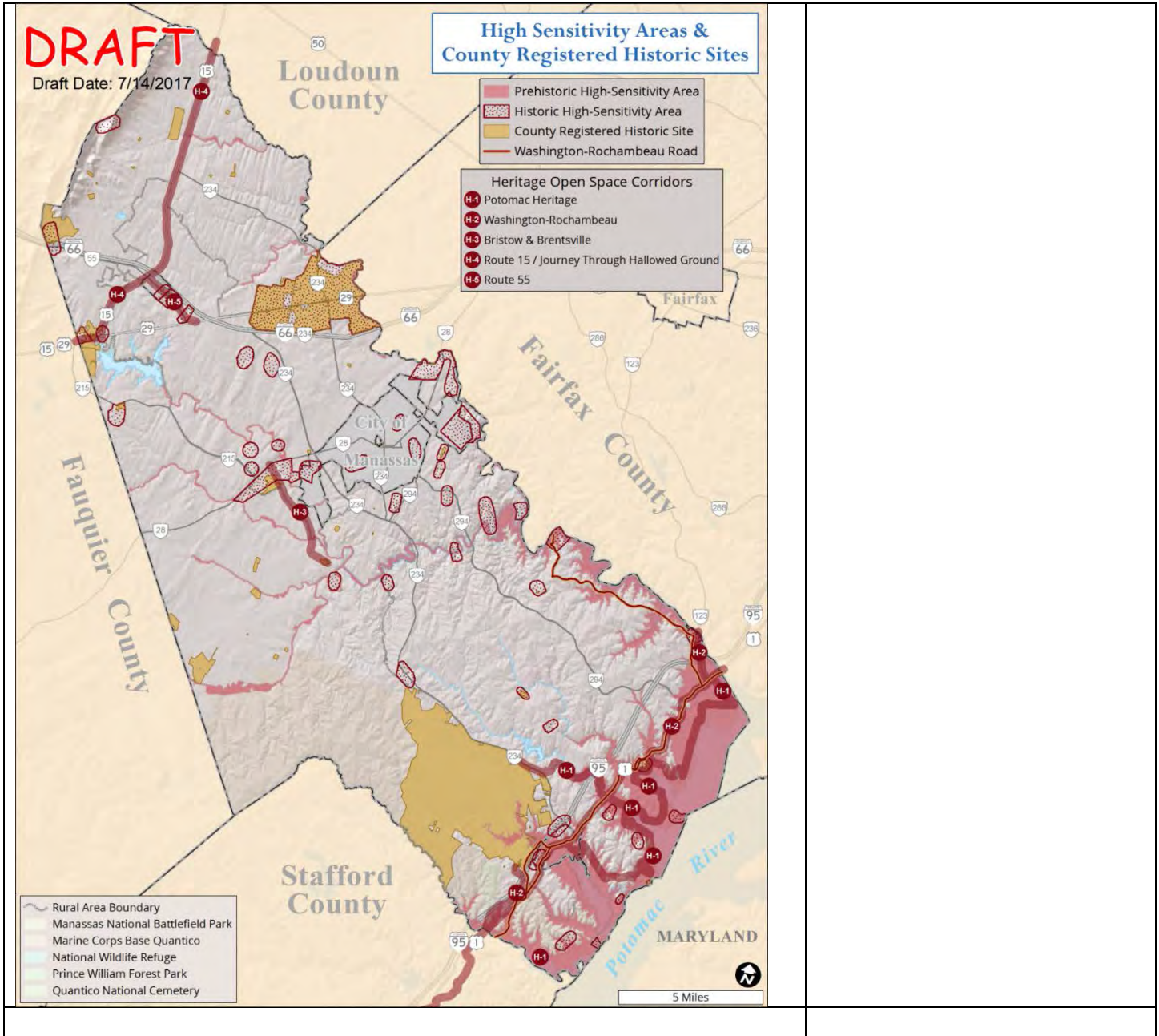
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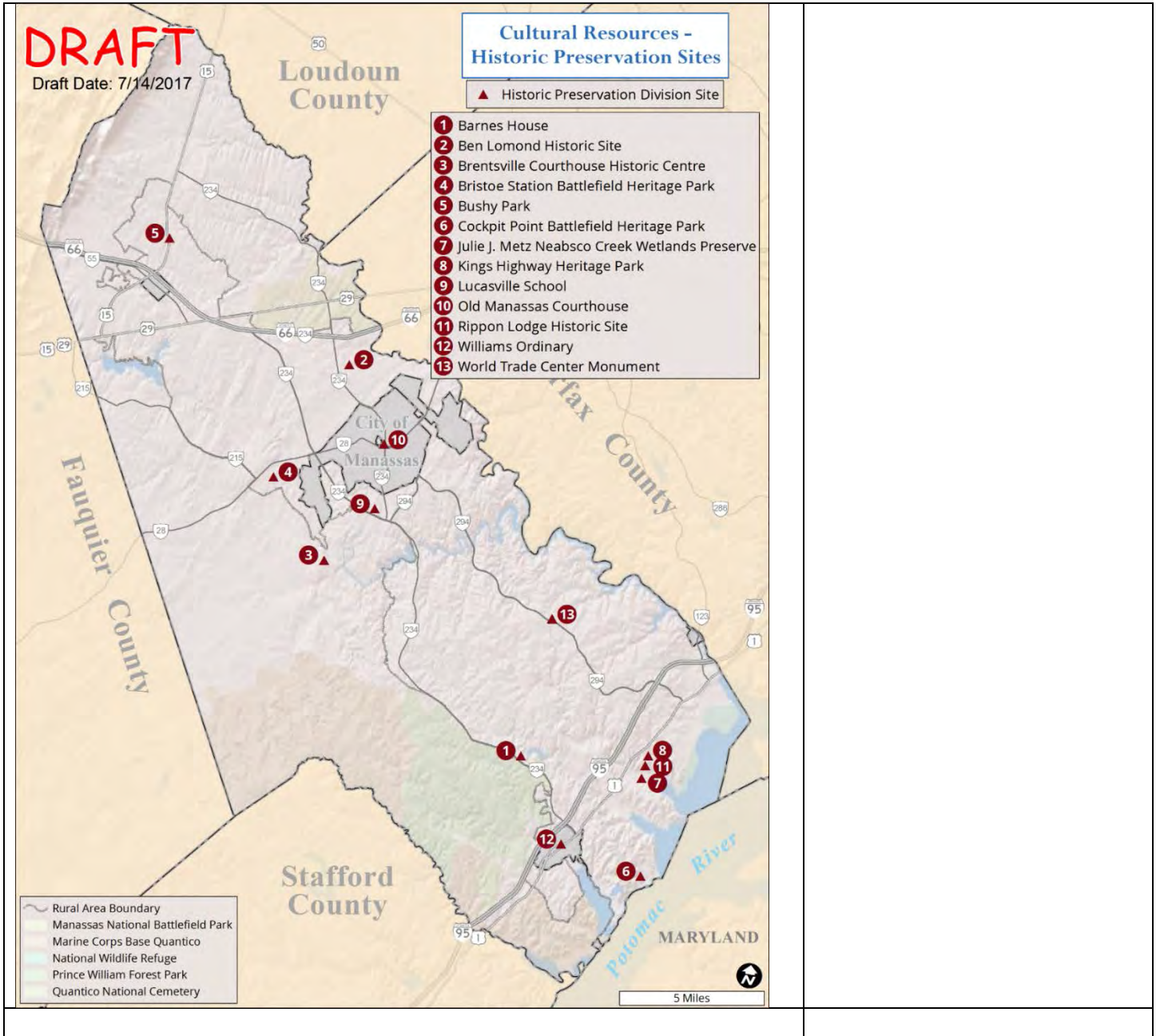
<p>Willow Green House [76-207] and Granary [76-157] Location: Balls Ford Road, Manassas Ownership: Prince William County Acres: 0.8</p> <p>Willow Green includes an 1870s house built on an earlier stone foundation, an original 18th century kitchen wing, and a stone granary dating from the early 19th century. The complex is associated with Richard Blackburn of Rippon Lodge, the Lee family of New Jersey, and the Wheeler family, who owned Willow Green from the Civil War to recent times. The stone granary was used during the First and Second Battles of Manassas as a refuge for the local population. It is very similar in size to and style of the Kinsley Granary, now located at Pilgrim’s Rest.</p> <p>Primary Use: <i>Cultural/Historic</i> (tourist center, offices, museum). Analogous Land Use Classification: None Surrounding Land Use Classifications: AE</p> <p>Comment: The Willow Green house, kitchen, and granary are set aside from a developing area on an 0.80 acre lot and dedicated to the County for use as a tourist center and/or office space.</p>	
<p>Woodlawn [76-122] (NR Eligible) Location: Thoroughfare Road, Haymarket Ownership: University of Virginia Real Estate Foundation Acres: 10.8</p> <p>This is a rambling, three-part frame and clapboard house with the earliest part appearing to be the central connection between the two-story and 1½-story wings. This earliest portion may date to the time of Thomas Nelson’s ownership of the property (Governor of Virginia and signer of the <i>Declaration of Independence</i>). The 19th century portions are attributed to the Tyler family, influential citizens of the western part of the County. Judge Tyler presided at the Brentsville circuit court from 1850 to 1862. The front entrance on the two-story main portion of the house has museum-quality Federal period woodwork.</p> <p>Primary Use: <i>Residential</i> Analogous Land Use Classification: SRR Surrounding Land Use Classifications: SRR, ER</p>	
<p><u>Appendix B – Four Maps Figures 3–6 added</u></p>	<p>Maps 4-6 added for reference and clarification.</p>

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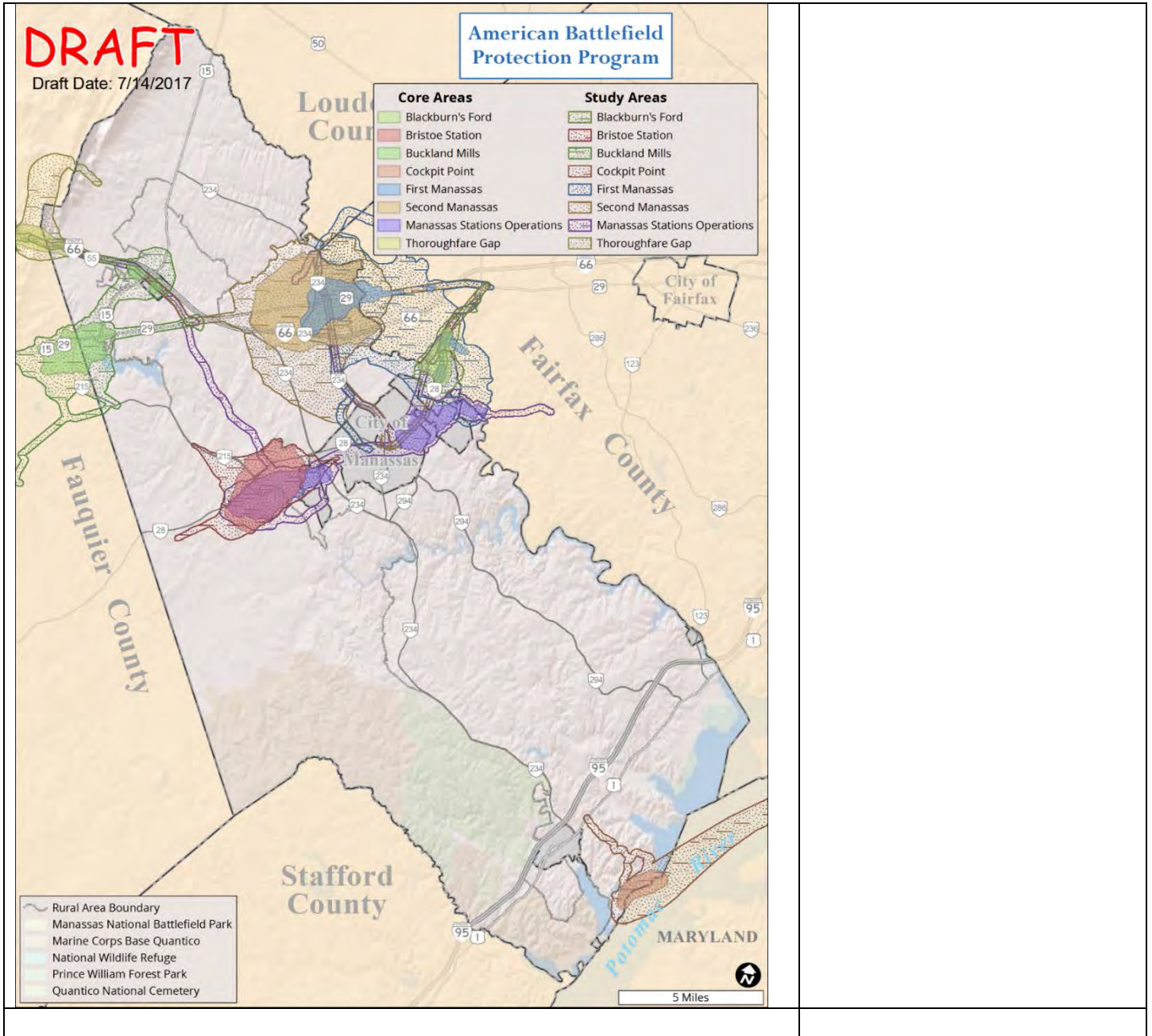


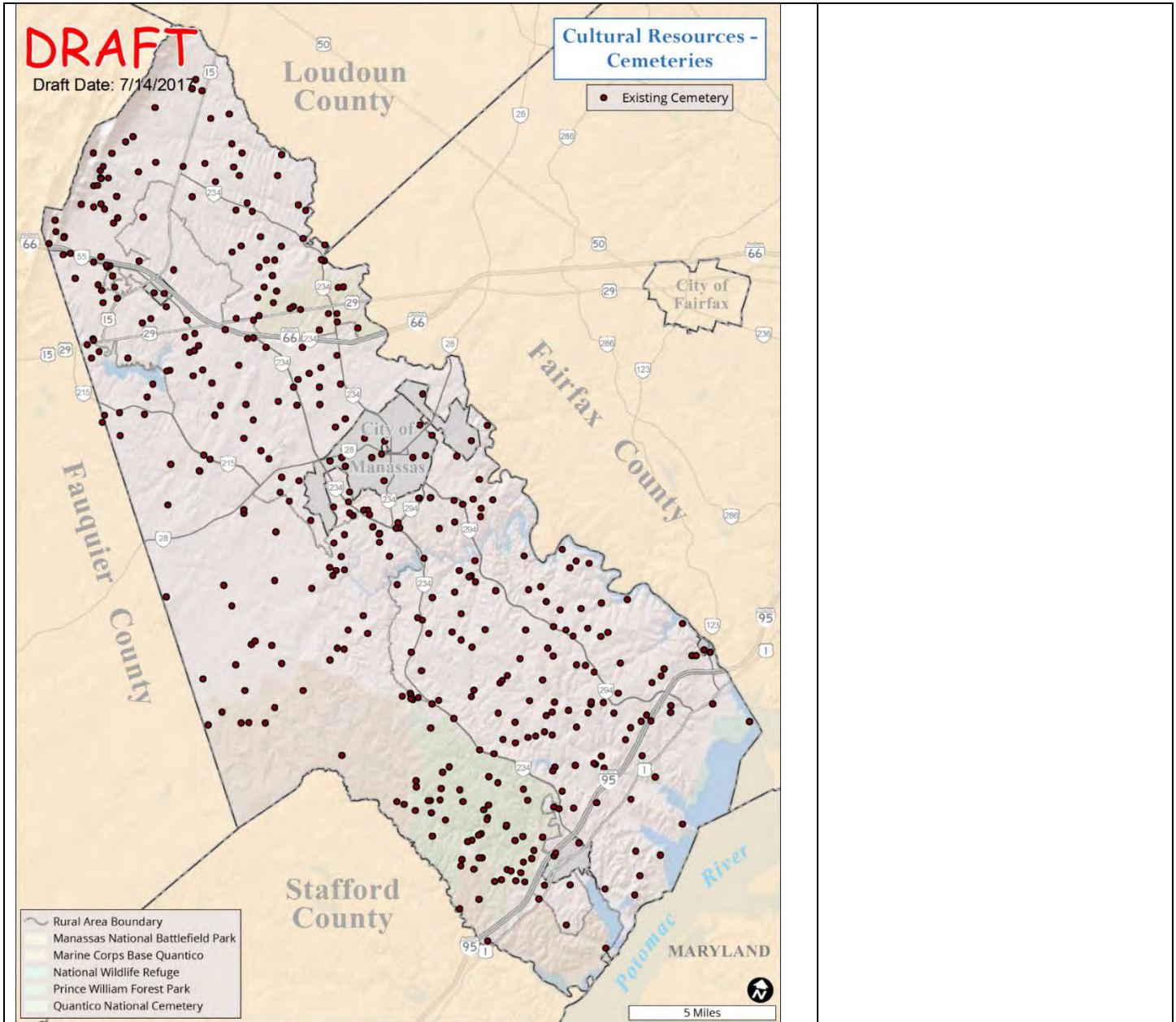
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Appendix C – Reference Materials

CR 1.1

References:

- Virginia Department of Historic Resources (VDHR) inventory forms.
- Prince William County Board-approved County Registered Historic Sites (CRHS).
- Prince William County Historical Commission Cemetery Documentation and Mapping Project.
- Historical Commission’s architecture, archaeology, and cemetery files in the Planning Office.

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<ul style="list-style-type: none"> • Bristoe Station Historical Area. 	
<ul style="list-style-type: none"> • Brentsville Historical Area. 	
<ul style="list-style-type: none"> • Buckland Historical Area <u>and the Buckland Historic Overlay Zoning District.</u> • <u>County of Prince William Historic Overlay Districts (HOD) Design Review Guidelines.</u> 	added reference to the HOD Added reference to the HOD Design Review Guidelines document
<ul style="list-style-type: none"> • Eligible County Registered Historic Sites. 	
<ul style="list-style-type: none"> • <u>American Battlefield Protection Program (ABPP) battlefield maps (see Appendix B)</u> 	Added reference to map in Appendix B
<ul style="list-style-type: none"> • <u>Journey Through Hallowed Ground Corridor Management Plan.</u> 	Add reference to document
<ul style="list-style-type: none"> • <u>Manassas Battlefields Viewshed Plan</u> • <u>Cockpit Point Battlefield Study and Cockpit Point Battlefield Management Plan</u> • <u>Bristoe Station and Kettle Run Battlefields Preservation Study</u> 	Add reference to studies
CR 1.4	
References:	
<ul style="list-style-type: none"> • Sections 106 and 110 of the <i>National Historic Preservation Act</i>. • Archaeology and Historic Preservation; Secretary of the Interior’s Standards and Guidelines, including the Professional Qualification Standards. 	
<p>Identification-Phase I: Identification involves compiling all relevant background information, along with comprehensive recordation of all sites, buildings, structures, objects and potential districts within the survey area. This information is used in planning and making decisions about historic resource management needs. The goals of a Phase I archaeological investigation are:</p>	
<ul style="list-style-type: none"> • To locate and identify all archaeological sites in the survey area; 	
<ul style="list-style-type: none"> • To estimate site size and boundaries and to provide an explanation as to how the estimate was made; and 	
<ul style="list-style-type: none"> • To assess the site’s potential for further (Phase II) investigation. 	
<p>Evaluation-Phase II: Evaluation of a resource’s significance entails assessing the characteristics of a property against a defined historic context and the criteria of the <i>Virginia Landmarks Register</i> (VLR) and the <i>National Register of Historic Places</i> (NRHP). The evaluation shall result in a definition of those resources that are eligible or ineligible for VLR and NRHP listing. The purpose of a site evaluation is:</p>	
<ul style="list-style-type: none"> • To determine whether the site is eligible for <u>listing on</u> the NRHP <u>and VLR</u>; and 	Edits for consistency
<ul style="list-style-type: none"> • To provide recommendations for future treatment of the site. 	

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<p>These goals can best be met when research strategies focus on determining, <u>at a minimum</u>, site chronology, site function, intrasite structure and integrity. At the conclusion of a Phase II evaluation, the site boundaries should be accurately defined and the horizontal and vertical integrity of the site assessed. The level of effort and the methods employed will vary depending upon site size, site type, and the environmental setting.</p>	<p>emphasized minimum requirements for studies</p>
<p>It is important to note that resource evaluations must apply to the resource as a whole, not just to the portion of the resource within the project area. Sites evaluated as part of a federal or state agency undertaking (as well as the County) should be evaluated in their entirety, not just within the immediate project boundaries.</p>	
<p>Treatment-Phase III: Once the significance of a historic property has been established, the appropriate treatment for the resource is implemented. Only after evaluations are completed are treatment plans or documents developed. Treatment can include a variety of measures such as avoidance, recordation, data recovery, development of a historic preservation plan, <u>public interpretation</u>, rehabilitation or restoration. Documentation requirements for treatment are determined on a case-by-case basis.</p>	<p>Consistent with what is asked for in proffers and mitigation plans</p>
<p>Further information, including an outline of items and data required for Phase I and Phase II studies, is available from the Planning Office or from the VDHR.</p>	
<p>CR 1.5</p>	
<p>References:</p>	
<ul style="list-style-type: none"> • Phase I, II, and III level studies, as defined by the VDHR and approved by the Council of Virginia Archaeologists. 	
<ul style="list-style-type: none"> • Archaeology and Historic Preservation; Secretary of the Interior’s Standards and Guidelines, including the Professional Qualification Standards. 	
<ul style="list-style-type: none"> • <i>ACHP Recommended Approach for Consultation on Recovery of Significant Information from Archaeological Sites.</i> • <u>The Secretary of the Interior’s Standards and Guidelines for Architectural and Engineering Documentation, i.e. the standards for the Historic American Building Survey, the Historic American Engineering Survey, the Historic American Landscape Survey</u> 	<p>Refined documentation standards for data recovery of above ground resources</p>
<p>CR 1.6</p>	
<p>Reference:</p>	
<ul style="list-style-type: none"> • <i>National Register of Historic Places</i> criteria for evaluation (36CFR, part 60.4). 	
<p>CR2.1</p>	
<p>Reference:</p>	

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<ul style="list-style-type: none"> Standards for Classification of Real Estate as Devoted to Open Space Use under the Virginia Land Use Assessment Law (minimum of 5 acres, on the <i>Virginia Landmarks Register</i> or the <i>National Register of Historic Places</i> and a protected easement). 	
CR 2.2	
References:	
<ul style="list-style-type: none"> <i>Economic Recovery Tax Act of 1981</i> retained under the <i>Tax Reform Act of 1986 (Federal Rehabilitation Tax Credit Program)</i>. 	
<ul style="list-style-type: none"> The Secretary of the Interior’s <i>Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings</i>. 	
<ul style="list-style-type: none"> State <i>Historic Rehabilitation Tax Credit Program</i> under <i>Virginia Code Section 58.1-339.2</i>. 	Program name clarification

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ENVIRONMENT	
Intent	
<p>The intent of the Environment Plan is to ensure that in developing the County, the natural beauty is preserved, water quality is protected, property values and quality of life are enhanced, and ecological diversity is preserved. With sound protection measures, such as those presented herein, Prince William County’s citizens, business community, and visitors enjoy a healthy environment coexisting with a vibrant economy. In this regard, tThis Plan is to be used to address environmental issues, evaluate development proposals in their earliest stages, and develop ordinances.</p>	Edit
<p>Prince William County is one of a few jurisdictions on the Atlantic Seaboard that extends from sea level to mountain crest. The natural environment of the County is diverse. Streams, creeks, rivers, lakes, marshes, forests, meadows, and shores provide habitat for plants and animals, as well as contribute to the economic well-being and aesthetics of the County.</p>	
<p>One way to preserve the County’s natural environment is to see <u>ensure</u> that applicants for development approval address environmental issues at the earliest planning phase. This Plan assists in this early planning process by defining those areas of a site that are environmentally sensitive and need to be preserved for the purpose of protecting water quality, maintaining the County’s natural beauty, enhancing property values and quality of life, and preserving ecological diversity.</p>	Edit
<p>Sustaining our environmental position is critical to the County’s capacity to ensure a high quality of life, provide for continued economic growth, and actively conserve and protect natural resources, including public drinking water supplies. To this end, iIt is critical for the County to establish clear measurable goals and environmental benchmarks in order to gauge its progress and plan for the future. Prince William County utilizes a sustainability approach in its planning and development policies. Prince William County embraces the environmental and economic benefits of its green infrastructure, considering emerging green technology, ensuring a multi-faceted decision-making approach that balances infrastructure needs, while balancing environmental, economic, and social issues.</p>	Edit
<p>On its <u>For</u> rezoning and special use permit applications, the Zoning Ordinance requires an Environmental Constraints Analysis (ECA) to determine areas of a site that are suitable for development and those areas that are not. The ECA determines identifies the presence and extent of important environmental features as described in this Plan. It is used as a tool used to outline, in a rezoning or special use permit application, <u>to outline,</u> the preservation or conservation areas that will be provided and also describes avoidance efforts and/or mitigation techniques to minimize the environmental impacts of those applications.</p>	Clarification (Watershed) Edit

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The components of the Environment Plan include text and fold-out maps as follows:	Delete – Redundant Language (Planning)
• Intent, Goal, Policies, and Action Strategies.	
• Highly Erodible Soils Map (Figure 1).	
• Highly Permeable Soils Map (Figure 2).	
• Chesapeake Bay Resource Protection Areas Map (RPAs) (Figure 3).	
GOAL: Preserve, protect, and enhance the significant environmental resources and features of the County, including air quality, topography, soils, ground and surface water, biotic communities (stream corridors, forests, and wetlands), sensitive plant and animal species, and natural viewsheds.	Edit
GENERAL ENVIRONMENTAL POLICIES AND ACTION STRATEGIES	
EN-POLICY 1: Consider environmental concerns at all levels of land use related decision-making.	
ACTION STRATEGIES:	
EN1.1 Develop and maintain Geographic Information System (GIS) mapping layers and other critical maps to be included as part of the Environment Plan, which may include the following layers and/or maps:	
EN1.1.a Existing Canopy Coverage. <u>Maintain Tree Cover Map</u>	Current map (Environmental Services)
EN1.1.b Impervious Area. <u>Develop and maintain Impervious Area Map</u>	Map to be developed (Environmental Services)
EN1.1.c Vegetative Cover Types. <u>Develop and maintain Vegetative Cover Types Map</u>	Map to be developed (Environmental Services)
EN1.1.d Wetlands. <u>Maintain Wetlands and Marshes Map</u>	Current map (Environmental Services)
EN1.1.e Existing Conservation Easements. <u>Develop and maintain Existing Conservation Easements Map</u>	Map to be developed on County Mapper (Environmental Services)
EN1.1.f <u>Maintain FEMA Floodways, 100 and 500-Year Flood Hazard Overlay Map</u>	Current map (Environmental Services)
EN1.2 Update the Zoning Ordinance Environmental Constraints Analysis (ECA) requirements to add the following:	
EN1.2.a <u>Delineation of all jurisdictional wetlands and waters.</u>	

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EN1.2.b Location of all Chesapeake Bay Resource Protection Areas (Preservation Area Site Assessment (PASA) submittal required).	
EN1.2.c All significant non-RPA streams.	
EN1.2.d Ponds and culverts.	
EN1.2.e Contributing drainage areas.	
EN1.2.f Existing structures, roads, and the locations of known utilities and easements.	
EN1.2.g Publicly available information on adjoining parcels regarding the location of 100-year floodplains, wetlands, stormwater infrastructure, and streams.	
EN1.2.h Identification of the adequacy of receiving surface waters into which stormwater will be proposed for discharge.	
EN1.2.i Proposed limits of disturbance.	
EN1.2.j Existing vegetation map of the entire site.	
EN1.2.k Location of all specimen trees.	
EN1.2.l Unique habitats of special concern.	
EN1.2.m Identification of environmental features proposed for preservation or conservation.	
EN1.2.n Acreage of all Environmental Resources (ER) (i.e., per ER definition).	
EN1.3 Identify and pursue opportunities for open space preservation that preserve unique habitats of special concern with an emphasis on connecting to existing natural resources conservation areas.	
EN1.4 Seek and consider, as part of the rezoning or special use process, input from adjacent jurisdictions to promote regional green infrastructure planning efforts, as well as other environmental concerns that have multi-jurisdictional impacts.	
EN1.5 Encourage developers to incorporate into site planning various environmentally sensitive approaches to stormwater management <u>into site planning</u> , including Low Impact Development (LID) techniques and preservation and restoration of natural land forms, as discussed in this Plan and the Community Design Plan.	Edit
EN1.6 Upon completion of <u>In coordination with</u> the Northern Virginia Regional Commission’s conservation corridors project, review and update as needed, the Open Space and Corridors Map in the Parks, Open Space and Trails chapter.	Edit
EN1.7 During the rezoning or special use permit process, r <u>Review the Open Space and Corridors Map in the Parks, Open Space Plan during the rezoning or special use permit process, and Trails chapter</u> to identify and determine the value or ecological viability of certain corridors.	Clarification (Planning)

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EN-POLICY 2: Develop and implement a data collection, tracking, and analysis structure to monitor and establish the County’s environmental baseline, resource status, and sustainability.	
ACTION STRATEGIES:	
EN2.1 Utilize the information gathered through studies and assessments to establish criteria for protecting ecologically important areas during land use decision-making processes.	
EN2.2 Using available data, map all environmental resources to prioritize conservation planning, and make this information available on the County Mapper.	
EN2.3 As part of a public facility review, request an analysis of environmental resources, as identified in the ECA.	
EN2.4 All County offices, to include <u>Prince William County Park Authority</u> and Prince William County Public Schools, involved in land use will coordinate with local, federal, state, and regional environmental organizations to facilitate the exchange of data and implementation of environmental protection measures.	Clarification – Park Authority is now a County office – PWC Parks and Rec Edit
EN2.5 Develop a baseline analysis of tree cover from available historic data.	
EN-POLICY 3: To further support OS-Policy 5, a <u>A</u> minimum of 39 percent of the total area in the County exclusive of <u>excluding</u> acreage of Marine Corps Base Quantico for all calculation purposes, should be retained as protected open space, per OS-Policy 5.-as defined in the Open Space Plan.	Clarification (Planning)
ACTION STRATEGIES:	
EN3.1 Encourage cluster development to protect contiguous natural open space, as defined by the Zoning Ordinance.	
EN3.2 Amend the cluster ordinance to ensure that open space is permanently protected.	
EN3.3 Amend the DCSM to ensure that there is a defined buffer standard for public parks.	
EN3.4 Amend the Zoning Ordinance and/or DCSM to prohibit the establishment of proffered conservation and preservation areas on residential lots.	

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<p>EN3.5 Develop and publish guidelines for homeowner associations that detail how to manage conservation areas while providing information on responsibilities and a checklist of standard management measures and benefits.</p>	
<p>EN3.6 Make information on conservation easements available to landowners, including distribution points at the Tax Assessment Department and other relevant County offices, to encourage the use of open space/conservation easements as tools to preserve environmental resources.</p>	
<p>EN3.7 Encourage the use of open space/conservation easements or fee simple dedication to preserve open space in already developed areas, in order to provide natural areas, protect environmentally sensitive resources, preserve wildlife habitat and ensure a scenic appearance over time. Consider development at the high end of the density range for those projects that preserve sensitive features, identified in the ECA, beyond the minimum preservation requirements such as buffers, RPA and floodplain.</p>	<p>Edit</p>
<p>EN3.8 The County shall Review and implement opportunities for a Purchase of Development Rights (PDR) program.</p>	
<p>EN3.9 Explore the use of available federal and state funding resources, including grants, foundations, and transportation related funds, to support green infrastructure planning initiatives and a PDR program.</p>	
<p>EN3.10 Establish and continue partnerships with local agencies and organizations to initiate and provide public information programs aimed at conserving lands in the watershed through civic engagement community stewardship.</p>	
<p>EN3.11 Investigate the benefits of involving a private conservancy for the purpose of purchasing privately held lands for preservation purposes and seeking perpetual conservation easements to preserve open space.</p>	
<p>EN3.12 Support initiatives promoted by the County’s Trails and Blueways Council to establish a Countywide trails and corridors system through the voluntary donation of land and conservation easements from interested property owners as a means of environmental protection.</p>	
<p>EN3.13 To pProtect the biological diversity, processes, and functions of natural habitats, ; Identify and prioritize a network of preservation corridors or large woodland areas to be incorporated into an overall habitat protection network.</p>	<p>Per the PC Work Session on 4.19.17</p>
<p>CLIMATE & AIR QUALITY POLICIES AND ACTION STRATEGIES</p>	

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<p>EN-POLICY 4: Monitor air quality and collaborate with <u>the Virginia Department of Environmental Quality (DEQ), Metropolitan Washington Council of Governments (MWCOG)</u>, and other regional entities to identify and implement strategies to improve air quality.</p>	<p>Clarification (Planning)</p>
<p>ACTION STRATEGIES:</p>	
<p>EN4.1 Support and coordinate with the Climate, Energy and Environmental Policy Committee (CEEPC) and the <u>Metropolitan Washington Council of Governments (MWCOG)</u> Metropolitan Washington Air Quality Committee’s (MWAQC) Air Quality Monitoring Program for the region and within the County.</p>	<p>Edit</p>
<p>EN4.2 Analyze and suggest locations for air, water and energy monitoring sites to encourage <u>MWCOG</u> and the Virginia Department of Environmental Quality (DEQ) to establish additional air quality monitoring stations in the County as applicable.</p>	
<p>EN4.3 Where applicable, review and consider air quality impacts for public and private industries and utilities in conjunction with the rezoning and/or special use permit application process.</p>	
<p>EN4.4 Maintain and extend regional <u>MWCOG</u> agreements and contingency plans to deal with stationary and mobile sources of pollution to protect residents, especially sensitive residents (such as the young, the elderly, and sensitive populations).</p>	<p>Edit</p>
<p>EN4.5 Develop a process to determine if adequate controls, including new technologies for disposing of compact fluorescent light bulbs, are in place to prevent metals, Polychlorinated Biphenyls (PCBs), and other carcinogenic materials from entering the trash stream.</p>	
<p>EN4.6 Request MWCOG or Virginia Department of Transportation (VDOT) to review air quality/transportation studies along major transportation corridors and at congested intersections in order to better define the impacts and trends of vehicle-generated pollution.</p>	
<p>EN4.7 Developments, including and not limited to transit-oriented and mixed use projects, shall optimize the use of transit and non-motorized trips in order to reduce pollution impacts from vehicles and shall contain the appropriate support facilities, such as bus shelters, dedicated bicycle lanes, bicycle parking facilities, trails, crosswalks, sidewalks, etc.</p>	
<p>EN4.8 Where appropriate, encourage VDOT, the County, and developers to preserve and/or re-establish vegetative buffers along arterial roadways as a means of filtering and absorbing pollutants.</p>	

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<p>EN4.9 Reduce vehicle pollution by encouraging the use of alternative modes of transport including van/carpooling, public transit, bicycles, and pedestrian paths.</p>	
<p>EN4.10 Seek commitments during the rezoning and special use permit process to design and construct buildings and associated landscapes to conserve energy and water resources and to minimize short and long-term negative impacts on the environment and building occupants. Amend the DCSM to include building design guidelines for energy and water resource conservation.</p>	
<p>WATERSHED PLANNING & SUSTAINABILITY POLICIES AND ACTION STRATEGIES</p>	
<p>EN-POLICY 5: Protect and manage the County’s soils and natural landscape to retain and enhance their associated economic, aesthetic and ecosystem benefits.</p>	
<p>ACTION STRATEGIES:</p>	
<p>EN5.1 When designing a project, use the following priorities for protecting the natural landscape when compatible with the proposed land use:</p>	
<p>EN5.1.a Development in the coastal plain in areas of 25% or greater slopes where shrink-swell soils exist should address slope stability through mitigation or avoidance.</p>	
<p>EN5.1.b Along significant non-RPA streams, discourage development in all areas of 25% or greater slopes at least 50 feet away from each side of all significant non-RPA streams.</p>	
<p>EN5.1.c Encourage the preservation of a natural buffer of existing woodland or forestation area of at least 50 feet along each side of all significant non-RPA streams.</p>	
<p>EN5.1.d Encourage mitigation where impacts are unavoidable.</p>	
<p>EN5.1.e Emphasize the preservation of jurisdictional wetlands over mitigation, including measures that ensure the sustainability of the wetlands.</p>	
<p>EN5.2 Amend the DCSM to require identification of all areas with shrink/swell soils, 15% slopes with an erodibility factor K of greater than 0.4, and/or with underlying marine clays. Where impacts are impracticable <u>unavoidable</u>, require mitigation.</p>	<p>Clarification (Environmental Services)</p>
<p>EN5.3 Utilize the ECA to evaluate and prioritize those sensitive landforms to be set aside for preservation/conservation and any appropriate mitigation.</p>	
<p>EN5.4 Use native plants that are adapted to local soil and weather conditions when re-vegetating disturbed areas.</p>	
<p>EN5.5 Develop, in coordination with the Community Design Plan general design evaluation guidelines, criteria and techniques that promote the preservation of</p>	

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natural landscapes, especially those that tend to be drought resistant and apply them in the evaluation of rezoning and/or special use permit applications.	
EN5.6 Where hazardous waste soil contamination is suspected, require that a rezoning and/or special use permit applicant submit an Environmental Site Assessment Phase II – Contaminated Sites and Remediation Plan as part of the application.	
EN5.7 If environmental clean-up efforts have been conducted at hazardous waste sites to meet state and federal standards, development can be proposed. Actively support and encourage “brownfield” redevelopment, where appropriate.	
EN5.8 Monitor the effectiveness of the Prince William County Erosion and Sediment Control Ordinance and upgrade as appropriate.	
EN5.9 Amend the DCSM to require enhanced erosion and sedimentation controls for properties that include jurisdictional wetlands and waters, 15% or greater slopes, or unique habitats of special concern, including silt fences, erosion control blankets, soil stabilization matting, temporary vegetative cover, and other controls, as required by the Erosion and Sediment Control Program Administrator.	Completed. See DCSM Section 751.02 (Watershed)
EN5.9 County development and transportation projects shall lead by example, incorporating the highest environmental leadership standards and requiring plan review and erosion and sediment control inspection frequencies that meet or exceed state standards. <u>Meet or exceed state standards for erosion and sediment control plan review and sediment control inspection frequencies for county development and transportation projects.</u>	Per the PC Work Session on 4.19.17
EN5.10 Request courtesy review of erosion control plans for all federal and state projects in Prince William County.	
EN5.11 Amend the Zoning Ordinance to establish minimum standards and thresholds that limit clearing and grading on cluster developments.	
EN5.12 Promote the use of vegetative or “soft” stabilization techniques along shorelines to maintain a natural buffer.	
EN5.13 Address issues of sea level rise along shorelines in the County. Utilize current data and information on sustainable shorelines to protect shorefronts and property and incorporate sea level rise into County policy.	
EN5.14 Utilize the ECA at the time of rezoning or special use permit to require development sites to be designed in a manner that limits clearing and grading to the minimum area needed to construct the proposed use.	

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EN5.15 Update the DCSM to preclude the use of all invasive non-native species.	
EN5.16 Encourage identification, management, and protection of ecological communities and wildlife, especially critical habitats.	
EN5.17 Ensure the County considers the most recent information available on the status and locations(s) of unique habitats of special concern located on the DCR map <u>identified by the Virginia Department of Conservation and Recreation.</u>	Clarification (Environmental Services)
EN5.18 At the time of rezoning, special use permit, and all County projects, seek implementation of state and federal guidelines for the protection of rare, threatened, and endangered species and encourage preservation of habitats where these species could occur.	
SURFACE & GROUNDWATER POLICIES AND ACTION STRATEGIES	
EN-POLICY 6: Maintain or enhance the integrity of surface bodies of water.	
ACTION STRATEGIES:	
EN6.1 Locate away from the County’s water bodies those non-residential activities that use, store, or manufacture significant quantities of hazardous substances <u>away from the County’s water bodies.</u>	Edit
EN6.2 Study and recommend measures to improve contingency planning by parties who use, handle, or store hazardous substances in sufficient quantities so as to constitute a threat to surface and groundwater quality. The measures should address identification of trigger amounts of materials and procedures for prevention of leaks or spills and for containment of leaks, spills, and water runoff from firefighting and include commitments for the pretreatment of stormwater to prevent contamination.	
EN6.3 In conjunction with the Soil and Water Conservation District and the Agricultural Extension Service, encourage the County’s farmers to employ best management practices such as crop rotation, conservation tillage, strip cropping, nutrient management, fencing and buffering of areas along streams to keep out livestock, use of livestock water devices away from streams, and grazing rotation plans.	
EN6.4 Continue and promote a local, coordinated “Adopt-a-Stream” program.	
EN6.5 Require adherence to the following guidelines for determination of density or intensity of development:	

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RESIDENTIAL	
Preclude the development of habitable structures within 100-year floodplains. The allowable dwelling unit density for a property in the Urban and Suburban Areas shall be calculated based on the area outside the floodplain and Chesapeake Bay RPAs, as shown in the ECA submitted with a rezoning or special use permit application. The allowable dwelling unit density areas of the property encumbered by such features shall be based upon the maximum density permitted by the existing zoning of the property at the time of adoption of the Comprehensive Plan. Other relevant Comprehensive Plan components, such as the capacity of the transportation network, environmental constraints, and zoning requirements must be addressed, as well, in determining the appropriate number of dwelling units on a property. Amend the land use classifications in the Long-Range Land Use Plan chapter to reflect these guidelines.	
NON-RESIDENTIAL	
On non-residential-zoned property encumbered with areas of 100-year floodplain and Chesapeake Bay RPAs the allowable intensity is determined based on the floor area ratio (FAR) specified by the existing or proposed zoning district and the total site area. Development within the 100-year floodplain and Chesapeake Bay RPAs is to be precluded. The intensity of development is to be evaluated on the basis of other relevant environmental resource action strategies, the compatibility of the proposed uses with surrounding existing uses and other applicable portions of the Plan.	
EN6.6 Establish partnerships with local agencies and organizations to develop and distribute public service information about reducing nutrient loading in stormwater runoff from yards and farms.	
EN6.7 Use the Virginia Marine Resources Commission (VMRC) criteria for the Siting of Marinas or Community Boat Moorings in evaluating future waterfront access sites in the County.	
EN6.8 Encourage innovative stormwater management techniques. Promote <u>Low Impact Development (LID)</u> and on-site stormwater management (SWM).	Per the PC Work Session on 4.19.17
EN6.9 Except where a crossing is unavoidable, all public utilities, excluding gravity sewer lines, shall be located outside of Resource Protection Areas and jurisdictional wetlands and waters. Sewer mains constructed parallel to perennial streams must be designed with prophylactic measures as determined by the <u>Prince William County Service Authority</u> to protect the pipe in the case of future lateral stream migration.	Edit

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<p>EN 6.10 Update the DCSM to include a protocol for defining Significant Non-RPA Streams during the Perennial Flow Determination (PFD) process and establish standards for protection of these streams, including but not limited to, buffers, steep slope avoidance, development setbacks, and necessary mitigation measures, when the proposed development affects these streams.</p>	
<p>EN-POLICY 7: Manage watersheds through a comprehensive watershed management planning-based approach.</p>	
<p>ACTION STRATEGIES:</p>	
<p>EN7.1 Develop and maintain future watershed management plans. As appropriate, the following resources and/or components are to be considered:</p>	<p>Clarification (Environmental Services)</p>
<p>EN7.1.a Existing impervious surfaces.</p>	
<p>EN7.1.b Stormwater management facilities.</p>	
<p>EN7.1.c Water quality monitoring stations.</p>	
<p>EN7.1.d Stormwater hotspots/flooding.</p>	
<p>EN7.1.e Forest cover/tree cover.</p>	
<p>EN7.1.f Topography.</p>	
<p>EN7.1.g Soils and geologic features.</p>	
<p>EN7.1.h Floodplains.</p>	
<p>EN7.1.i Hazardous waste sites.</p>	
<p>EN7.1.j Wells.</p>	
<p>EN7.1.k Land ownership (public/private).</p>	
<p>EN7.1.l Subwatershed area.</p>	
<p>EN7.1.m Land use, by zoning category.</p>	
<p>EN7.1.n Downstream water resources.</p>	
<p>EN7.1.o Include public input.</p>	
<p>EN7.1.p Address the protection, conservation and restoration of RPA and significant non-RPA stream corridors, riparian forest buffers and jurisdictional wetlands and waters.</p>	
<p>EN7.1.q Reflect the goals and objectives of improving habitat and water quality.</p>	
<p>EN7.1.r Determine the most vulnerable subwatersheds and evaluate restoration capabilities.</p>	
<p>EN7.1.s Rank priority subwatersheds for implementation and identify areas that merit prompt restoration actions.</p>	
<p>EN7.1.t Identify solutions for protecting and restoring streams and other natural resources in the watershed.</p>	
<p>EN7.1.u Identify implementation mechanisms such as amendments to the Open Space and Corridors Map.</p>	<p>To reflect map name in Open Space Chapter, Open Space Corridors.</p>
<p>EN7.1.v Include a mechanism to monitor progress.</p>	

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EN7.2 Present completed watershed management plans to the Board of County Supervisors and consider these in making land use and Capital Improvement Program (CIP) decisions.	
EN7.3 Utilize watershed plans to define the condition of County streams and waterways, and define streams in need of restoration. Produce a map to include streams in need of restoration.	
EN7.4 At the time of a rezoning and/or special use permit, seek commitments to improve the conditions of streams in need of restoration affected by the proposed project and other issues identified in the watershed plan.	
EN7.5 Expand public input opportunities during the watershed management planning process to ensure that community ideas are incorporated into watershed planning efforts and promote increased understanding of stormwater management and watershed issues.	
EN-POLICY 8: In preparation for new <u>Maintain compliance with</u> State stormwater regulations and Federal Chesapeake Bay Total Maximum Daily Load (TMDL) requirements, develop new standards for stormwater management.	Clarification (Environmental Services)
ACTION STRATEGIES:	
EN8.1 Employ field observation as well as stormwater management plans to assess the impact of proposed development on downstream properties.	
EN8.2 Amend the DCSM to require the detention of the one-year storm in addition to the traditional control of the two- and 10-year storm events.	Completed, but only required under certain circumstances specifically as it relates to downstream channel protection. See DCSM Section 701.03 and 721.07. (Watershed)
EN8.3 Amend the DCSM to require conceptual stormwater management details for the entire site prior to preliminary site plan approval of large development plans with multiple sections and phases.	Completed, LID Concept Plan is required prior to submission of Site Plan. See DCSM Section 721.02 (Watershed)
EN8.4 Amend the DCSM to develop standards for acceptable retro-fit techniques for re-development and incentives to expand and encourage their use.	Completed, see DCSM Section 721.03 (Watershed)

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<p>EN8.2 Identify <u>Maintain</u> the location of all County-maintained stormwater facilities and County-inspected LID projects on the County Mapper.</p>	<p>Completed, but ongoing. New facilities are added to County GIS upon receipt of approved asbuilts. (Watershed)</p>
<p>EN8.3 Amend the DCSM to encourage reductions in impervious surfaces, including the following:</p>	
<p>EN8.3.a Reassessment of parking requirements.</p>	
<p>EN8.3.b Compact car parking.</p>	
<p>EN8.3.c Structured parking for high-density mixed use developments.</p>	
<p>EN8.3.d Shared parking.</p>	
<p>EN8.3.e Expanded use of semi-pervious and pervious surfaces.</p>	
<p>EN8.7 Amend the DCSM to prohibit direct discharge of untreated stormwater from a developed site into jurisdictional wetlands and waters. Ensure discharge does not exceed non-erosive velocities.</p>	<p>Completed, see DCSM Section 701.03 (Watershed)</p>
<p>EN8.4 Amend the DCSM to require the use of appropriate native plant species in vegetated stormwater facilities and low impact development features to facilitate removal of nutrients from the stormwater flow.</p>	
<p>EN-POLICY 9: Ensure the high quality of public drinking water sources.</p>	
<p>In addition to the policies and action strategies listed for surface and groundwater protection, the following action strategies will serve to implement this policy:</p>	
<p>ACTION STRATEGIES:</p>	
<p>EN9.1 Amend the Zoning Ordinance to develop a Drinking Water Reservoir Protection Overlay District to protect the quantity and quality of public drinking water supplies, to include the following:</p>	
<p>EN9.1.a Minimum setbacks from reservoirs.</p>	
<p>EN9.1.b Minimum setbacks for the installation of septic fields, tanks, or other on-site subsurface sewage disposal systems from the shoreline of reservoirs.</p>	
<p>EN9.1.c Enhanced erosion and sediment control measures.</p>	
<p>EN9.2 Encourage farmers to develop conservation plans for agricultural activities undertaken within the Lake Manassas and Occoquan Reservoir watersheds.</p>	
<p>EN9.3 Continue to support the Occoquan Watershed Monitoring Laboratory (OWML), the Northern Virginia Regional Commission's technical studies, and</p>	

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the multi-jurisdictional Occoquan watershed program. Obtain annual reports for presentation to the Board of County Supervisors.	
EN9.4 Promote open space uses and acquire land along the Occoquan Reservoir for special use parks that are designed to promote an appreciation of the natural environment and facilitate passive recreation (such as fishing, hiking, and non-motorized boating).	
EN9.5 Actively support Fairfax County Water Authority efforts to increase compliance and enforce regulations established by its Occoquan Shoreline Easement Policy.	Clarification (Planning)
EN9.6 Request that the Occoquan Watershed Monitoring Laboratory (OWML) continue to identify point/non-point pollution sources upstream from the reservoirs and to suggest ways that the non-point source pollution can be eliminated or controlled.	
EN9.7 Evaluate groundwater conditions for potential pollution using available data from DEQ (for leaking underground storage tanks) and the Prince William County Health Department (for failing septic systems) when reviewing rezoning and/or special use permit applications.	
EN9.8 Promote the use of secondary containment storage tanks for petroleum products and other hazardous materials for all development and redevelopment.	
EN9.9 Require the use of pre-treatment devices for stormwater runoff and/or small spills or leakages on sites where petroleum products or hazardous wastes are handled as is currently required for all fuel dispensing facilities.	
EN9.10 Encourage conservation of natural features and limit impervious surfaces in areas where groundwater is the water supply. Develop procedures to protect or improve, if necessary, the quality of groundwater in areas where groundwater is the water supply.	
EN9.11 Based on recommendations from the Northern Virginia Regional Water Supply Plan, implement policies, strategies, and regulations necessary to ensure adequate supplies of potable water in areas that rely on groundwater for their water supply.	
EN-POLICY 10: Preserve natural vegetation – especially existing and mature trees and provide for the replacement and management of urban forest resources.	
ACTION STRATEGIES:	
EN10.1 Develop, adopt, and implement a Tree Preservation Ordinance incorporating standards for both Countywide and watershed goals. Solicit	

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community input to help identify and define priorities for tree preservation and tree cover standards.	
EN10.2 Amend the Zoning Ordinance and the DCSM to allow reductions in minimum lot areas, setbacks, street frontage, buffers, and other such requirements to encourage preservation of natural vegetation and other desirable features.	
EN10.3 Amend the DCSM to require tree preservation plans when claiming credits for tree preservation or proffer compliance to ensure that trees designated for preservation will survive construction in a manner that substantially retains their predevelopment level of biological function, health, and structural condition.	
EN10.4 Utilize existing data and analysis tools to identify the County’s mature hardwood forests and the location of those forests. Maintain and periodically update an inventory of forest cover in the County and make this information available to the public on County Mapper.	
EN10.5 Maintain the County’s Registry of Historic and Champion Trees. Use this registry at the time of rezoning and special use permit application to determine the presence of such trees on the property.	
EN10.6 Establish and adopt reforestation standards to address areas where unauthorized clearing has occurred. Amend relevant ordinances, as needed, including the Zoning Ordinance and DCSM, to support these standards.	
EN10.7 Encourage utility companies to share easements where technically feasible to reduce the amount of disturbance along a roadway and provide enough areas for street trees.	
EN-POLICY 11: Increase the environmental awareness of County residents, organizations, businesses, and government agencies.	
ACTION STRATEGIES:	
EN11.1 Make the following additional GIS layers available to the public on the County Mapper:	
EN11.1.a Wetlands.	
• Canopy.	Completed (Watershed)
• Coverage.	This is an error. Was part of item above “Canopy Coverage” (Watershed)
EN11.1.b Protected open space.	

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<ul style="list-style-type: none"> ● All stormwater infrastructure, including County maintained stormwater facilities and County inspected LID facilities. 	Completed, will be continually maintained (Watershed)
<p>EN11.1.c Update the Watershed layer to include the total number of acres and percentage breakdown of vegetative cover types and the percentage of impervious surfaces in sub watersheds.</p>	
<p>EN11.2 Conduct a series of workshops to educate, engage and increase communication among citizens, organizations, businesses, industries, government officials, and agencies about sustainable development, green infrastructure, and associated opportunities.</p>	
<p>EN11.3 Publish a webpage and associated e-notification component to provide information and updates on the County’s green development and green infrastructure initiatives.</p>	
<p>EN11.4 Publish a webpage and associated e-notification component to promote and provide current information on local Farmer Markets and other sources of locally produced food.</p>	
<p>EN11.5 Continue to expand or exceed the recycling rate mandated by the DEQ and publish on the webpage developed through EN11.3 above.</p>	
<p>EN11.6 Update current informational brochures explaining the importance of soils and the proper maintenance of private sewer/septic systems including the importance of such maintenance to the owner and to the environment. Make this information available to users of these systems.</p>	
<p>EN11.7 Provide brochures on sustainable practices for home gardening and lawn care. Work with local nurseries and retail facilities that sell fertilizers to ensure these brochures are distributed to the public.</p>	
<p>EN11.8 Explore partnership opportunities with the U.S. Army Corps of Engineers and DEQ regional offices responsible for implementing federal and state regulations over streams and wetlands to regulate wetlands and other jurisdictional waters, including perennial and intermittent streams. Resource protection measures will include avoidance, impact minimization and compensatory mitigation, such as buffer protection and enhancement, as well as stream and wetlands restoration or creation.</p>	
<p>EN11.9 Work with local regulations (DCSM), the <u>Prince William County</u> Service Authority, and the Virginia Cooperative Extension to promote low water use landscapes on new and existing development though conservation landscaping principles, including reducing lawn areas.</p>	Edit/Clarification

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EN11.10 Increase public awareness about how to utilize tree preservation to protect community appearance and property values, and provide other economic and community benefits.	
EN11.11 Through public education and outreach, promote the use of phosphorous-free lawn fertilizer.	
ENERGY POLICIES AND ACTION STRATEGIES	
EN-POLICY 12: Develop a Community Energy Master Plan (CEMP).	
ACTION STRATEGIES:	
EN12.1 Collect data and establish a baseline that best defines the energy, water, waste water and greenhouse gas data situation for County government operations and the community at large.	
EN12.2 Incorporate input from all major stakeholders, including public authorities, residents, businesses, community associations, elected officials, schools, universities and colleges.	
EN12.3 Establish a long-term vision with clear targets supported by short to medium term implementation strategies.	
EN12.4 Define targets, tracking measurements reporting, and accountability for overall energy vision and CEMP implementation.	
EN-POLICY 13: Implement cost-effective energy-conservation measures at County facilities.	
ACTION STRATEGIES:	
EN13.1 Remain active in the Environmental Protection Agency’s (EPA) ENERGY STAR program and continue to use the EPA’s Portfolio Manager to rate the energy performance of eligible County-owned buildings. Audit County facilities, including Fleet Management, for energy use and pursue projects with a payback period of less than 10 years.	
EN13.2 Consider giving priority to facilities that rate 75 or higher according to the ENERGY STAR Performance Rating when leasing new space for County use or when renewing existing leases.	
EN13.3 Consider designing and building any County facilities so they rate 75 or higher by using the ENERGY STAR performance rating system and measure performance annually using EPA’s Portfolio Manager benchmarking tool.	

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EN13.4 Consider designing and constructing County renovation projects consistent with energy performance standards at least as stringent as Leader in Energy and Environmental Design (LEED) Silver or Green Globes – 2 Globes ratings whenever those projects are valued at 50% of the assessed building value. When replacing or installing appliances and equipment in County facilities, select items that are ENERGY STAR compliant whenever available.	
EN13.5 Become a Green Partner with George Mason University (GMU), and encourage the use of transit to access the GMU-Prince William campus. Explore opportunities to partner with non-public schools and other transportation systems to reduce the energy used for public school transportation.	
EN13.6 Consider re-directing local consumer utility tax revenues to support new or enhance existing energy conservation-related funds, such as the existing state/federal weatherization assistance programs or developing a new low-interest revolving loan fund for energy efficiency investments made by low-income homeowners and small businesses in the County.	
EN13.7 Require new residential development seeking rezoning and site plan approval to maximize opportunities for transit and to consider potential for solar/wind energy production in the development. Encourage construction that qualifies for ENERGY STAR Qualified Homes designation.	
EN-POLICY 14: Provide recognition and incentives for energy conservation at non-government facilities and residences.	
ACTION STRATEGIES:	
EN14.1 Consider establishing a separate, lesser rate of tax for energy efficient buildings as defined in Code of Virginia § 58.1-3221.2.	
EN14.2 Consider additional incentives (financial, tax, expedited permits, density bonuses, etc.) for development that builds to LEED, Green Globes, and/or ENERGY STAR standards.	
EN14.3 Recognize and publicize those in the community whose facilities achieve LEED, Green Globes, and/or ENERGY STAR certifications.	
EN-POLICY 15: Provide recognition and incentives for renewable energy application at non-government facilities and residences.	
ACTION STRATEGIES:	
EN15.1 Evaluate current policies and ordinances to remove obstacles to renewable energy (wind, solar, biomass, landfill gas, geothermal, etc.) application.	

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EN15.2 Evaluate and recommend incentives for projects that create on-site renewable energy application.	
EN15.3 Recognize and publicize those projects that use on-site renewable energy.	
EN-POLICY 16: Provide leadership by example and education in the areas of energy efficiency, demand response and renewable energy application.	
ACTION STRATEGIES:	
EN16.1 Consider inventorying greenhouse gas (GHG) emissions from County facilities to create a baseline and using it to develop and implement short, medium and long-term plans to reduce or eliminate them by 2050. Also consider the feasibility of creating a short, medium, and long-term community level GHG baseline and reduction plan. In setting these goals, evaluate reduction goals in other programs, plans and reports such as the Virginia Energy Plan, Cool Counties, and M ^W COG Climate Registry Report to determine a reduction goal that is challenging yet achievable.	Edit
EN16.2 Consider re-investing utility budget savings and cost-avoidance from completed energy projects in future energy efficiency and renewable energy projects as well as the creation of a Sustainability Office or Group.	
EN16.3 Consider providing active citizen education and awareness about energy efficiency, renewable energy, and “demand response” (i.e. shifting power usage away from periods when usage is peaking such as hot weekday summer afternoons) best practices.	
EN16.4 Consider reducing the rate of growth of the County government’s energy use by 40%.	
EN16.5 Consider reducing electricity use in County facilities by 10% of the 2006 level by 2022.	
EN16.6 Consider reducing natural gas use in County facilities by 7.5% over the next 10 years.	
EN16.7 Consider reducing total diesel/gasoline use by all County vehicles by 10% over the next five years.	
EN16.8 Consider reducing total diesel/gasoline used for County government landscaping operations by 20% over the next five years.	

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<p>EN16.9 Consider purchasing the equivalent of 12% of the County’s 2009 level electricity needs from renewable sources either through Dominion Virginia Power and Northern Virginia Electric Cooperative (NOVEC) rate offerings, renewable energy credits, or through on-site generation.</p>	
<p>EN16.10 Publicize energy conservation efforts at County facilities. Prominently display the ENERGY STAR label on County-owned buildings that qualify. Post building energy “report cards” for County-owned buildings on the County’s website to highlight the impact of energy conservation efforts. Encourage Prince William County Public Schools to do the same.</p>	<p>Currently we do not participate in the energy “report card” program sponsored by ENERGY STAR. (Planning)</p>
<p>EN16.11 Continue active participation by County government facilities in demand response programs.</p>	
<p>EN16.12 Consider utilizing life-cycle cost analysis when constructing new facilities.</p>	
<p>EN16.13 Continue increasing landfill gas utilization at the County landfill with the goal of completely eliminating flaring.</p>	
<p>EN16.14 Continue exploring waste reduction and re-use technologies in lieu of landfilling.</p>	

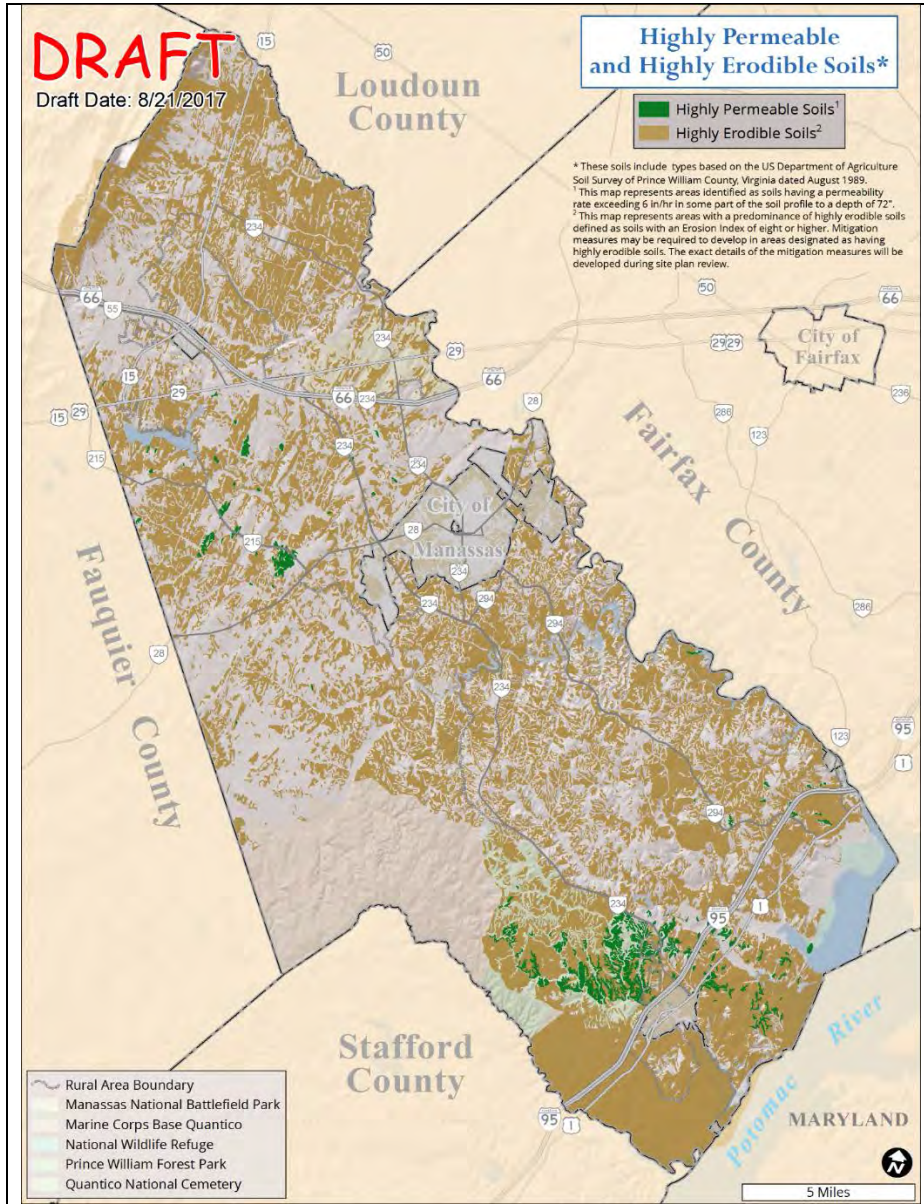


Figure 1 and Figure 2 have been combined. Renumber figure.

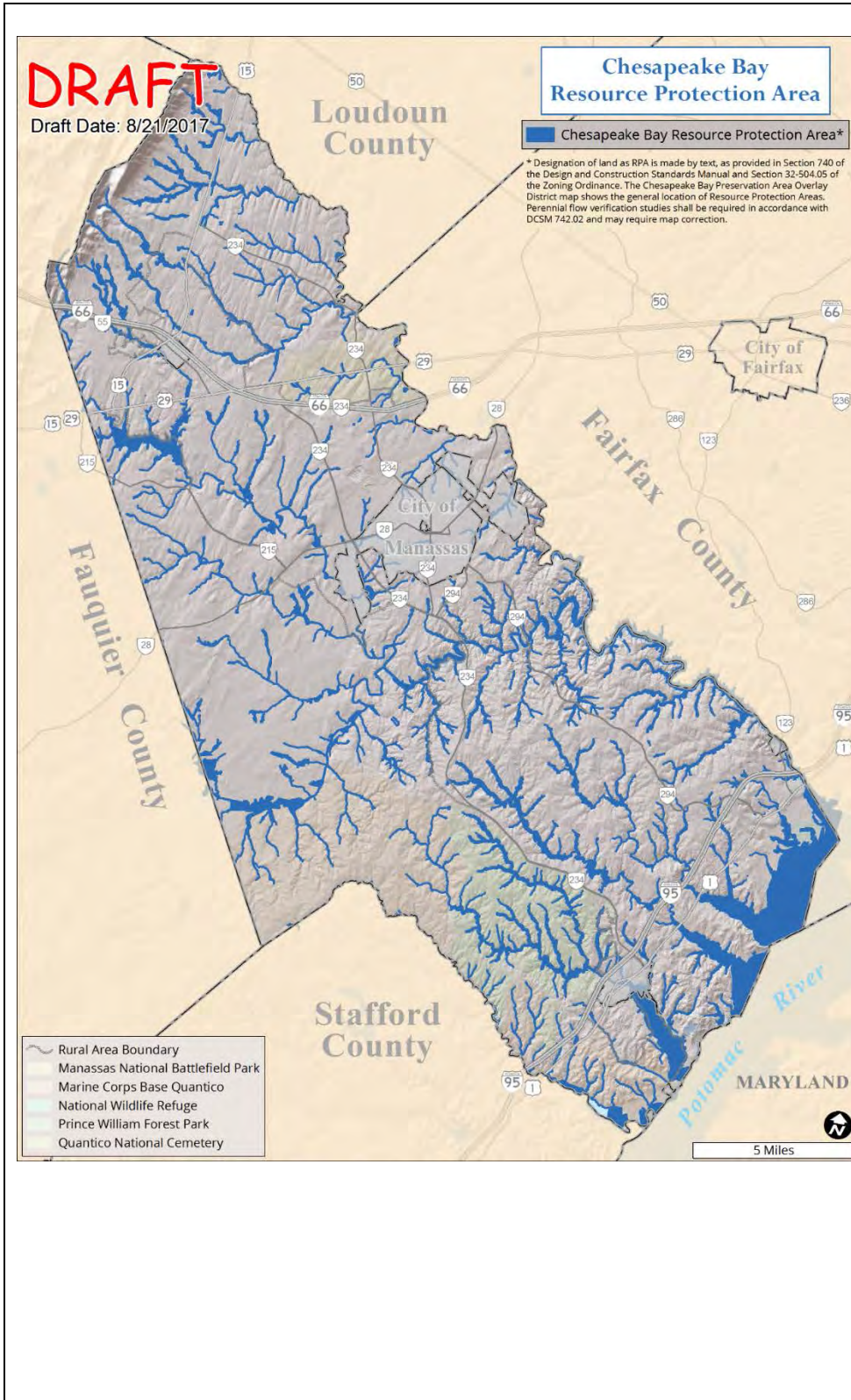
Remove all references to Figure #'s

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.

Change to “Figure 2”.

Removed all references to Figure #'s

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.



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Proposed	Comments
HOUSING	
Intent	
The intent of the Housing Plan is to establishes a framework for providing for the housing needs of all residents of Prince William County. These needs are expressed in terms of quality, affordability, location, and amenities.	Clarification (Planning)
The Housing Plan states The County's <u>is</u> commitment <u>committed</u> to clean, safe, attractive, walkable neighborhoods, and to the elimination of neighborhood blight and substandard housing. The Housing Plan recognizes that neighborhoods in which people want to live, and live safely, are neighborhoods that do not exceed the County's occupancy limitations; that are free of debris and illegally parked and stored vehicles; that maintain health and sanitation standards; that do not suffer from excessive traffic and the noise and pollution such traffic brings; neighborhoods <u>and</u> that have sidewalks, public spaces, and streets in good condition. Furthermore, Prince William County is committed to helping neighborhoods maintain their character.	Clarification (Planning)
The Housing Plan also recognizes that a variety of housing types must be available to all its residents, and that there are various regulatory and programmatic mechanisms to achieve affordable housing for all segments of the County's population. Implementation of the policies and action strategies in the Housing Plan will also foster the image of Prince William County as a good place for residential and non-residential investment.	Edit
The unique situation facing Prince William County regarding foreclosures necessitates that our efforts be focused on reducing the stock of foreclosed properties before looking to any other special programs that will build additional housing. We are convinced that the combination of market forces, creative financing packages and a concerted effort to link the Base Realignment and Closure (BRAC) to the availability of foreclosed homes will work to the benefit of all property owners in our community.	Clarification (Planning) Created new action strategies (see H1.16, 17) and from this paragraph per PC Work Session on 4.19.17
The components of the Housing Plan are:	Delete Redundant Language (Planning)
• Intent, Goal, Policies, and Action Strategies	
GOAL: Identify sufficient locations and consistent criteria for the provision of diverse housing opportunities for all segments of the County's population.	

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Proposed	Comments
H-POLICY 1: Preserve and improve existing neighborhoods. Ensure that Prince William County has new neighborhoods with a high quality of life.	
ACTION STRATEGIES:	
H1.1 Encourage the creation, and continued operation and effectiveness of property owners’ associations within communities through recognition, coordination, and appropriate public awareness programs. Support efforts to create voluntary neighborhood associations to strengthen neighborhood ties and promote community maintenance initiatives.	Clarification (Planning)
H1.2 Continue the voluntary joint program between representatives of property owners’ associations and other community organizations in the County and appropriate code enforcement personnel to increase communication and coordination of these entities in matters pertaining to neighborhood preservation and enhancement. The County shall generate and maintain a voluntary online database of HOAs and volunteer groups with current contact information.	This database exists (Planning)
H1.3 Continue to promote the formation and use of neighborhood watch and other crime prevention programs as well as close neighborhood liaisons with local law enforcement agencies and other neighborhood initiatives.	Edit
H1.4 Establish procedures for determining housing conditions. Prepare a housing condition report and annually update that report. The annual housing condition report will identify geographic areas of special concern having characteristics such as large numbers of code violations, traffic safety issues, aged or deteriorating infrastructure, etc.	
H1.5 Conduct periodic Countywide evaluations of neighborhoods to prioritize the areas of the County that have above-average concentrations of inoperable or illegally parked or stored personal property (such as boats, trailers, campers, automobiles). Focus intensive code enforcement efforts in those areas.	
H1.6 Evaluate the need for and, if determined necessary, identify and adopt Code revisions that would improve the County’s ability to enforce occupancy limitations, and health and maintenance standards for structures used as residences.	Completed (Planning)

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Proposed	Comments
<p>H1.6 Utilize the Prince William County Residential Traffic Management Guide to identify the level at which safety would be compromised by traffic in existing residential neighborhoods. Also, identify mitigation actions such as traffic calming, traffic reduction, etc., to resolve undesirable impacts. The considered impacts would include but not be limited to noise, emissions, speed, and volume based, in part, on the Long-Range Land Use, Transportation, and Environment Plan chapter goals, policies and strategies.</p>	<p>Reference to the guide added for clarification.</p>
<p>H1.7 Assign a high priority to those identified improvements necessary to mitigate the impacts of or reduce the volume of unsafe traffic in identified neighborhoods in state or County capital improvement programs, management plans, and budgets.</p>	
<p>H1.8 Identify those neighborhoods in need of new or repaired sidewalks, curbs, gutters, and street pavement or other infrastructure and supporting facilities and services. Initiate a repair and replacement program for these areas through appropriate private or public means.</p>	
<p>H1.9 Enhance and implement the County streetscape program in coordination with the U.S. Forest Service, the Virginia Department of Forestry, the National Arbor Day Foundation, the Virginia Department of Transportation, proffers and special use permit conditions, and local property owner associations. Add six linear street miles into the street tree program annually. Enforce that trees are maintained to ensure proper lighting and avoid sight line reduction.</p>	
<p>H1.10 Continue to acquire, preserve, and conserve historically significant residential buildings and related structures, in accordance with the Cultural Resources Plan. (Reference CR – Policy 2)</p>	<p>Cross reference to Cultural Resource Policy 2</p>
<p>H1.11 Continue operation and improve the effectiveness of the County’s neighborhood initiatives for providing on-going assistance and encouragement to maintain clean, safe, and un-blighted neighborhoods in compliance with local codes.</p>	

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Proposed	Comments
<p>H1.12 Continue a County-administered community housing rehabilitation program in the form of loans and grants that targets qualified low-income owner-occupants, providing rehab assistance to bring eligible properties up to HUD Housing Quality Standards. Create, identify and/or seek public and private funding sources to assist the County in upgrading housing considered to be substandard. Promote more widely, Prince William County’s rehabilitation tax incentive program and expand the program to be used for more housing types, not just multi-family. Use funds from the Housing Preservation and Development Fund to supplement or leverage HUD or other funds so more <u>affordable units can be acquired and/or</u> rehabilitated. Virginia Housing Development Authority (VHDA) tax credits projects should also be supported when the development is consistent with the Comprehensive Plan and the Zoning Ordinance with preference given to projects for the elderly, individuals with disabilities, or projects that are proposed for rehabilitation.</p>	Clarification (Housing and Community Development)
<p>H1.13 Permit and eEncourage a variety of housing types and densities in individual developments in the Development Area through the Zoning Ordinance, in a manner that ensures compatibility and additional open space for those living in that development. Encourage planned communities in locations that are in keeping in compliance with the Long-Range Land Use Plan through appropriate incentives in the Zoning Ordinance and subdivision regulations.</p>	Edit
<p>H1.14 Encourage housing that will not adversely affect the environmental quality of Prince William County in accordance with the Environment Plan. Promote “environmentally sensitive” standards through County policies.</p>	
<p>H1.15 — Acquire open space in existing neighborhoods to enhance connectivity of open space.</p>	Move to Open Space Chapter (Planning)
<p>H1.15 <u>Reduce stock of foreclosed properties before looking to other special programs that build additional housing.</u></p>	Per the PC Work Session on 4.19.17
<p>H1.16 <u>Monitor foreclosure statistics to assess availability of foreclosed housing to guide Base Realignment and Closure (BRAC).</u></p>	Per the PC Work Session on 4.19.17
<p>H-POLICY 2: Encourage the provision of affordable housing for all segments of the County’s population with emphasis on households with incomes at or below the Area Median Income.</p>	
<p>ACTION STRATEGIES:</p>	

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Proposed	Comments
<p>H2.1 Encourage the development, redevelopment, rehabilitation, and construction of housing at all price ranges, for all segments of the population, particularly to encourage the location of increased business to the County to provide jobs to those who live in Prince William County. Prince William County, along with for-profit and non-profit organizations, should also capitalize on the opportunities provided by the current surplus supply of below-market homes to provide affordable housing. Prince William County shall develop measures that will recognize meaningful changes in the housing market and amend this strategy in anticipation of improved market conditions.</p>	<p>No longer relevant (Housing and Community Development)</p>
<p>H2.2 Encourage developers to provide efficiency apartments as part of their multi-family mix to accommodate single individuals affordably.</p>	
<p>H2.3 The County should continue to monitor the efforts of the Virginia Housing Commission.</p>	
<p>H2.4 Promote the development of innovative architectural housing types and universal design, taking into account current County demographics, provided that exterior design and the level of maintenance complements and is compatible with that of the surrounding area. Also, determine their public facility and service impacts. Individual agencies need to monitor and analyze innovative housing types to determine their impact on infrastructure, i.e., schools, roads, etc. The Zoning Administrator should maintain an inventory of innovative and alternative housing types approved with rezonings and site or subdivision plans, and an inventory of housing types the County wants to discourage, such as “two over two.”</p>	
<p>H2.5 As part of the rezoning and/or <u>Encourage developers to contribute to the Housing Preservation and Development Fund as permitted per Sec 15.2-2303.4, during the rezoning and special use permit process for any project involving residential units, assisted living housing, etc.,</u> encourage developers to contribute to the Housing Preservation and Development Fund.</p>	<p>Update to reflect new proffer legislation (Planning)</p>
<p>H2.6 Incorporate affordable housing units in any project, where reasonable, involving residential uses through special use permit conditions and/or proffers <u>as permitted per Sec 15.2-2303.4,</u> especially in proximity to mass transit facilities and employment centers. These units could be maintained in affordable status by deed restriction or covenant.</p>	<p>Update to reflect new proffer legislation (Planning)</p>

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Proposed	Comments
H2.7 Take maximum advantage of federal and state funding for assisting income-eligible County renters in achieving home ownership.	
H2.8 With the cooperation and involvement of the private sector, provide relocation assistance and/or other protective measures as may be appropriate to residents of dwelling units that are proposed to be demolished, converted to non-residential uses, or converted from rental to fee ownership. At the time of rezoning, the County, working with the private sector, should consider identifying measures that ensure occupants are suitably housed before demolition or conversion occurs, and other protective and ownership sharing opportunities and incentives for the displaced.	
H2.9 Prevent concentrations and encourage geographic dispersion of affordable housing within the urban and suburban areas of the development area. Through the proffer system, the County may accept contributions to the Housing Preservation and Development Fund to further our affordable housing goals, or may accept units within a housing development that are dedicated for affordable or workforce housing.	Update to reflect new proffer legislation (Planning)
H2.10 Consider implementing an Affordable Dwelling Unit (ADU) ordinance.	
H2.11 Establish a <u>Maintain the</u> hHome hHelp pProgram that will to make it more affordable for County, <u>and</u> School Division, and Park Authority employees to purchase a home in Prince William County.	Update, program exists (Housing and Community Development)
H-POLICY 3: Support accessible and age in place housing.	
ACTION STRATEGIES:	
H3.1 Revise applicable County codes to incorporate state and federal standards to better accommodate individuals with disabilities and the elderly. Consider code revisions to incorporate universal design standards.	Completed (Planning)
H3.1 Ensure that the Zoning Ordinance and the Design Construction and Standards Manual (DCSM) provide for and allow housing for the elderly and individuals with disabilities. <u>As permitted per Sec 15.2-2303.4, Any rezoning or special use permit applications</u> for which age restricted multi-family development is proposed, should include affordable dwelling units for the elderly or individuals with disabilities, particularly projects that involve 50 or more units.	Update to reflect new proffer legislation (Planning)

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Proposed	Comments
<p>H3.2 Promote housing for individuals with disabilities and/or the elderly by encouraging small-scale community residences within residential neighborhoods.</p>	
<p>H3.3 Establish <u>Maintain the federal Veterans Affairs Supportive Housing (VASH) and Non-Elderly Disabled (NED) Vouchers a</u> programs that will assist individuals with disabilities and/or veterans in finding affordable and accessible housing.</p>	<p>Update, program exists (Housing and Community Development)</p>
<p>H-POLICY 4: Foster public and private partnerships to address County housing needs.</p>	
<p>ACTION STRATEGIES:</p>	
<p>H4.1 Assist private entities in identifying and addressing neighborhood housing problems <u>needs</u>.</p>	<p>Clarification (Planning)</p>
<p>H4.2 Encourage the participation of for-profit and non-profit organizations in the housing delivery process.</p>	
<p>H4.3 Promote housing issues at builders’ events and in builders’ publications, as well as at housing fairs, and through County publications.</p>	
<p>H-POLICY 5: Improve Prince William County's housing data base in order to better facilitate planning decisions.</p>	
<p>ACTION STRATEGIES:</p>	
<p>H5.1 Establish a comprehensive Countywide central repository for housing information. Coordinate and cooperate with the public agencies that collect and use housing data.</p>	<p>Housing and Community Development utilizes the VirginiaHousingSearch.com through the Virginia Housing Development Authority (VHDA) (Housing and Community Development)</p>
<p>H5.2 Develop a Countywide housing management information system through the coordination of existing sources of housing data in Prince William County.</p>	

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Proposed	Comments
<p>H5.3 Create a system whereby affordable housing needs are identified periodically via updates to County demographics, including an analysis of what type of units were produced or preserved, the number of families/households assisted, and progress reviews towards meeting affordable housing goals.</p>	
<p>GLOSSARY OF ACRONYMS AND PLANNING TERMS</p>	<p>Remove from this chapter – already in main glossary. (Planning)</p>
<p>Accessible Housing: An accessible home is one which enables an individual to do what he or she needs and desires to do as independently as possible. For some, access may be as simple as adding grab bars and a tub seat in the bathroom. For wheelchair users, access may require ramping entrances, widening doorways, lowering counters, adding lever or loop style hardware to doors and drawers, and modifying storage areas.</p>	
<p>ADU Ordinance (Affordable Dwelling Unit Ordinance): An ADU Ordinance would require developers of multifamily units (condominiums, apartments and townhouses) to set aside a portion of the units for rent or purchase by families with low to moderate incomes. In exchange, the County would give developers a bonus density, i.e., the approval to build above the median of the density range.</p>	
<p>Affordable Housing: Housing where the occupant is paying no more than thirty percent (30%) of gross income for gross housing costs, including utility costs.</p>	
<p>ALF (Assisted Living Facility): Assisted Living Facilities (ALFs) are designed to accommodate frail elderly and people with disabilities who can live independently but need assistance with activities of daily living (e.g., assistance with eating, bathing, grooming, dressing, and home management activities.) ALFs provide support services such as personal care, transportation, meals, housekeeping, and laundry.</p>	
<p>AMI (Area Median Income): Area Median Income (AMI) is the average income of persons and families living in a defined geographical area. This area could be a county or group of counties in rural areas or a Metropolitan Statistical Area (MSA) in urban areas. The AMI is determined and published annually by the Department of Housing and Urban Development (HUD). The local AMI is used to determine individuals’ and families’ qualifications for various federal and state assistance programs, including affordable housing programs.</p>	

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Proposed	Comments
<p>County Home Ownership Programs: Prince William County administers homeownership assistance loan programs which provide purchase loans for down-payment and closing cost assistance.</p>	
<p>Efficiency Apartment: An efficiency apartment is a small living area with a bathroom and a kitchenette. These are more affordable than other apartments as rentals or to purchase because the living space, kitchen and bedroom are all contained in one room.</p>	
<p>HUD (U.S. Department of Housing and Urban Development): HUD’s mission is to increase homeownership, support community development and increase access to affordable housing free from discrimination.</p>	
<p>LIHTC (Low Income Housing Tax Credits): The Federal Low Income Housing Tax Credits (LIHTC) program is sponsored by the U.S. Treasury Department and administered by VHDA (Virginia Housing Development Authority) in Virginia. The program provides a federal income tax credit to private individuals, investors or corporations who participate in the construction or redevelopment of low-income housing. The credits are taken annually over a period of ten (10) years. The program may reduce payable taxes by up to \$25,000 of non-passive income.</p>	
<p>Prince William County Housing Preservation and Development Fund: The Prince William County Housing Preservation and Development Fund was established in December 1991 by the Prince William Board of County Supervisors. The purpose of the fund is to support a variety of activities aimed at financing, developing, constructing, and/or preserving housing that is affordable and accessible to a wide range of household incomes per the AMI.</p>	
<p>Transitional Housing: Transitional housing is a project that is designed to provide housing and appropriate support services to homeless persons to facilitate movement to independent living within 24 months.</p>	

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OPEN SPACE PLAN	
CONTENTS	Moved to Table of Contents.
The components of the Open Space Plan are:	
<ul style="list-style-type: none"> ● Intent ● Definitions ● Goals, Policies, and Action Strategies ● Open Space and Corridors Map (Figure 2) 	
INTENT	
A system of open space and corridors will protect water quality in streams and ultimately the Chesapeake Bay (including sources of public drinking water); enhance the ability of wildlife to find food, water, and shelter; minimize environmental damage from development on excessively steep slopes, floodplains, resource protection areas (RPAs), or inappropriate soils; conserve cultural sites and scenic vistas; and enhance connections between neighborhoods.	
These open spaces and corridors can be used for recreation; wetlands and forests supply storm-water drainage and wildlife habitat; and farms and forests provide aesthetic benefits to surrounding residents. In rapidly growing urban and suburban areas, any preserved land can offer relief from congestion and other negative effects of development.	
Open space provides a range of economic, aesthetic, environmental, and recreation benefits to the citizens of a community. Open space enhances property values and attracts businesses, homebuyers, and workers. <u>Open space should be of a size and quality to be meaningful, in order to be considered beneficial. Quality elements include location, configuration, and utility, with emphasis on public access.</u>	Clarification. The Trails and Blueways Council suggested this edit.
This Open Space Plan provides policy guidance for the future of Prince William's open space. The Plan includes objectives, strategies, and recommended actions designed to ensure the provision of an adequate supply of beneficial open space to satisfy the needs of this and future generations in the County.	
The Plan also includes minimum open space and recreation facility principles and identifies criteria to evaluate acquisition sites and implementation strategies.	

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DEFINITIONS	All definitions found will be moved to Glossary
<p>Environmental Open Space Corridors: Continuous systems of open space. These corridors include environmentally sensitive lands and natural resources requiring protection from disturbances and development, and lands needed for open space and passive recreational uses such as trails and blueways. recreational uses.</p> <p>Environmental Open Space corridors include drainage-ways and stream channels, floodplains, wetlands, steep slopes, and other resource features, and are part of a countywide system of continuous open space corridors.</p>	<p>All definitions found will be moved to Glossary. Clarification edit suggested by the Trails and Blueways Council. Environmental and Recreational Corridors will be merged and renamed to Open Space Corridors.</p>
<p>Heritage Corridors: Linear swaths of land that connect or contain resources of cultural significance and may contain trails and/or roadways with interpretive signage linking cultural sites are part of a countywide system of continuous open space corridors. The corridors may be historic routes themselves, or modern routes that connect sites of cultural interest.</p>	
<p>Recreational Corridors: Linear swaths of land or waterways that contain trails or offer other opportunities for recreation and are part of a countywide system of continuous open space corridors.</p>	<p>Recreational Corridors to be combined with Environmental Corridors and renamed Open Space Corridors.</p>
<p>Open Space: Land that is not dominated by man-made structures. It preserves natural or cultural resources, provides for passive recreation, is used for cultivated fields or forests, or exists in a natural and undeveloped state. Open space may include nature preserves, historic sites, farms, parks, forests, floodplains, wetlands, etc., and may include some structures, parking areas, roads, trails and facilities that support the use of the land.</p>	
<p>Protected Open Space: Land that is protected from development with perpetual conservation or open space easement or fee ownership, held by federal, state, or local government or nonprofit organization for natural resource, forestry, agriculture, wildlife, <u>passive</u> recreation, historic, cultural, or open space use, or to sustain water quality and living resources values.</p>	<p>Clarification and typo edit.</p>
<p>GOALS, POLICIES AND ACTION STRATEGIES</p>	

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OPEN SPACE GOAL: Preserve existing protected open space, maintain high quality open space, and expand the amount of protected open space within the County.	
OS- POLICY 1: Complete and maintain an up-to-date inventory of protected open space in Prince William County.	
ACTION STRATEGIES:	
OS 1.1 Periodically prepare and publish a comprehensive inventory of existing protected open space.	
OS 1.2 Define and publish guidelines for calculating changes to the inventory of protected open space.	
OS 1.3 Maintain an Open Space Inventory Map showing parcel-specific boundaries of protected open space and make this information available as a geographic information system (GIS) layer on the County Mapper.	
OS- POLICY 2: Partner with other government agencies, businesses, and non-government organizations, including nonprofit organizations and home owner associations to permanently protect open space and increase public access to open space areas.	
ACTION STRATEGIES:	
OS 2.1 Coordinate land use planning with the recommendations of the Virginia Outdoors Plan, the Virginia Wildlife Plan, the Virginia Natural Heritage Resources Assessment, and the Virginia Department of Historic Resources’ Cultural Resources Inventory <u>to permanently protect open space and increase public access to open space areas.</u>	Clarification edit.
OS 2.2 Coordinate county land use planning efforts with federal, state, regional, and local public and private open space providers <u>to permanently protect open space and increase public access to open space areas.</u>	Clarification edit.
OS 2.3 Coordinate open space planning efforts with adjoining counties, the cities of Manassas and Manassas Park, and the towns of Occoquan, Quantico, Dumfries, and Haymarket <u>to permanently protect open space and increase public access to open space areas.</u>	Clarification edit.

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<p>OS- POLICY 3: Identify county-owned land and designate such land for open space, where suitable.</p>	
<p>ACTION STRATEGIES:</p>	
<p>OS 3.1 Review county-owned properties and determine what county-owned lands should be protected as open space, and ensure such designation is made in official management plans of the <u>Parks and Recreation Department</u>, Park Authority, Service Authority, Department of Public Works, Transportation Department, and other county agencies.</p>	<p>New Information/Updating for Accuracy - The Park Authority is no longer active. The County’s Parks and Recreation Department has assumed the duties of the Park Authority.</p>
<p>OS 3.2 Consider using future "surplus" county rights-of-way or other county-owned lands for trails, <u>blueway access</u>, parks, and open space, prior to determining if other disposition is more appropriate.</p>	<p>Added “blueway access” per TBC suggestion.</p>
<p>OS- POLICY 4: Retain existing open space in the county.</p>	
<p>ACTION STRATEGIES:</p>	
<p>OS 4.1 Review and implement programs, including the purchase of development rights (PDR), transfer of development rights (TDR), and outreach highlighting opportunities available through private conservation easements in order to protect existing open space.</p>	
<p>OS 4.2 Review and implement programs that provide incentives for landowners in the rural area to preserve agricultural land uses, protect prime soils, and prevent non-agricultural uses from negatively impacting the primary land use.</p>	
<p>OS-POLICY 5: A minimum of 39 percent of the total area in the County, (exclusive of<u>excluding</u> acreage of Marine Corps Base Quantico for all calculation purposes), should be retained as protected open space.</p>	<p>Clarification edit.</p>
<p>ACTION STRATEGIES:</p>	
<p>OS 5.1 When and where possible and appropriate, work with home owner associations, utility companies, and other private property owners to obtain appropriate easements and covenants that ensure permanent protection of open space.</p>	

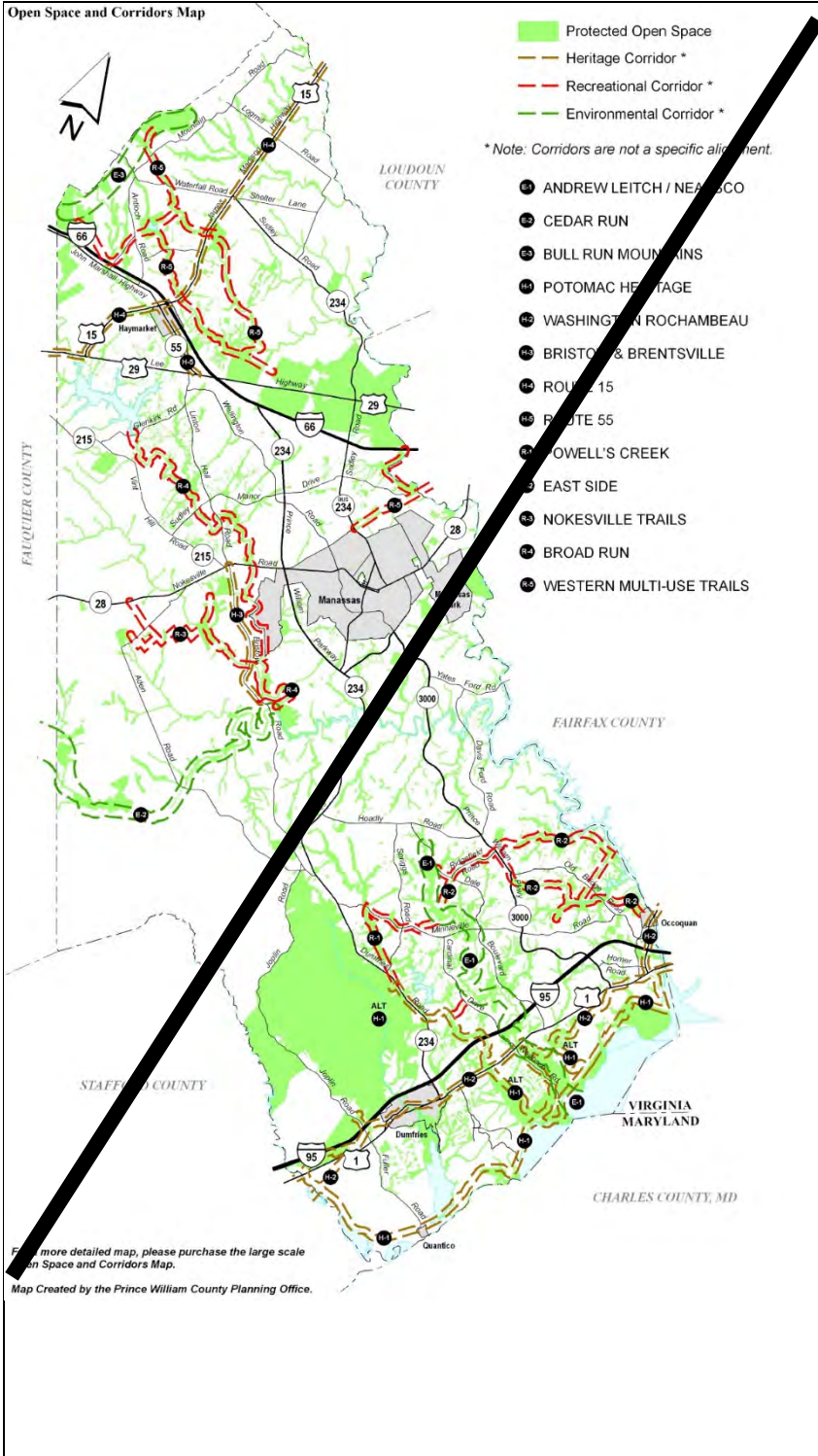
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<p>OS 5.2 Review the open space development standards and definitions in the Zoning Ordinance, including the rural cluster component, and update them to reflect the goals and policies of this chapter.</p>	
<p>OS 5.3 In the Comprehensive Plan, identify and map existing open space and other areas where acquisition of additional protected open space should be prioritized.</p>	
<p>OS 5.4 Review opportunities, including the purchase of development rights (PDRs) and transfer of development rights (TDRs) and implement appropriate programs in order to provide incentives for landowners to protect open space and to shift density to appropriate locations where infrastructure is planned or in place.</p>	<p>Clarification edit.</p>
<p>OS 5.5 Actively seek to acquire easements or fee interest in property – through land purchases, grants, proffers, and donations – that is suitable for protected open space, including existing open spaces, or where an environmental constraints analysis shows that by-right development would result in substantial community impacts.</p>	
<p>OS 5.6 Acquire easements as authorized by the Virginia Open Space Land Act.</p>	
<p>OS 5.7 Update the Zoning Ordinance to ensure increased requirements for protected open space.</p>	
<p>OS 5.8 Consider open space acquisition as a regular component of the capital improvement program.</p>	
<p>CORRIDORS GOAL: Identify, protect and preserve environmental, heritage, and recreational <u>open space</u> corridors.</p>	<p>Clarification edit. Recreational Corridors to be combined with Environmental Corridors and renamed Open Space Corridors.</p>
<p>CO-POLICY 1: Ensure connectivity, and encourage diverse forms of transportation between neighborhoods/employment centers/transit nodes and open space that is accessible to the public.</p>	
<p>ACTION STRATEGIES:</p>	
<p>CO 1.1 Link neighborhoods to existing and planned county parks and state and federal natural/or historic/recreational sites. Link employment centers and transit facilities to county, state and federal natural/or historic/recreational sites.</p>	<p>Clarification edit.</p>

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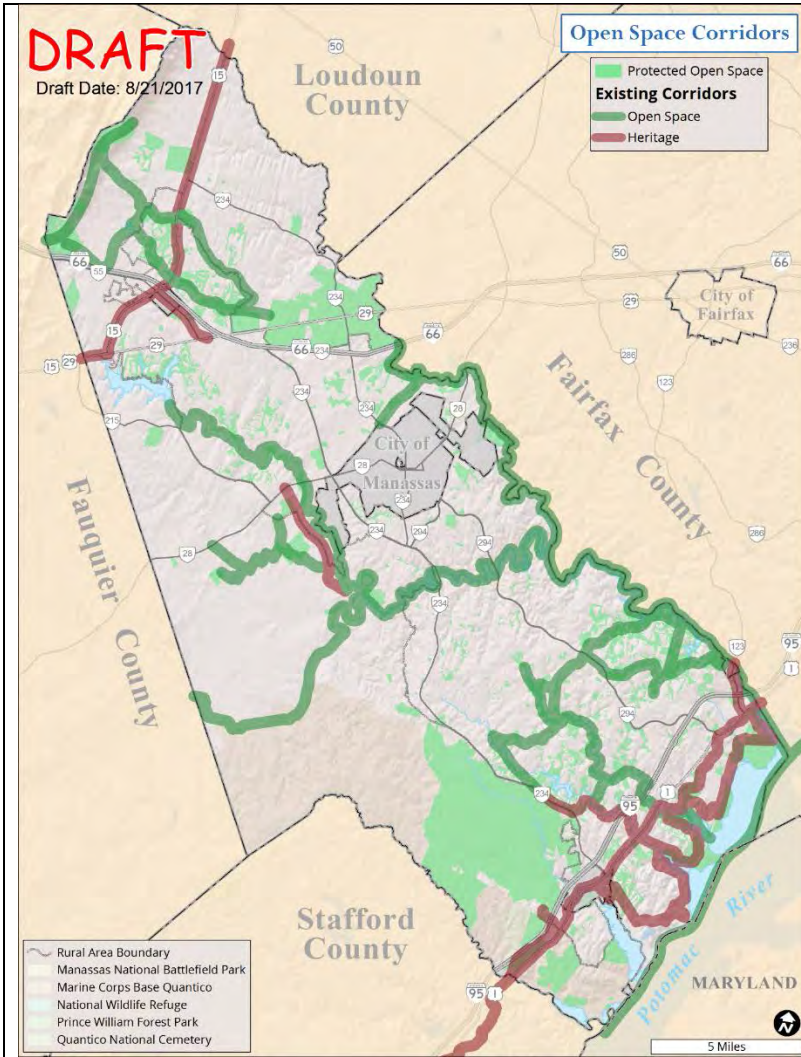
<p>CO 1.2 Provide convenient, well-marked, well-defined entrance points in and near public parks for access to trails within the park and to environmental <u>open space</u>, and heritage, and recreational corridors. Where possible, locate these entrance points at activity centers, such as recreation centers, nature centers, field complexes, public transit, and residential communities.</p>	<p>Clarification edit.</p>
<p>CO 1.3 As part of the rezoning and Special Use Permit process, ensure adequate pedestrian, biking, and equestrian access to the nearest local parks through environmental, <u>open space and heritage</u>, and recreational corridors. Access should incorporate, where practical, existing utility and conservation easements, abandoned railroad beds, and existing or planned trail segments.</p>	<p>Clarification edit.</p>
<p>CO-POLICY 2: Partner with others to plan and manage heritage, <u>and environmental</u>, and recreational <u>open space</u> corridors.</p>	<p>Clarification edit.</p>
<p>ACTION STRATEGIES:</p>	
<p>CO 2.1 Support the efforts of state and federal agencies to establish corridors linking public parks, forests, and wildlife management areas.</p>	
<p>CO 2.2 Work with private and public organizations, utility companies, and other county, regional, state and federal agencies to develop heritage, <u>and environmental</u>, and recreational <u>open space</u> corridors.</p>	<p>Clarification edit.</p>
<p>CO 2.3 Ensure opportunities for public participation in developing partnerships for heritage, <u>and environmental</u>, and recreational corridors, including planning and maintenance of the corridors that get established.</p>	<p>Clarification edit.</p>
<p>CO 2.4 Ensure that all county agencies use best practices to develop and maintain corridors, including topographic standards, environmental concerns, and <u>Americans with Disabilities Act (ADA) access requirements</u>, where appropriate.</p>	
<p>CO 2.5 <u>Coordinate with adjacent jurisdictions to link equivalent corridors at the adjacent jurisdictions.</u></p>	<p>Clarification edit. Elaborating on the content of OS-Policy 2.</p>

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Updated. See map below.

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New map has been added.

Figure 2 label removed.

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.

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POTABLE WATER	
Intent	
The intent of the Water Plan is to facilitate the provision of adequate potable water and cost-effective water facilities in a manner consistent with development, as reflected by the Long-Range Land Use Plan Map; to address existing and potential conditions that could otherwise adversely impact the natural environment and public health, safety, and welfare; and to implement the Safe Drinking Water Act.	
Public water is planned and mapped for the Development and Rural Areas <u>Countywide</u> . Extension of public water shall not be used as a justification for increasing the residential densities that are shown on the Long-Range Land Use Plan Map for a given area.	Clarification
The Water Plan includes the following components:	Delete Redundant Language (Planning)
<ul style="list-style-type: none"> • Intent, Goal, Policies, and Action Strategies • Existing and Projected Potable Water Facilities Map (Figure 1) 	
GOAL: Provide economically feasible and environmentally sensitive systems of high quality public drinking water supply, transmission, storage, and distribution to serve existing and proposed development as reflected in the Long-Range Land Use Plan Map.	
WA-POLICY 1: Continue regional water supply planning so that the costs of system expansion and increases in system capacity will continue to be borne by new development in coordination with the Prince William County Service Authority.	
ACTION STRATEGIES:	
WA 1.1 Recognize the Prince William County Service Authority and the Virginia American Water Company as the primary providers of <u>potable</u> water facilities within the County.	Clarification (PWCSA)
WA 1.2 Continue private sector financing – in coordination with the Prince William County Service Authority <u>and Virginia American Water</u> – of all capital costs associated with the expansion of water facilities necessary to serve new development.	Clarification (PWCSA)
WA 1.3 Continue to monitor the total capacity needs of areas supplied by the Fairfax Water Authority and the City of Manassas, in order to ensure a sufficient water supply to meet projected demands within Prince William County.	Clarification (PWCSA)
WA 1.4 Continue to support the Occoquan Monitoring Laboratory, the Northern Virginia Planning District Commission's technical studies, and the multi-	

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jurisdictional Occoquan watershed program. Obtain annual reports for presentation to the Board of County Supervisors.	
WA 1.5 Continue to negotiate economically feasible expansions of capacity rights – by and through the Prince William County Service Authority <u>and Virginia American Water</u> , – with the Fairfax Water, Authority and the City of Manassas, in order to provide for the projected needs of the County.	Clarification (PWCSA)
WA 1.6 Continue to reduce the use of groundwater resources for public water supply sources where public surface water supply sources can be utilized effectively.	
WA 1.7 Continue to identify types of point/non-point pollution sources upstream from the reservoirs, and to suggest ways that non-point source pollution can be eliminated or controlled.	
WA-POLICY 2: Ensure adequate <u>supply and high quality</u> water supplies and system capacities needed to support planned growth in accordance with the densities and intensities of the Long-Range Land Use Plan and Map, and in a cost-effective manner.	Clarification (PWCSA) Per the PC Work Session on 4.19.17
ACTION STRATEGIES:	
WA 2.1 Design water facilities according to the densities and intensities reflected in the Long-Range Land Use Plan and Map, <u>providing both adequate capacity while preserving water quality.</u>	Clarification (PWCSA) Per the PC Work Session on 4.19.17 (change word “and” to “while”)
WA 2.2 Require all future development within the Development Area – as reflected by the Long-Range Land Use Plan Map – to connect to public water facilities. Permit all future development within the Rural Area – as reflected by the Long-Range Land Use Plan Map – to connect to public water facilities.	
WA 2.3 Require new development utilizing public water systems to fund – in coordination with the Prince William County Service Authority <u>and Virginia American Water</u> – the capital costs associated with expanding the water facility, including line extensions and plant capacity expansions.	Edit
WA 2.4 Prepare the necessary standards and regulations to require existing and future water users – including those in the Rural Area – to connect to public water facilities if such development is or may cause a public health hazard.	

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<p>WA 2.5 Determine <u>and monitor</u> the extent of groundwater contamination throughout the County.</p>	<p>Ongoing process (Planning)</p>
<p>WA 2.6 Develop a Wellhead Protection Program – utilizing procedural guidelines and information available from the U.S. Environmental Protection Agency and the Virginia Ground Water Protection Steering Committee – to protect or improve the groundwater quality of Prince William County.</p>	
<p>WA 2.7 In coordination with the Health Department and the Virginia Department of Environmental Quality identify critical groundwater and groundwater recharge areas throughout the County, as well as the developments that abut or are located within those areas. Once these areas have been identified, require applicants for rezonings, special use permits and/or Comprehensive Plan amendments – where appropriate – to consider this information consistent with the Environment Chapter.</p>	
<p>WA 2.8 Under existing laws and regulations, require industries and utilities to monitor and report chemical leaks.</p>	
<p>WA 2.9 Locate non-residential activities that use, store, or manufacture significant quantities of toxic substances away from the County's water bodies and critical groundwater areas.</p>	
<p>WA 2.10 Encourage the use of semi-pervious or pervious surfaces where appropriate for purpose of groundwater recharge in accordance with the Environment Chapter.</p>	
<p>WA 2.11 Promote the use of secondary containment storage tanks for petroleum products and other hazardous material.</p>	
<p>WA 2.12 Ensure the lowest allowable density/intensity of development – as reflected by the appropriate land use classification shown on the Long-Range Land Use Plan Map – around the shore of the reservoirs located in the County.</p>	
<p>WA 2.13 Conduct a study and map the upper reaches of the Occoquan Reservoir – one of the County’s primary public water supply <u>sources</u> – and evaluate the option of creating an overlay district for the area. Cooperate with the Fairfax County Water Authority to ensure protection of this water supply source.</p>	<p>Clarification (PWCSA)</p>
<p>WA 2.14 Where not otherwise required as part of the Chesapeake Bay Preservation Act for designated resource protection areas (RPAs), require a minimum 100-foot setback from the shorelines of public water sources for development-related ground disturbance activities. Preclude disturbance activities on any area where</p>	

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contiguous slopes greater than 20 percent are adjacent to shorelines, and extend beyond the 100-foot setback.	
15. In cooperation with Fairfax County, evaluate the option of restricting—by ordinance—the use of internal combustion engines on the Occoquan Reservoir.	FCWA has amended their easement agreement to restrict gasoline motors up to 10hp on the Occoquan Reservoir.
WA 2.15 Utilize <u>the</u> Existing and Projected Potable Water Facilities Map (Figure 1) to identify the general or approximate location, character, and extent of the features shown thereon. Such features shall be planned, sited, and buffered in a manner so as to provide compatibility with surrounding existing and planned land uses, and shall meet the appropriate policies and action strategies of the Long-Range Land Use Plan.	Reference to Figure 1 removed from map title.
WA-POLICY 3: Provide for a combination of safe, efficient, and affordable public water systems and private wells in the Rural Area, while maintaining the land use densities delineated in the Long-Range Land Use Plan Map and upholding the policies and action strategies outlined in the Comprehensive Plan.	
ACTION STRATEGIES:	
WA 3.1 Continue to Allow private well systems within the Rural Area where public water systems will not or cannot be provided, so long as natural environmental conditions and system design characteristics are conducive to their efficient operation.	Clarification (Planning)
WA 3.2 The existence or extension of a public water system in the Rural Area shall not promote increased densities which would not otherwise be allowed nor provide justification for altering the land use classifications in the Long-Range Land Use Plan and Map.	
WA 3.3 Investigate the feasibility of obtaining grant funds for use by the County for water extension to areas with a high potential for well contamination or inadequate supply of groundwater.	
POTABLE WATER PLAN MAP	
The Existing and Projected Potable Water Facilities Map (Figure 1) reflects existing potable water facilities and proposed facility improvements. The data shown on the map include the range of pipe sizes planned by the Prince William County Service Authority	Clarification (PWCSA)

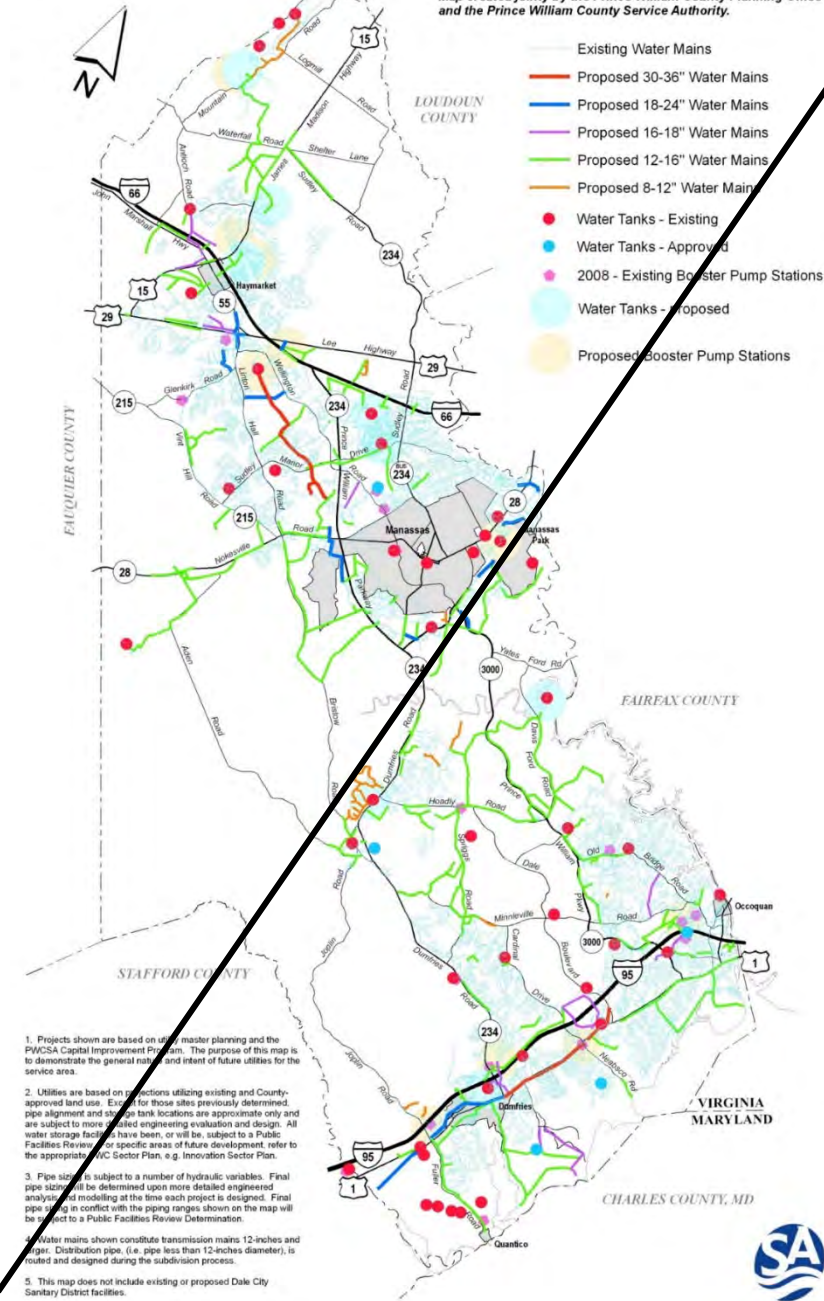
and Virginia American Water for that particular system or area. Location of proposed projects is subject to specific design. The map serves as a guide for conceptual alignments and final design may alter existing and proposed alignments.

Reference to Figure 1 removed from map title.

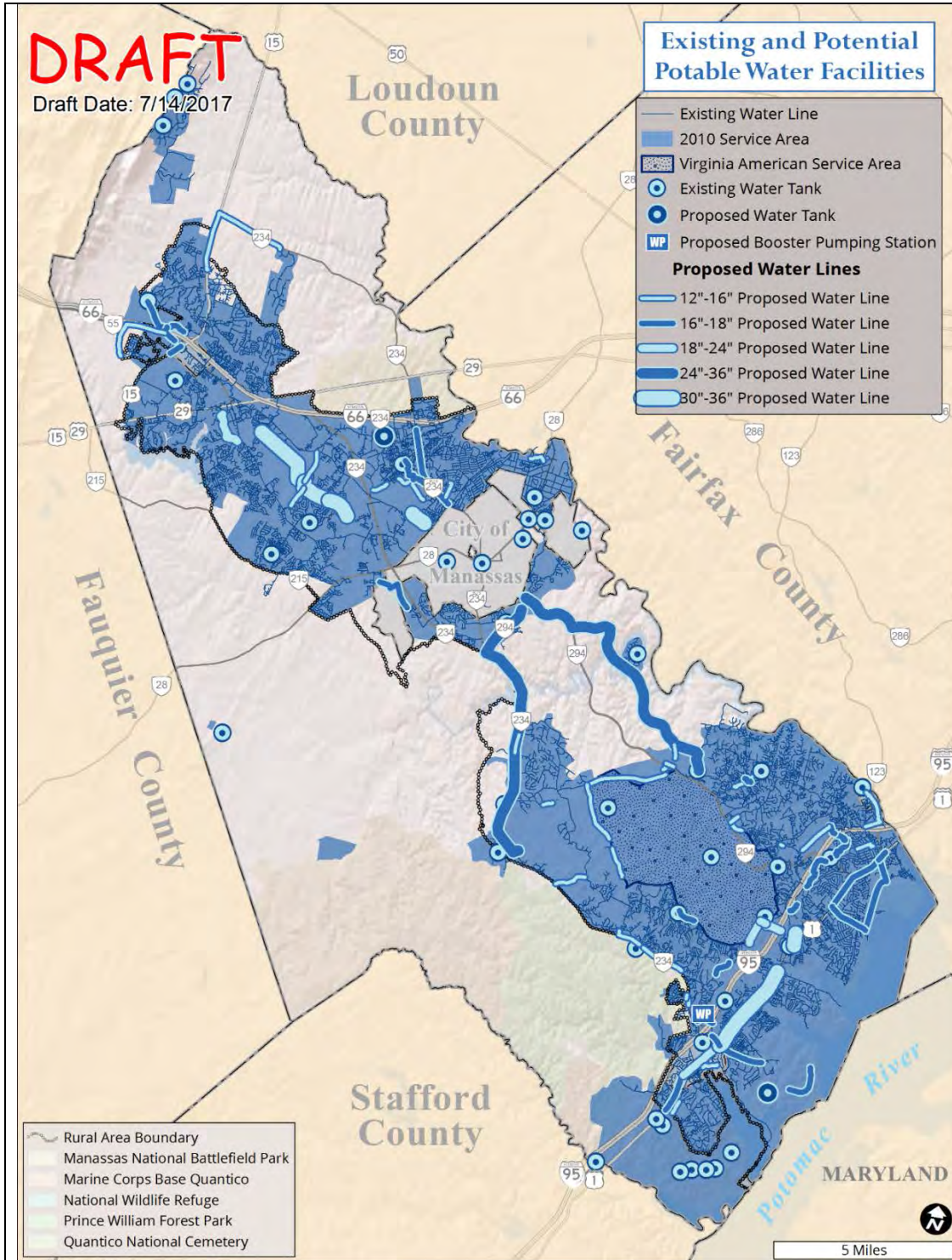
Existing and Projected Potable Water Facilities

For a more detailed map, please purchase the large scale Existing and Projected Sanitary Sewer Facilities Map.

Map created jointly by the Prince William County Planning Office and the Prince William County Service Authority.



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Map to be verified ...Logo for SA?...Proposed Lines Added ? Map is being updated by John...will need to be added. (7-12-17)

Reference to Figure 1 label removed.

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.

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SANITARY SEWER	
Intent	
The intent of the Sewer Plan is to facilitate the provision of adequate conveyance, wastewater treatment, and cost-effective sewer facilities in a manner consistent with development as reflected by the Long-Range Land Use Plan Map, in compliance with the Occoquan Policy, the Potomac Embayment Standards, and Virginia Department of Health Sewer Regulations; and to address existing and potential conditions that could otherwise adversely impact the natural environment and public health, safety, and welfare.	Clarification (PWCSA)
Public sewer is planned and mapped for the Development Area. New development in the Development Area will occur with the provision of public sewer facilities, except in the Semi-Rural Residential (SRR) designation, where on-site sewerage systems may also be used. Development in the Rural Area shall occur without public sewer facilities, except where provided for in this chapter – to address specific public health concerns or to serve a specific public facility. Any extension of public sewers into the Rural Area, however, shall not be used as a justification for increasing the residential densities that are shown on the Long-Range Land Use Plan Map for the Rural Area. The Sewer Plan discourages decentralized on-site sewerage systems in the Rural Area, where more than one lot is to share such a system.	
The Sewer Plan includes the following components:	Delete redundant language (Planning)
• Intent, Goal, Policies, and Action Strategies	
• Existing and Projected Sanitary Sewer Facilities Map (Figure 1)	
GOAL: Provide economically feasible and environmentally sensitive systems of wastewater and sewage collection, conveyance and treatment to serve existing and proposed development, as reflected by the Long-Range Land Use Plan Map and discussed in the Long-Range Land Use Plan.	+
SEW-POLICY 1: Continue sewer system planning within the Development Area, so that the costs of system expansions and increases in system capacity will continue to be borne by new development.	
SEW-POLICY 2: Ensure adequate sewer capacities needed to support planned growth in the Development Area, in accordance with the densities, intensities and locations for new development – as shown in the Long-Range Land Use Plan and Map and in a cost-effective manner.	

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ACTION STRATEGIES:	
SEW 2.1 Revise the sewer plans for the County based on the Long-Range Land Use Plan Map. An analysis – including but not limited to the following subjects – should be incorporated into the Sewer Plan following adoption of each five-year update of the County’s Comprehensive Plan, in instances where Comprehensive Plan policies or Long-Range Land Use Plan designations or development densities are amended and would have a direct impact upon existing sewer plans, or as part of any required public facility review for sewer extension(s):	
SEW 2.1.a Potential shortfalls in utility capacities and proposed methods for addressing identified shortfalls.	
SEW 2.1.b Identification of capital needs, based upon identified shortfalls in utility capacities and identification of potential funding sources. This analysis should consider the relevancy of phased construction as a means to address capital needs.	
SEW 2.1.c Analysis and recommendations regarding the provision of public <u>sewer</u> service to users of small private sewage treatment plants, decentralized on-site sewerage systems that serve more than one lot and on-site sewerage systems. These facilities may already be existing or may occur in the future, in locations designated Semi-Rural Residential (SRR) on the Long-Range Land Use Plan Map or in other locations, such as for certain public buildings and sites.	Clarification (PWCSA)
SEW 2.2 Require existing structures, where an existing on-site sewer system has failed in the Development Area and where it has been determined by the Prince William County Health Department that no on-site remediation is possible, and where the property line is located within 300 feet of a public sewer line with adequate capacity, to connect to such line.	
SEW 2.3 Plan for adequate facility capacity allocations from the Upper Occoquan Sewage Authority to meet projected needs for those portions of western Prince William County that are included within the Development Area.	
SEW 2.4 Expand the H. L. Mooney treatment plants to accommodate projected need as reflected by the Long-Range Land Use Plan Map.	Per the PC Work Session on 4.19.17
SEW 2.5 Plan and coordinate with the Dale Service Corporation <u>Virginia American Water</u> to prepare strategies to accommodate projected needs within its service area, as reflected by the Long-Range Land Use Plan Map.	Clarification (PWCSA)

Attachment B – Comprehensive Plan Chapter Edits

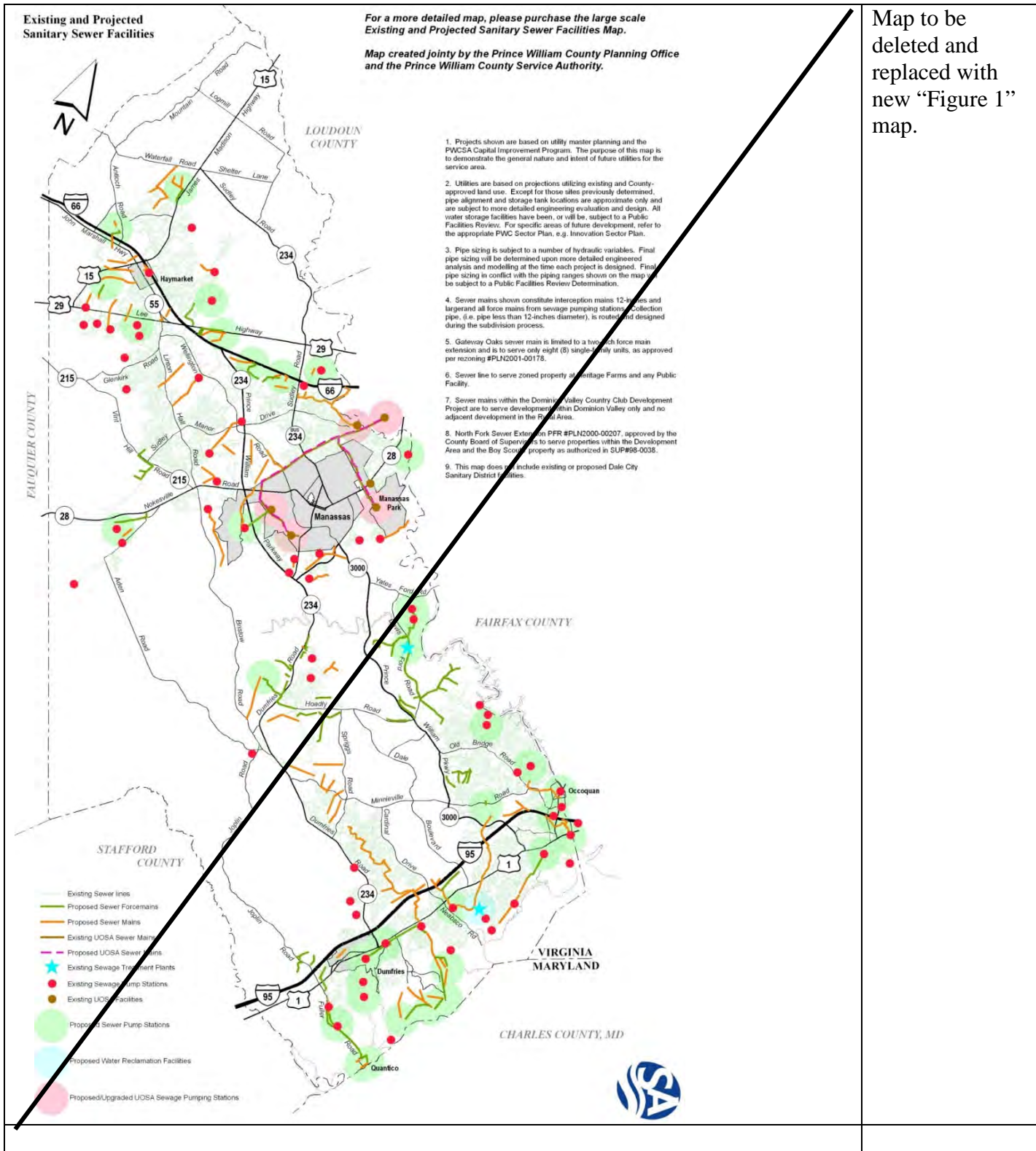
<p>SEW 2.6 Recognize that the Prince William County Service Authority and the Dale Service Corporation <u>Virginia American Water</u> are the primary providers of sewage treatment to the County.</p>	<p>Clarification (PWCSA)</p>
<p>SEW 2.7 Design and plan for sewer facilities only in accordance with the densities, intensities, and locations for new development in the Development Area that are shown in the Long-Range Land Use Plan Map.</p>	
<p>SEW 2.8 Require all future development within the Development Area, as reflected by the Long-Range Land Use Plan Map, to connect to public sewer facilities, except in those locations designated SRR, where on-site sewerage systems are also permitted.</p>	
<p>SEW 2.9 Require new development in the Development Area to fund the capital costs associated with expanding sewer facilities, including line extensions and plant capacity expansions, <u>as required for its project</u>, in coordination with the Prince William County Service Authority and in conjunction with the Long-Range Land Use Plan.</p>	<p>Clarification (Planning)</p>
<p>SEW 2.10 Evaluate the existing Design and Construction Standards Manual standards for average daily wastewater flow by land use type at least every five years.</p>	
<p>SEW 2.11 Monitor failures, as determined by the Health Department, to existing on-site sewerage systems, to determine the need for future extension of public sewer facilities within the Development Area. Such future extension, however, is not to be seen as a reason for an increase in residential densities above those specified on the Long-Range Land Use Plan Map.</p>	
<p>SEW 2.12 Prepare a standard policy and regulations to require existing and future development to install appropriate pre-treatment facilities, in accordance with the Prince William County Service Authority or Upper Occoquan Sewer Authority Pretreatment Regulations or Policies, and to connect to public sewer facilities if such development is – or promotes – a health hazard.</p>	
<p>SEW 2.13 Maintain an inventory of local systems – small private sewage treatment plants, alternative sewerage systems, and on-site sewerage system – throughout the County.</p>	
<p>SEW 2.14 Focus future publicly funded capital improvement programs for sewer facility expansion projects into the Development Area, as reflected by the Long-Range Land Use Plan Map.</p>	
<p>SEW 2.15 Prohibit the use of privately owned and privately operated treatment plants for new development projects.</p>	
<p>SEW 2.16 Utilize Figure 1- <u>Figure 1: Existing and Projected Sanitary Sewer Facilities Map (Figure 1)</u> to identify the general or approximate location, character, and extent of the features shown thereon. Such features shall be planned, sited, and buffered to provide</p>	<p>Clarification of redundant</p>

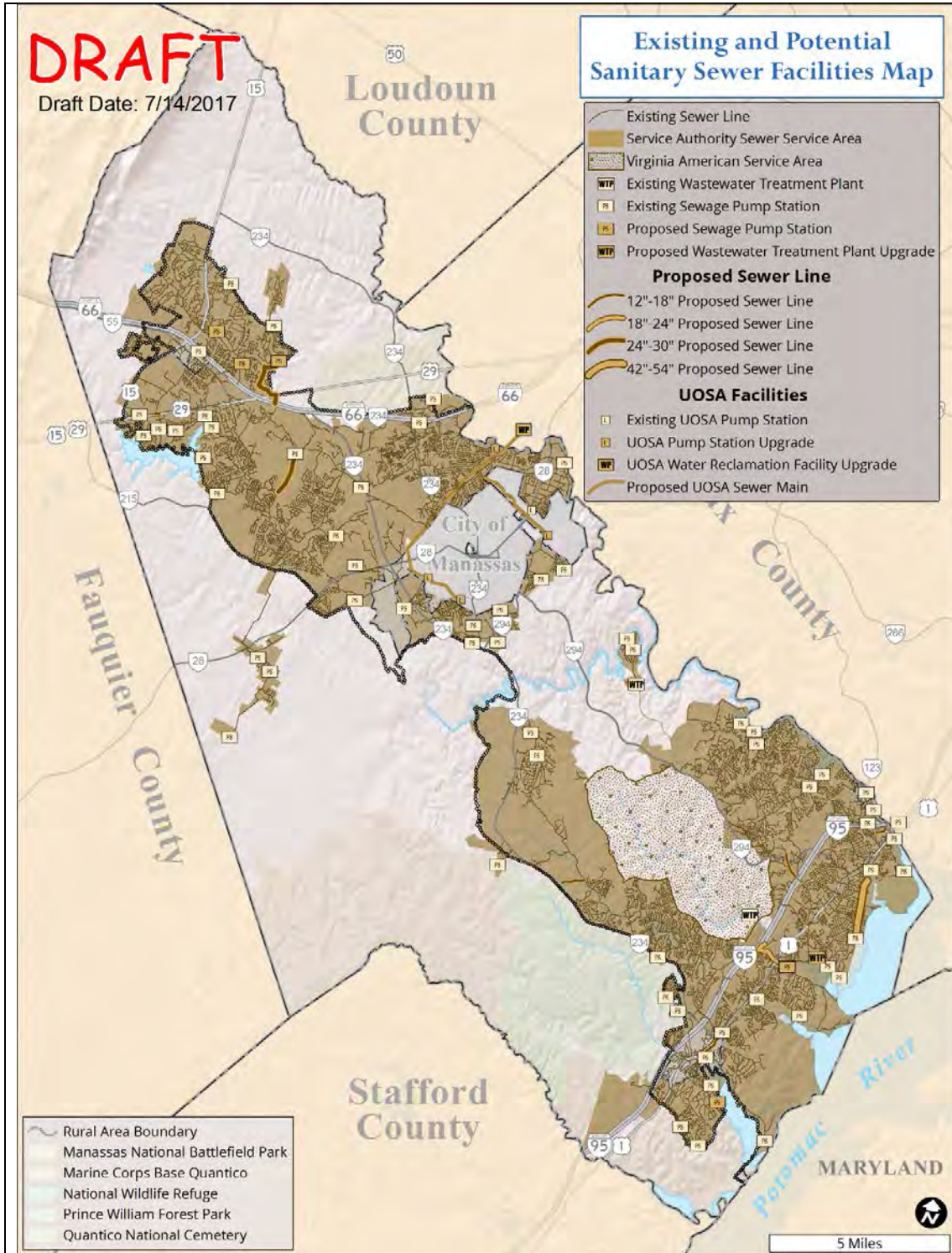
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<p>compatibility with surrounding existing and planned land uses, and shall meet the appropriate policies and action strategies of the Community Design Plan and the Long-Range Land Use Plan.</p>	<p>language (Planning) Reference to Figure 1 removed from map title.</p>
<p>SEW 2.17 Continue to update local sewer ordinances and pretreatment regulations and/or policies, as appropriate.</p>	
<p>SEWER POLICY 3: Prohibit the extension of public sewer into the Rural Area, except under special circumstances that maintain the land use densities delineated in the Long-Range Land Use Plan Map and uphold the policies and action strategies outlined in the Comprehensive Plan.</p>	
<p>ACTION STRATEGIES:</p>	
<p>SEW 3.1 All new development within the Rural Area shall be served by individual-lot, on-site sewerage systems. Public sewer systems – except under the special circumstances that are outlined in the action strategies contained herein, and as specifically permitted under the action strategies in the Nokesville Sector Plan for the “core area” identified in that sector plan – shall not be extended into the Rural Area.</p>	
<p>SEW 3.2 Comply with State requirements to enforce a periodic septic tank pump-out and reporting program in order to ensure proper waste disposal.</p>	
<p>SEW 3.3 Develop a Wellhead Protection Program and Groundwater Recharge Zone Protection Program – utilizing procedural guidelines and information available from the U.S. Environmental Protection Agency and the Virginia Groundwater Protection Steering Committee – to protect or improve the groundwater quality and prevent well contamination from faulty or improperly located private waste disposal systems.</p>	
<p>SEW 3.4 To serve a public facility, such as a public school, fire station, or public library, allow for the extension of public sewer into the Rural Area.</p>	
<p>SEW 3.5 Within the Rural Area, permit the voluntary use of public sewer systems for existing structures in a sub-watershed that has a documented history of sewerage system failures, as determined by the Health Department. <u>Virginia Department of Health, and in accordance with existing Prince William County policies.</u></p>	<p>Clarification (PWCSA) Clarification of formal State Health Department title (Planning – 5/5/17)</p>

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<p>SEW 3.6 Require existing structures whose failed sewerage systems have no on-site remediation – and where the property line is located within 300 feet of a public sewer line with adequate capacity – to connect to such line.</p>	
<p>SEW 3.7 Permit existing structures whose property line is within 1,000 feet of a sewer line extended into the Rural Area under the conditions of AS 4, AS 5, or AS 6 <u>SEW 3.4, SEW 3.5, or SEW 3.6</u> above to connect to the line, if there is adequate capacity on in that line.</p>	<p>Clarification (Planning)</p>
<p>SEW 3.8 Where appropriate, the Prince William County Service Authority will make reasonable efforts to accommodate <u>allow connection for</u> existing structures along the length of proposed sewer lines; however, no guarantee of service will be made and no increase in capacity beyond that shown on the Long-Range Land Use Plan Map shall be provided.</p>	<p>Clarification (PWCSA)</p>
<p>SEW 3.9 The existence or extension of a public sewer system to serve a site shall not promote increased densities that would not otherwise be allowed given the application of the various chapters of the Comprehensive Plan and relevant compatibility issues.</p>	
<p>SEW 3.10 The existence or extension of a public sewer system in the Rural Area shall not provide justification for altering the land use classifications on the Long-Range Land Use Plan Map.</p>	
<p>SEW 3.11 Where an adopted sector plan or planning study recommended in the Long-Range Land Use Plan and approved by the Board of County Supervisors calls for extension of public sewer into the Rural Area, permit such extension. , so as long as such action is consistent with the remainder of the Comprehensive Plan. <u>, so as long as</u></p>	<p>Per the PC Work Session on 4.19.17</p>
<p>SEW 3.12 The cost of any extensions/connections of/to a public system must be borne by the property owners connecting to the system.</p>	
<p>SEW 3.13 Investigate the feasibility of obtaining grant funds for use by the County for sewer extensions to areas with a high potential for on-site waste disposal system failure.</p>	
<p>SANITARY SEWER FACILITIES MAP</p>	
<p>The Existing and Projected Sanitary Sewer Facilities Map (Figure 1) reflects existing sewer facilities and proposed facility improvements. The data shown on the map includes the range of pipe sizes planned by the Prince William County Service Authority for that <u>their</u> particular system or area.</p>	<p>Clarification (PWCSA) Reference to Figure 1 removed from map title.</p>





Map to be updated with VA American Water Service Information. I do not believe any additional information was provided to us? John?

Map to be updated by John and reference to Figure 1 deleted

Map depicted here is a representation of the on-line version. Final style and format may be modified for a digital format.