

**MOTION:**

**December 8, 2015  
Regular Meeting  
Ord. No. 15-**

**SECOND:**

**RE: REZONING #PLN2014-00127, STONE HAVEN – BRENTSVILLE  
MAGISTERIAL DISTRICT**

**ACTION:**

**WHEREAS**, this is a request to rezone +/- 717.9 acres from A-1, Agricultural to PMR, Planned Mixed Residential, and PBD, Planned Business District. The proposal is to permit development of up to 1,006 residential units consisting of single family detached (SFD) and townhouse units and a maximum of 1,124,175 square feet of office/flex/light industrial development. The proposal will rezone approximately 281.5 acres from A-1, Agricultural to PBD, Planned Business District, and +/- 436.4 acres from A-1 to PMR, Planned Mixed Residential; and

**WHEREAS**, this request is associated with CPA #PLN2013-00186, Stone Haven, which if approved, will change the Long Range Land Use designation of +/- 864 acres from SRL, Suburban Residential Low, FEC, Flexible Use Employment Center, and ER, Environmental Resource to adopt the Stone Haven Study Land Use Map that includes residential, employment, parks and open space, and transitional land use areas; and

**WHEREAS**, the site is located on the south side of Wellington Rd., west of Devlin Rd., and north and east of Linton Hall Rd. and is identified on County maps as GPINs 7496-65-4921, 7496-37-4872(pt), and 7496-35-1841(pt). The referenced off-site area is identified on County maps as GPINs 7496-19-4118(pt) and 7496-29-2826(pt). The site is designated SRL, Suburban Residential Low, FEC, Flexible Use Employment Center, and ER, Environmental Resource in the Comprehensive Plan; and

**WHEREAS**, staff has reviewed the subject application and recommends approval as stated in the staff report; and

**WHEREAS**, the Planning Commission, at its public hearing on September 3, 2014, recommended approval as stated in Planning Commission Resolution Number 14-081; and

**WHEREAS**, a Board of County Supervisors' public hearing, duly advertised in a local newspaper for a period of two weeks, was held on October 7, 2014, and interested citizens were heard. The Chairman closed the public hearing, and the Board of County Supervisors had desired to be able to receive additional citizen input, thus the Prince William County Board of County Supervisors declared for the public hearing on Rezoning #PLN2014-00127, Stone Haven to remain open, and the Board deferred the public hearing on Rezoning #PLN2014-00127, Stone Haven to the evening session of the third meeting of January 2015 as stated in Resolution Number 14-627; and

**December 8, 2015**  
**Regular Meeting**  
**Ord. No. 15-**  
**Page Two**

**WHEREAS**, this request was scheduled for the January 20, 2015 Board of County Supervisors' public hearing, which was duly advertised in a local newspaper for a period of two weeks; and

**WHEREAS**, Supervisor Lawson received a letter from the applicant for Comprehensive Plan Amendment #PLN2013-00186 and Rezoning #PLN2014-00127, Stone Haven, requesting a deferral of the case from the January 20, 2015 Board of County Supervisors meeting to a date uncertain. At the January 13, 2015 Board of County Supervisors' public hearing, during Supervisors' Time, the Board deferred the Rezoning #PLN2014-00127, Stone Haven case to a date uncertain as stated in Resolution Number 15-30; and

**WHEREAS**, a Board of County Supervisors' public hearing, duly advertised in a local newspaper for a period of two weeks, was held on December 8, 2015 and interested citizens were heard.

**WHEREAS**, general welfare and good zoning practices are served by the approval of the application;

**NOW, THEREFORE, BE IT ORDAINED** that the Prince William Board of County Supervisors does hereby approve REZ #PLN2014-00127, Stone Haven, subject to the proffers dated November 2, 2015;

**BE IT FURTHER ORDAINED** that the Board of County Supervisors' approval and adoption of any proffered conditions does not relieve the applicant and/or subsequent owners from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

ATTACHMENT: Proffer Statement dated November 2, 2015

**December 8, 2015**  
**Regular Meeting**  
**Ord. No. 15-**  
**Page Three**

**Votes:**

**Ayes:**

**Nays:**

**Absent from Vote:**

**Absent from Meeting:**

**For Information:**

Planning Director

Peter M. Dolan, Esquire  
Walsh, Colucci, Lubeley & Walsh, P.C.  
4310 Prince William Parkway, Suite 300  
Woodbridge, VA 22192

**ATTEST:** \_\_\_\_\_

**Clerk to the Board**

## PROFFER STATEMENT

**RE:** REZ #PLN2014-00127, Stone Haven  
Record Owner: Edith H. Rameika, Trustee  
Property: GPINs 7496-65-4921, 7496-37-4872 (pt.), 7496-35-1841 (pt.)  
Brentsville Magisterial District  
717.9 Acres A-1, Agricultural, to  
281.5 Planned Business District (PBD)  
436.4 Planned Mixed Residential District (PMR)  
Date: November 2, 2015

The undersigned hereby proffers that the use and development of the subject Property shall be in strict conformance with the following conditions. In the event the above referenced rezoning is not granted as applied for by Applicant, these proffers shall be withdrawn and are null and void. The headings of the proffers set forth below have been prepared for convenience or reference only and shall not control or affect the meaning or be taken as an interpretation of any provision of the proffers. Any improvements proffered herein below shall be provided at the time of development of the portion of the site served by the improvement, unless otherwise specified. The terms "Applicant" and "Developer" shall include all future owners and successors in interest.

"Final Rezoning", as the term is used herein, shall be defined as that zoning which is in effect on the day following the last day upon which the Prince William Board of County Supervisors' decision granting the rezoning may be contested in the appropriate court or, if contested, the day following entry of a final court order affirming the decision of the Board of Supervisors which has not been appealed, or if appealed, the day following which the decision has been affirmed on appeal.

References in this Proffer Statement to plans and exhibits shall include the following:

- Master Zoning Plan – Stone Haven prepared by Dewberry Consultants LLC and dated September 9, 2013, last revised November 2, 2015, consisting of the following sheets ("MZP"):
  - a. Land Use Plan (sheet 1 of 5) ("Land Use Plan")
  - b. Open Space/Public Use Plan (sheet 2 of 5) ("Open Space Plan")
  - c. Buffer/Streetscape Plan (sheet 3 of 5) ("Buffer Plan")
  - d. Transportation & Pedestrian Network Plan (sheet 4 of 5) ("Transportation Plan")
  - e. Utility Plan (sheet 5 of 5) ("Utility Plan")
- Stone Haven Design Guidelines, prepared by Dewberry Consultants LLC and dated March 14, 2014, last revised November 2, 2015
- Off-Site Public Use Sites Exhibit, prepared by Dewberry Consultants LLC and dated March 14, 2014, last revised August 7, 2015 ("Off-Site Public Use Sites Exhibit")

- Amberleigh Station/Silver Leaf Buffer Exhibit, prepared by Dewberry Consultants LLC and dated March 14, 2014 ("Amberleigh Buffer Plan")

### **USES AND SITE DEVELOPMENT**

1. Development of the Property will be in substantial conformance with the Land Use Plan. The exact boundaries and acreage of the Land Bays may be increased or decreased at the time of site plan/subdivision, not to exceed ten percent (10%) of the gross area of the larger Land Bay impacted by each such change
2. The maximum number of residential units constructed on the Property shall not exceed 1,006 units, of which a maximum of 301 may be single family attached units and the balance shall be single family detached units.
3. For purposes of calculating density for final site/subdivision plans for the Property, the maximum density as set forth on the Land Use Plan shall apply to the entire Land Bay, including areas that may be dedicated for public street purposes, and shall not affect the density calculation for any given building or parcel within a Land Bay.
4. Handicapped parking spaces shall be provided in connection with development of the Property in accordance with the Prince William County Design and Construction Standards Manual.
5. There shall be no individual driveway connections to residential lots on the Property from Linton Hall Road or Devlin Road.

## TRANSPORTATION

### 6. University Boulevard

#### a. Right of Way Dedication/Acquisition

- (1) The Applicant shall reserve and dedicate, at no cost to Prince William County or the Virginia Department of Transportation (VDOT), right of way across the Property for a four lane divided roadway, up to a maximum of one hundred twenty-eight feet (128') in width, plus additional right of way as necessary for turn lanes, in the location as generally shown on the Transportation Plan.
- (2) The Applicant shall be responsible for the acquisition, or cost thereof, of off-site right of way, including any easements required for utilities, utility relocation, stormwater management and the like, in accordance with Proffer #12 below, as required for the construction of University Boulevard as a four lane divided roadway from the eastern boundary of the Property to Devlin Road, as said right of way is generally shown on the Transportation Plan. Said right of way shall be dedicated to the County prior to or concurrent with the approval of the first final subdivision plan that reflects residential units on the Property.
- (3) The Applicant shall be responsible for the acquisition, or cost thereof, of off-site right of way, including any easements required for utilities, utility relocation, stormwater management and the like, in accordance with Proffer #12 below, as required for the construction of University Boulevard as a four lane divided roadway from the western boundary of the Property to Progress Court, as said right of way is generally shown on the Transportation Plan. Said right of way shall be dedicated to the County prior to or concurrent with the approval of the first final subdivision plan that reflects residential units on the Property.

#### b. Design and Construction

- (1) The Applicant shall provide the design and engineering for University Boulevard as a 4-lane divided road from Devlin Road to Progress Court, as generally shown on the Transportation Plan. The Applicant shall, prior to or concurrently with the submission of the first final subdivision plan for residential development on the Property, submit engineered design plans for the entire length of the University Boulevard improvements (4-lane divided road) as set forth herein to the Prince William County Department of Transportation. In the event any off-site segment of said road is designed or under design by others prior to the Applicant moving forward with the design, the design of any such road segment shall not be the responsibility of the Applicant.

- (2) Within existing right of way or right of way to be acquired by the Applicant as set forth above, the Applicant shall construct University Boulevard as a 2-lane road (½ section of the 4-lane divided road) as the adjacent portion of the Property is developed and as said road is needed to serve development on the Property; provided, however, the Applicant shall complete the construction of University Boulevard as a 2-lane road from Devlin Road to Progress Court prior to the issuance of a building permit for the 500<sup>th</sup> residential unit on the Property. For purposes of this proffer, "completed" shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance. Said road improvements shall include turn lanes as required at intersections, subject to modifications set forth below in these proffers and/or as may be approved by the Prince William County Department of Transportation and/or VDOT.
- (3) The Applicant may post bonds for a ½ section of University Boulevard, with the ultimate section (and associated bonds) to be provided by others at a later time.
- (4) In addition to the obligations set forth in paragraph (2) above, the Applicant shall construct a full 4-lane divided section of University Boulevard along the frontage of Land Bay F between Rollins Ford Road and the northwestern most entrance on University Boulevard to Land Bay F with a transition to the 2-lane section, in the location as generally shown on the Transportation Plan. Said improvement shall be completed prior to or concurrent with the issuance of a building permit for the 225<sup>th</sup> cumulative residential unit on the Property. For purposes of this proffer, "completed" shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance.

c. Signalization

At any time during build out of the Property, the Applicant shall be responsible for the design and installation of all traffic signals required at intersections on University Boulevard through the Property, subject to a warrant study, to be provided by the Applicant, establishing the need, and approval of said signal by VDOT. All signals provided by the Applicant shall include preemptive and pedestrian equipment as required by the County. Warrant studies shall be provided at the request of the County and/or VDOT. For any of the intersections subject to this proffer where signals have not been deemed warranted by VDOT and/or approved for installation by the build out of the Property, no additional warrant studies will be required and the Applicant shall have no further obligation to provide signalization on University Boulevard.

7. Rollins Ford Road

a. Right of Way Dedication

The Applicant shall reserve and dedicate, at no cost to Prince William County or VDOT, right of way across the Property for a four lane divided roadway, up to a maximum of one hundred twenty-eight feet (128') in width, plus additional right of way as necessary for turn lanes, in the location as generally shown on the Transportation Plan. Said right of way shall be dedicated to the County prior to or concurrent with the issuance of a building permit for the 225<sup>th</sup> cumulative residential unit on the Property.

b. Design and Construction

- (1) The Applicant shall provide the design and engineering for Rollins Ford Road as a 4-lane divided road from Linton Hall Road to the northern boundary of the Property, as generally shown on the Transportation Plan. The Applicant shall, prior to or concurrently with the submission of the first final subdivision plan for residential development on the Property, submit engineered design plans for the entire length of the Rollins Ford Road improvements (4-lane divided road) as set forth herein to the Prince William County Department of Transportation.
- (2) Within existing right of way or right of way to be dedicated pursuant to subparagraph (1) above, the Applicant shall construct Rollins Ford Road as a 2-lane road (1/2 section of the 4-lane divided road) between Linton Hall Road and University Boulevard. Said road improvement shall be constructed as the adjacent portion of the Property is developed and as said road is needed to serve development on the Property; provided, however, the Applicant shall complete the construction of Rollins Ford Road as a 2-lane road from Linton Hall Road to University Boulevard prior to the issuance of a building permit for the 700<sup>th</sup> residential unit on the Property. For purposes of this proffer, "completed" shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance. Said road improvements shall include turn lanes as required at intersections, subject to modifications set forth below in these proffers and/or as may be approved by the Prince William County Department of Transportation and/or VDOT.
- (3) In addition to the obligations set forth in paragraph (2), the Applicant shall construct Rollins Ford Road as a full 4-lane divided section along the frontage of Land Bay F between University Boulevard and the northern boundary of the Property, in the location as generally shown on the Transportation Plan. Said improvement shall be completed prior to or concurrent with the issuance of a building permit for the 225<sup>th</sup> cumulative residential unit on the Property. For purposes of this proffer, "completed"



shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance.

- (4) Within existing right of way and subject to the approval of the County and VDOT, the Applicant shall construct Rollins Ford Road off-site from the northern boundary of the Property to the existing section of Rollins Ford Road located to the north, adjacent to the property identified with Prince William County Geographic Parcel Identification Number 7496-48-9162, as a modified CI-1, Category VI, road section, consistent with the existing road section to the north. The Applicant shall complete construction of said off-site Rollins Ford Road improvements prior to the issuance of a building permit for the 700<sup>th</sup> residential unit on the Property. For purposes of this proffer, "complete construction" shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance.
- (4) The Applicant may post bonds for a ½ section of Rollins Ford Road, with the ultimate section (and associated bonds) to be provided by others at a later time.

c. Signalization

- (1) At any time prior to the build out of the Property, the Applicant shall be responsible for the design and installation of all traffic signals required at intersections on Rollins Ford Road through the Property, subject to a warrant study, to be provided by the Applicant, establishing the need and approval of the signals by VDOT. All signals provided by the Applicant shall include preemptive and pedestrian equipment as required by the County. Warrant studies shall be provided at the request of the County and/or VDOT. For any of the intersections subject to this proffer where signals have not been deemed warranted by VDOT and/or approved for installation by the build out of the Property, no additional warrant studies will be required and the Applicant shall have no further obligation to provide signalization on Rollins Ford Road.
- (2) The Applicant shall be responsible for any necessary modifications to the existing traffic signal at the intersection of Rollins Ford Road and Linton Hall Road as required at the time the connection is made and when the ultimate improvements are constructed, if further modifications are required at that time.

8. Wellington Road

- a. The Applicant shall reserve and dedicate, at no cost to Prince William County or VDOT, right of way across the Wellington Road frontage of the Property, up to a maximum of sixty-four feet (64') from the existing centerline, plus additional right of way as necessary for turn lanes at the entrance to the Property and at Piney Branch Lane. Said dedication along the frontage of each respective Land Bay shall be made at the time of and in connection with the first final site plan filed for nonresidential buildings in Land Bays A and D, respectively.
- b. If not constructed by others and if requested by the County, within existing right of way or right of way to be dedicated by the Applicant as set forth above, the Applicant shall construct an additional eastbound through lane and ten foot (10') wide shared use trail from the entrance to Land Bay A to Devlin Road and right and left turn lanes on Wellington Road, as required by the County and VDOT, at the entrance to Land Bay A and at Piney Branch Lane. If requested by the County, said turn lanes shall be constructed at the time the entrance to Land Bay A is constructed and the improvements to Piney Branch Lane, as identified in Proffer #11 below, are constructed, respectively. The eastbound through lane and trail shall be constructed at the time of and in conjunction with the first site plan for nonresidential development in Land Bay A.
- c. The Applicant shall be responsible for the design and installation and/or modification of a traffic signal if required at the Wellington Road entrance to the Property, subject to a warrant study, to be provided by the Applicant at the time of and in connection with the first final site plan for nonresidential buildings in Land Bay A, or at any time prior to the build out of Land Bay A, establishing the need and approval of the signal by VDOT, said signal to include preemptive and pedestrian equipment as required by the County.
- d. Within existing right of way or right of way to be acquired by the Applicant, the Applicant shall construct turn lanes on Wellington Road, as required, at the intersection of Rollins Ford Road at the time the improvements to Rollins Ford Road are provided as set forth above and the connection is made to the existing section of Rollins Ford Road located adjacent to the Property to the north.
- e. Prior to or concurrent with the approval of a final site plan for any development in Land Bay A that results in a cumulative total on Land Bay A in excess of 242,410 square feet of gross floor area, the Applicant shall submit a traffic impact analysis ("TIA") to the County and VDOT for review and approval. The parameters of the TIA shall be scoped with the County and VDOT with the objective of determining any potential impacts of the additional development on the surrounding roads. The Applicant shall be responsible for providing those road improvements identified in the TIA which are required to mitigate the impacts of the additional traffic generated by the increased development in Land Bay A.

9. Linton Hall Road

- a. The Applicant shall reserve and dedicate, at no cost to Prince William County or VDOT, right of way across the frontage of the Property as required to accommodate a right turn lane at the intersection of Rollins Ford Road.
- b. Within existing right of way or right of way to be dedicated by the Applicant as set forth above, the Applicant shall construct and/or modify a right turn lane and a left turn lane, if required, at the intersection of Rollins Ford Road. Said improvements shall be constructed at the time the Rollins Ford Road connection is made to Linton Hall Road.
- c. Within existing right of way or right of way to be dedicated by the Applicant, and subject to the approval of the County and VDOT, the Applicant shall construct a five foot (5') wide sidewalk along the Linton Hall Road frontage of the Property and the off-site property located to the northwest between Rollins Ford Road and Piney Branch Elementary School (portion of GPIN 7496-35-1841). Said sidewalk along the frontage of the off-site property to the northwest shall be constructed at the time Rollins Ford Road is connected to Linton Hall Road. The sidewalk located along the frontage of Land Bays J and M shall be constructed at the time the adjacent portions of the Property are developed. The Applicant's obligation to construct the sidewalk along the frontage of the existing stormwater management pond adjacent to Land Bay J shall be subject to not having to modify or relocate said pond to accommodate the sidewalk.
- d. Within existing right of way, and subject to the approval of the County and VDOT, the Applicant shall construct a five foot (5') wide sidewalk along Linton Hall Road adjacent to the properties identified with Prince William County GPINs 7496-42-8304 and 7496-42-2417 to complete the pedestrian connection along this frontage. The Applicant's obligation to construct the sidewalk along the frontage of the existing culvert and associated facilities shall be subject to not having to modify or reconstruct said culvert and associated facilities to accommodate the sidewalk.

10. Devlin Road

- a. The Applicant shall reserve and dedicate, at no cost to Prince William County or VDOT, right of way, up to a maximum of one hundred and twenty-eight feet (128') in width from the easterly Devlin Road right of way line, along the Devlin Road frontage of Land Bays L and M, as said Land Bays L and M are identified on the Land Use Plan. Said right of way shall be dedicated to the County prior to or concurrent with the issuance of a building permit for the 225<sup>th</sup> cumulative residential unit on the Property.
- b. Within existing right of way or right of way to be acquired, the Applicant shall construct right and left turn lanes on Devlin Road at the intersection of University

Boulevard, as required by the County and VDOT. Said improvements shall be constructed at the time the University Boulevard connection is made to Devlin Road.

- c. The Applicant shall be responsible for the design and installation of a traffic signal at the intersection of University Boulevard and Devlin Road, if required at the time University Boulevard is connected to Devlin Road, or any time prior to the build out of the Property, subject to a warrant study to be provided by the Applicant establishing the need and approval of the signal by VDOT, said signal to include preemptive and pedestrian equipment as required by the County.

11. Piney Branch Lane

- a. The Applicant shall reserve and dedicate, at no cost to Prince William County or VDOT, right of way across the frontage of the Property, from the intersection of Piney Branch Lane with Wellington Road to the entrance to the Property on Piney Branch Lane, up to a maximum of thirty-three feet (33') from the existing centerline of the road.
- b. Within existing right of way or right of way to be dedicated by the Applicant as set forth above, the Applicant shall construct Piney Branch Lane from Wellington Road, south to the entrance to Land Bay D. Said improvements shall be constructed to a CI-1 standard subject to such modifications as may be proposed by the Applicant at the time of final engineering and approved by the Prince William County Department of Transportation and/or VDOT. Said improvements shall be constructed at the time the first nonresidential building is constructed in Land Bay D and access is provided to Piney Branch Lane.
- c. The Applicant shall be responsible for the design and installation and/or modification of a traffic signal at the intersection of Wellington Road and Piney Branch Lane, if required at the time Land Bay D is developed, or any time prior to the build out of the Land Bay D, subject to a warrant study to be provided by the Applicant, establishing the need and approval of the signal by VDOT, said signal to include preemptive and pedestrian equipment as required by the County.

12. Eminent Domain

In the event the Applicant is not able to acquire off-site right of way required in order to provide the improvements identified in the above proffers for roads identified in the Comprehensive Plan, including any easements required for utilities, utility relocation and stormwater management for the road improvements, the Applicant shall request the County to acquire the right of way and easements by means of its condemnation powers at Applicant's expense. Applicant's request shall be in writing and shall comply in all respects with the County's Eminent Domain Policy. Said request shall be made to the appropriate County agency and shall be accompanied by the following:

- a. The names of the record owners, the property addresses, tax map parcel numbers

and GPIN numbers for each landowner from whom such right of way and/or easements are sought.

- b. Plats, plans and profiles showing the necessary right of way and/or easements to be acquired and showing the details of the proposed transportation improvements to be located on each such property.
- c. Pursuant to Virginia Code § 25.1-417, a determination of the value of the Property will be based on the following:
  - (i) If the assessed value is less than \$25,000, then the value shall be determined by assessment records or other objective evidence; or
  - (ii) If the assessed value is greater than \$25,000 an independent appraisal of the value of the right of way and easements to be acquired, and any and all damages to the residue of the involved property, said appraisal to be performed by an appraiser licensed in Virginia and approved by the County.
- d. A 60 year title search of each involved property.
- e. Documentation demonstrating to the County's satisfaction Applicant's good faith, best efforts to acquire the right of way and/or easements, at a cost of at least the appraised value of the involved property interests.
- f. A letter of credit acceptable to the County, cash or equivalent (from a financial institution acceptable to the County) in an amount equal to the appraised value of the property to be acquired, and all damages to the residue, together with an amount representing the County's estimate of its cost of condemnation proceedings, in a form permitting the County to draw upon the same as necessary to effectuate the purposes hereof.
- g. An Agreement signed by Applicant's representative and approved by the County Attorney whereby Applicant agrees to pay all costs of the condemnation, including expert witness fees, court costs, exhibit costs, court reporter fees, attorney fees for the Office of the County Attorney, and all other costs associated with the litigation, including appeals. The Agreement shall specifically provide that in the event the property owner is awarded in the condemnation suit more than the appraised value estimated by Applicant's appraiser, Applicant shall pay to the County the amount of the award in excess of the amount represented by the letter of credit or cash deposit within 15 days of the award.

In the event Prince William County does not acquire the right of way and/or easements in accordance with the above, the Applicant shall be relieved of the obligation to provide the improvement for which the right of way and/or easement is required.

13. In the event an intra-County bus system with scheduled routes, including stops at the Property or at the park and ride lot referenced in Proffer #14 below, is established prior to the approval of the subdivision plan for the 700<sup>th</sup> cumulative residential unit on the Property, the Applicant shall construct up to four (4) bus shelters (including concrete bus shelter pads) on the Property or at the said park and ride lot, the location of said shelters shall be determined in consultation with the Potomac and Rappahannock Transportation Commission (PRTC). The Applicant's obligation to construct each bus shelter shall be triggered upon receipt of a written request from the PRTC, or its successor, at the time service is to be provided in the area. The bus shelters shall be of a design in accordance with a PRTC bus shelter standard. In the event said bus shelters are not constructed or reflected on a final subdivision plan prior to the approval of the final subdivision plan that reflects the 700<sup>th</sup> cumulative residential unit on the Property, the Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$30,000 for each shelter not provided. Said contribution shall be paid for each such bus shelter not constructed or reflected on a site/subdivision plan prior to and as a condition of the approval of the site/subdivision plan for the 700<sup>th</sup> cumulative residential unit on the Property and shall be used for transit related services and facilities including, but not limited to, bus shelters, park and ride site work and/or facilities, bus service, bicycle racks and VRE facilities.
14. If requested by the County, the Applicant shall dedicate, and convey in fee simple, to the Prince William Board of County Supervisors, at no cost to the County, approximately 5.4 acres of land for use as a park-and-ride lot (construction by others) or such other public use as approved by the County and Applicant, said site being located as generally shown on the Public Use Sites Exhibit and identified as a "Park-n-Ride Site", which is also identified as a portion of GPINs 7496-19-4118 and 7497-10-2413. The Applicant shall tender a Special Warranty deed for the conveyance of the Park-n-Ride Site prior to or concurrent with the issuance of a building permit for the 225<sup>th</sup> cumulative residential unit on the Property.
15. Bicycle Racks
  - a. Subject to the approval of the Prince William County School Board, the Applicant shall provide bicycle racks, which can accommodate a minimum of twenty (20) bicycles, for use at the high school to be constructed in Land Bay F. The bicycle racks shall be provided when requested by the School Board staff.
  - b. The Applicant shall provide bicycle racks, which can accommodate a minimum of twenty (20) bicycles, to be used at the fields to be constructed in Land Bay B or the Off-Site Athletic Fields Site or at the park and ride facility on the Park-n-Ride Site. The bicycle racks shall be provided when requested by the County in conjunction with the development of the applicable site. The style of the bicycle racks shall be determined by the Applicant.

## COMMUNITY DESIGN

16. Development on the Property shall be in conformance with the design concepts and details set forth in the Design Guidelines. A Design Review Committee ("DRC") will be established to implement the Design Guidelines and said committee shall consist of a minimum of three members, which shall include a representative of the owner, and/or an architect, and/or a landscape architect and/or an engineer. The DRC shall be responsible for the review and approval of all plans for development on the Property to ensure that such plans are in conformance with the design concepts and details set forth in the Design Guidelines. Minor modifications to the Design Guidelines may be made at the time of final site/subdivision plan. More substantial modifications to the Design Guidelines may be approved by the DRC provided the overall concept and intent of the Design Guidelines is met and subject to approval of the Planning Office as follows: Prior to final approval by the DRC, each such modification to the Design Guidelines shall be forwarded to the Prince William County Planning Director, or his designee, who shall have twenty (20) business days from receipt of such modification to notify the DRC in writing that he has determined said modification to be substantially inconsistent with the Design Guidelines or zoning. The Planning Director's written determination shall include specific references to those portions of the Design Guidelines or conditions of the zoning which are the basis for such determination. The DRC shall not approve any such substantive amendment found to be inconsistent by the Planning Director. Failure of the Planning Director to provide such written notice shall automatically mean that he has determined such amendment to be substantially consistent with the Design Guidelines and the conditions of the zoning and the DRC shall be entitled to either approve or not approve said amendment in its sole discretion. In the event there is a conflict between the proffered conditions and the Design Guidelines, the proffers shall control.
17. Signage
  - a. Project identification ("Community Entry") signs shall be permitted at the primary entrances to the Property. Said signs shall be incorporated into the entrance feature and shall be of a design substantially as shown in the Design Guidelines or of an alternative design as approved by the Planning Director, or his designee. The Community Entry signs shall be landscaped and any lighting shall be low intensity and shall be shielded so that it does not shine upward beyond the height of the entry feature.
  - b. "Neighborhood Entry" signs shall be permitted at the entrance to each residential neighborhood and shall be of a design theme consistent with the Neighborhood Entry signs substantially as shown in the Design Guidelines or of an alternative design as approved by the Planning Director, or his designee.
  - c. All signs shall require sign permit approval in accordance with the requirements set forth in Section 250 of the Zoning Ordinance.
18. The Applicant shall remove any graffiti from nonresidential development on the Property. Graffiti shall be deemed any inscription or marking on walls, buildings or

structures not permitted by the sign regulations in Section 32-250.20 *et seq* of the Zoning Ordinance. Any graffiti is to be reported to the Prince William County Police Department before removal.

19. Amberleigh Station/Silver Leaf Subdivisions

- a. The Applicant shall provide a variable width buffer area having an average width of one hundred feet (100') adjacent to the common property boundary with the Amberleigh Station and Silver Leaf subdivisions, as said buffer area is generally shown on the Amberleigh Buffer Plan. A minimum of fifty feet (50') within said buffer area shall remain undisturbed except for supplemental plantings as may be needed to provide an overall average planting standard of 320 plant units per 100 linear feet utilizing both the existing and supplemental plantings. Within the 50' undisturbed portion of the buffer, the Applicant shall retain existing, good quality vegetation but may remove noxious vegetation (such as poison ivy) or dead/dying trees and vegetation. Portions of an existing access road may remain within the buffer area (but shall be located outside the undisturbed buffer area) as necessary to provide access to the existing stormwater management pond in the adjacent Silver Leaf subdivision.
- b. All residential lots in Land Bay J, as said land bay is identified on the Land Use Plan, located immediately adjacent to the adjoining subdivisions of Amberleigh Station and Silver Leaf, shall be single family detached lots of a minimum size of 10,000 square feet.

20. Lanier Farms Subdivision

- a. The Applicant shall provide a buffer area having a minimum width of fifty feet (50') adjacent to the common Property boundary with the Lanier Farms, Section 2, subdivision (GSIN 7496-85-1274) , as said buffer area is generally shown on the Open Space Plan. Said buffer shall be planted in accordance with the Type C buffer planting standard in the DCSM.
- b. All residential lots in Land Bay G, as said land bay is identified on the Land Use Plan, located immediately adjacent to the adjoining portion of the Lanier Farm, Section 2, subdivision (GSIN 7496-85-1274), shall be single family detached lots of a minimum size of 10,000 square feet.

21. The Applicant shall establish an association or multiple associations (residential and nonresidential) charged with responsibility to oversee the on-going management and maintenance of the Property, including landscaping and maintenance of common areas, signage located in common areas, community recreational facilities, private streets and, if appropriate, storm water management/BMP facilities installed by the Applicant if not otherwise maintained by the County in accordance with adopted policies, and/or shall cause all owners of parcels in Land Bays A and D to enter into or be subject to a recorded reciprocal agreement among the owners which shall address these same responsibilities.



22. The residential units in Land Bay I constructed in the southeast quadrant of the intersection of University Boulevard and Rollins Ford Road (in the area between the intersection of these two roads and the first intersection in each direction along said roads) that are located adjacent to University Boulevard or Rollins Ford Road shall orient the front of units on either University Boulevard or Rollins Ford Road.
23. Street trees shall be planted along both sides of all public streets on the Property, with the exception of Rollins Ford Road and University Boulevard, where landscaping shall be installed in accordance with Proffer #24 below. Said street trees shall be planted at a rate of one tree per fifty feet (50') and may be clustered at various locations along the streets for purposes of providing adequate sight distance and to avoid conflicts with utilities.
24. University Boulevard and Rollins Ford Road Buffers and Streetscape

Buffers and landscaping shall be provided along the University Boulevard and Rollins Ford Road frontages of the Property, excluding the University Boulevard frontages of Land Bays C and K (which shall remain in their natural condition) and the west side of Rollins Ford Road (which is not part of this rezoning) in accordance with the standards set forth in the Design Guidelines and the following:

- a. The east side of Rollins Ford Road between Linton Hall Road and University Boulevard and the south side of University Boulevard (excluding Land Bay K), as shown on the Buffer Plan, shall have a thirty foot (30') wide buffer located at the edge of the dedicated right of way. Within said buffer area, plantings shall be provided at a rate of 180 plant units per 100 linear feet (including the street trees to be located within the adjacent right of way) and all planting strips associated with the buffer shall be a minimum of six feet (6') in width. In locations where a berm is provided within said area, plantings may be reduced in accordance with the standard set forth in the DCSM.
  - b. The north side of University Boulevard (excluding Land Bay C) shall have a thirty foot (30') wide buffer located behind a fifteen foot (15') wide common shared utility easement at the edge of the dedicated right of way. Within said buffer area, plantings shall be provided at a rate of 180 plant units per 100 linear feet (including the street trees to be located within the adjacent right of way) and all planting strips associated with the buffer shall be a minimum of six feet (6') in width. In locations where a berm is provided within said area, plantings may be reduced in accordance with the standard set forth in the DCSM.
25. A minimum fifty foot (50') wide buffer shall be provided along the Linton Hall Road frontage of the Property. To the extent feasible, in consultation with the County Arborist, existing slopes along the frontage of Land Bays J and M shall be retained, and where existing slopes are not retained, the Applicant shall provide areas with 4'-6' berms along the frontage of said Land Bays. Said buffers shall be planted in accordance with the

Type C planting standard as set forth in the DCSM, including the use of existing vegetation.

26. Buffers shall be provided at the perimeter of the Property, as shown on the Buffer Plan, subject to such modifications as may be approved by the County at the time of final site/subdivision plan.

### **PARKS AND RECREATION**

27. If requested by the County, the Applicant shall dedicate, and convey in fee simple, to the Prince William Board of County Supervisors, at no cost to the County, approximately 125 acres of land, subject to all matters of record, for use as a linear park/open space/passive recreation purposes, trails, boardwalks, wildlife management structures, observation decks, informative signs, subject to right of way and easements necessary for Wellington Road and University Boulevard improvements and associated stormwater management and utilities, said land to be located in Land Bays C and K as said Land Bays are generally shown on the Land Use Plan. Prior to the issuance of a building permit for the 500<sup>th</sup> residential unit on the Property, the Applicant shall tender a Special Warranty deed for conveyance of the said property to the County.
28. If requested by the County and subject to obtaining approvals (as applicable) from Prince William County, the Virginia Department of Environmental Quality (DEQ) and the U.S. Army Corps of Engineers (COE), the Applicant shall construct an observation deck with a minimum size of 100 square feet within Land Bay C or K, as determined by the Applicant in consultation with the Department of Parks and Recreation, prior to the conveyance of the applicable land bay to the County. Maintenance of the observation deck shall be the responsibility of the fee owner of the property.
29. If requested by the County, the Applicant shall dedicate, and convey in fee simple, to the Prince William Board of County Supervisors, at no cost to the County, approximately 35 acres of land to be used for parks and recreation purposes or a middle school, said land to be located in Land Bay B, as said Land Bay is generally shown on the Land Use Plan ("On-Site Athletic Fields Site"). The final configuration of the On-Site Athletic Fields Site may be modified with County approval. The Applicant shall tender a Special Warranty deed for conveyance of the On-Site Athletic Fields Site in fee simple to the County prior to the issuance of a building permit for the 500<sup>th</sup> residential unit on the Property (or at such earlier time as may be required by Proffer #48 below).
30. If requested by the County, the Applicant shall dedicate, and convey in fee simple, to the Prince William Board of County Supervisors, at no cost to the County, approximately 19 acres of land identified as Off-Site Athletic Fields Site, in the location as generally shown on the Off-Site Public Use Sites Exhibit, said Off-Site Athletic Fields Site also being identified as portions of GPINs 7496-19-4118 and 7496-29-2826. The final configuration of the Off-Site Athletic Field Site may be modified with County approval. The Applicant shall tender a Special Warranty deed for conveyance of the Off-Site Athletic Fields Site in fee simple to the County prior to issuance of a building permit for the 500<sup>th</sup> residential unit on the Property.

31. The Applicant shall provide a primary and secondary recreation amenity area for the residential units on the Property, in the general locations shown on the MZP, except that the Applicant shall have the flexibility to relocate the secondary recreation amenity to Land Bay L or M. Collectively, the amenities shall include, at a minimum, two (2) swimming pools, a clubhouse with community meeting space/multi-purpose room, fitness room, two (2) courts, which may be tennis and/or multi-purpose, and two (2) tot lots. The location of the amenities shall be determined by the Applicant at the time the final site plan for each amenity area is submitted. The tot lots and courts may be located at the recreation amenity areas or at other locations within the community as determined by the Applicant. The two (2) swimming pools shall include one which will be a minimum 6-lane, 25 meter pool and a second, which may be smaller and of a "leisure pool" design. The tot lots shall include playground equipment and a bench (or benches), with the final equipment design to be determined at final site plan. A site plan for the 6-lane, 25 meter pool and a clubhouse shall be reflected on a final plan to be filed prior to or as a part of the final site/subdivision plan that results in the 350<sup>th</sup> cumulative residential unit on the Property and said facilities shall be constructed and available for use at the time a building permit is issued for the 500<sup>th</sup> residential unit on the Property. A site plan for the second pool and bathhouse shall be reflected on a final plan to be filed prior to or as a part of the final site/subdivision plan that results in the 500<sup>th</sup> cumulative residential unit on the Property and said facilities shall be constructed and available for use at the time a building permit is issued for the 750<sup>th</sup> residential unit on the Property.
  
32. The Applicant shall make available memberships for use of the recreational amenities referenced in Proffer #31 above to the residents of the Amberleigh Station, Silver Leaf and Lanier Farms subdivisions (identified with Prince William Geographic Subdivision Identification Numbers 7496-42-2652, 7496-42-2145, 7496-33-5084, 7496-34-9051, 7496-23-8164, 7496-33-9296, 7496-85-8138, 7496-85-1274 and 7496-84-4647). Said memberships shall be made available on an individual lot basis to all residents of these subdivisions through the respective homeowners associations for a minimum two year commitment at a time. There shall be no capital contribution for such memberships, however the annual membership fee may be more than is paid by the residents of Stone Haven (not to exceed 150% of the fee paid by Stone Haven residents), but will be determined based only on that portion of the Stone Haven residents' owners association fee associated with the recreational facility. The management and enforcement of this proffer obligation shall be the sole responsibility of the owners association established for the residential portion of the Property.
  
32. The Applicant shall provide a network of pedestrian facilities throughout the Property in accordance with the following:
  - a. The primary pedestrian facilities on the Property shall be provided as generally shown on the Transportation Plan and as further described in the Design Guidelines, and shall be constructed at the time of and as a part of each respective final subdivision/site plan.

- b. Neighborhood sidewalks or trails shall be provided on both sides of all subdivision streets within the residential neighborhoods on the Property (except for University Boulevard and Rollins Ford Road), unless otherwise waived or modified by the Prince William County Department of Transportation.
- c. A minimum ten foot (10') wide Class I shared use path shall be provided along one side of University Boulevard and Rollins Ford Road within the dedicated right of way as shown on the Transportation Plan. Construction of said trails shall occur at the time the adjacent road is constructed.
- d. A network of scenic community trails, consisting of approximately two (2) miles, shall be provided within Land Bays C and K, subject to approval by the County and issuance of any required local, state or federal permits. A conceptual layout depicting the general location of the open space trail network is shown on the Transportation Plan, with the final location to be determined based on more detailed engineering and design. The final plan for the trail improvements shall be subject to the review and approval of the County. Said trail network shall be subject to the following requirements:
  - (1) Trails shall be a minimum of six feet (6') in width;
  - (2) Existing trails/paths may be utilized but a reasonable effort will be made to locate the trails outside the limits of the existing 240' power line easement, as generally shown on the Transportation Plan, with the exception of crossings to provide trail connections into the land bays;
  - (3) Trails shall be natural surface to the extent reasonably possible;
  - (4) A minimum of six (6) trail connections into adjoining land bays shall be provided, one of which shall be provided to Land Bay B;
  - (5) The southern terminus of the trail in Land Bay K shall be extended south either through the Property or through off-site pedestrian access easements to provide for a connection to Linton Hall Road and the sidewalk to be constructed along Linton Hall Road in accordance with Proffer #9;
  - (6) The northern terminus of the trail in Land Bay C shall provide for a connection to Wellington Road provided the shared use path has been constructed along Wellington Road by the time the design of such trail is provided to the County for approval; and
  - (7) The trails shall be provided by the time a building permit is issued for the 500<sup>th</sup> residential unit on the Property and the deed is tendered to the County for the conveyance of Land Bays C and K.

- e. Subject to County approval, a pedestrian connection shall be provided from Land Bay M to the common property boundary with the adjacent neighborhood commercial development known as Bristow Commons, located at the intersection of Devlin Road and Linton Hall Road and identified with Prince William County GPINs 7496-50-8750 and 7496-60-1866. The exact location of said connection shall be determined at the time a final subdivision plan is submitted for that portion of the Property located adjacent to the said neighborhood retail center.
33. A minimum of seven (7) neighborhood parks shall be provided on the Property, the final location of which shall be determined by the Applicant at the time of Preliminary Plan. Said parks may consist of Tree Save Open Space Areas, as identified on the Open Space Plan, community greens, pocket parks and the like, provided each such park shall be a minimum area of 12,000 square feet.

### **ENVIRONMENTAL**

34. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$75.00 per acre to conduct water quality monitoring, stream restoration projects and/or drainage improvements. Said contribution shall be paid prior to and as a condition of the approval of each respective final site plan, based on the total acreage reflected on each site/subdivision plan.
35. Those areas identified on the Open Space Plan as Tree Save Open Space Areas shall be located in common areas owned and controlled by the owners association and shall remain substantially in their existing natural undisturbed condition except for the removal of noxious vegetation (such as poison ivy) or dead/dying trees and vegetation, invasive and/or exotic plant material and trash. A tree preservation plan for the trees located within each said area and identified on the Open Space Plan shall be prepared by a certified arborist and shall be submitted to the Prince William County Watershed Management Division for review. The tree preservation plan shall be in accordance with the Prince William County DCSM and shall be submitted for each such area with the first final plan impacting each such area.
36. Those areas identified on the Open Space Plan as Natural Open Space Areas shall remain in their natural undisturbed condition with the exception of clearing, grading and other land disturbing activity required for the installation and maintenance of the gravity sanitary sewer trunk line within Land Bays C and K as generally shown on the Utility Plan, pedestrian trails, the pedestrian connection to be provided in accordance with Proffer #32.e above, installation and maintenance of low impact development techniques as may be approved by the County and supplemental planting as approved by the County. The property owner shall have the right to prune and remove objectionable vegetation, such as poison ivy, poison oak, etc. as well as damaged and/or diseased vegetation.
37. The Applicant shall utilize, to the extent reasonably feasible, low impact development ("LID") techniques in combination with traditional stormwater management techniques to manage stormwater runoff. LID techniques may include, but shall not be limited to, bio-retention facilities, grass swales, sheet flow to conserved open space, infiltration

- trenches and permeable pavement. For purposes of ensuring coordination of final site/subdivision plans with the LID techniques, the Applicant shall have a preliminary meeting with representatives of the County (Department of Public Works, Watershed Management Branch) prior to the submission of the first final site/subdivision plan to determine the locations and specific techniques to be utilized, where feasible.
38. Prior to the approval of the first final site/subdivision plan for residential or nonresidential development on the Property, the Applicant shall prepare and submit for County review and approval a stormwater management master plan for the Property. Said plan shall show the general locations and sizes of proposed facilities. Upon approval of the said stormwater management master plan, each subsequent final site/subdivision plan shall incorporate the final design of the stormwater management facilities that implement the approved master plan for the drainage area covered by each such site/subdivision plan. For purposes of ensuring coordination of final site/subdivision plans with the master stormwater management plan, the Applicant shall have a preliminary meeting with representatives of the County (Department of Public Works, Watershed Management Branch) prior to the submission of each final site/subdivision plan. The approved stormwater management master plan may be amended, as needed, by mutual agreement between the Applicant and the County.
  39. The Applicant shall survey the areas identified in the memorandum to the Prince William County Department of Public Works, Watershed Management Branch, prepared by Wetland Studies and Solutions, Inc. and dated March 17, 2014 (being an approximately 1.5 acre area located within Land Bay F and an approximately 11 acre area located within the power line easement in Land Bay C) for purposes of determining whether the earleaf foxglove or stiff goldenrod exist on the Property. The results of the survey (which shall be performed during the appropriate time of the year) shall be provided to the Watershed Management Branch for review prior to the conveyance of each parcel to the County as set forth in these proffers.
  40. In the event the survey determines that the earleaf foxglove and/or stiff goldenrod are located in Land Bay F and/or Land Bay C, the Applicant shall provide a management plan for said plant species prior to the approval of the first site plan in each respective Land Bay, which management plan may include transplantation to appropriate habitat elsewhere on the Property, the development or management of other areas on the Property as habitat for these species, or preservation of the plant species as determined appropriate in consultation with the Prince William County Watershed Management Branch and the Virginia Virginia Department of Conservation and Recreation staff.
  41. The existing intermittent stream located in Land Bay F, identified as Intermittent Stream Buffer Area on the Open Space Plan, shall be preserved except for road/travelway crossings at the westernmost end of the stream and a crossing that may be provided for a pedestrian connection between fields at the high school. A fifty foot (50') wide buffer shall be provided on both sides of the stream. The property owner shall have the right to prune and remove objectionable vegetation, such as poison ivy, poison oak, etc. as well as damaged and/or diseased vegetation.

## **LIBRARIES**

42. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$812.00 per single family detached residential unit and \$805.00 per single family attached residential unit constructed on the Property to be used for library purposes. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each said unit constructed on the Property.

## **FIRE & RESCUE**

43. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$1,053.00 per single family detached residential unit and \$974.00 per single family attached residential unit constructed on the Property to be used for fire and rescue purposes. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each said residential unit constructed on the Property.
44. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$0.61 per square foot of nonresidential gfa, excluding parking structures, to be used for fire and rescue purposes. Said contribution shall be paid prior to and as a condition of the issuance of a building permit for each nonresidential building constructed on the Property and the amount paid shall be based on the gfa reflected on each building permit.

## **SCHOOLS**

45. The Applicant shall dedicate, and convey in fee simple, to the Prince William Board of County Supervisors, at no cost to the County, approximately 85 acres of land to the Prince William Board of County Supervisors for use as a high school, said site being identified as Land Bay F, as Land Bay F is generally shown on the Land Use Plan ("High School Site"). The Applicant may make minor changes to the proposed property lines of the High School Site in consultation with the Prince William County School Division staff. The Applicant shall tender a Special Warranty deed for conveyance of the High School Site in fee simple to the County within sixty (60) days of receipt of a written request from the County any time 30 days after Final Rezoning of the Property.
46. The Applicant shall provide, at no cost to the County or School Board, the following improvements for the High School Site: (i) the extension of public water and sanitary sewer to a point along the boundary of the High School Site to allow a connection of said utilities (excluding connection costs/tap fees), (ii) any necessary easements to allow for the extension of 3-phase electrical service to the high school (service connection to be provided by others), and (iii) vehicular access to the High School Site (collectively, the "High School Improvements"). The vehicular access to the High School Site shall be provided via the extension of a 4-lane section of University Boulevard and Rollins Ford Road along the frontage of Land Bay F to the entrances to the High School Site, as generally shown on the Transportation Plan.

47. Subject to the School Board confirmation that the high school is funded and the School Board is in a position to move forward with the construction of the high school, and subject to cooperation and coordination with the School Board, within nine (9) months of Final Rezoning, the Applicant shall file one or more public improvement plan(s) that include the High School Improvements, and shall pursue County and VDOT approval of said plan(s) in good faith and with due diligence. Upon County and VDOT approval of the public improvement plan(s), the Applicant shall commence construction of said improvements and thereafter pursue in good faith and with due diligence completion of said facilities.
48. In the event the County determines that (i) Land Bay B is to be used for a middle school and (ii) an alternative County controlled site is made available as a replacement for the "On-Site Athletic Fields Site", then the Applicant shall tender a Special Warranty deed for conveyance of said property in fee simple to the County within sixty (60) days of receipt of a written request from the County any time 30 days after Final Rezoning of the Property. The Applicant may make minor changes to the proposed property lines of said property in consultation with the Prince William County School Division staff.
49. Notwithstanding the above, any of the terms and conditions of the school site(s) conveyance as set forth above may be modified with the agreement of the Applicant, School Board and the Planning Director, or their respective designees.

#### **AFFORDABLE HOUSING**

50. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$250.00 per residential unit constructed on the Property to be used for the Housing Preservation and Development Fund. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each unit constructed on the Property.

#### **WATER AND SEWER**

51. The Property shall be served by public sanitary sewer and water and the Applicant shall be responsible for the costs and construction of those on and off-site improvements required in order to provide such service for the demand generated by the development on the Property.

#### **CULTURAL RESOURCES**

52. The existing cemetery on the Property shall be preserved in place. At the time a subdivision plan is submitted for that portion of Land Bay J depicted with the cemetery, as shown on the Land Use Plan, the Applicant shall provide a cemetery delineation and shall preserve the cemetery in accordance with the requirements set forth in the Zoning Ordinance. However, if the cemetery is located within the boundaries of Site 44PW1594, which is potentially eligible to the national Register of Historic Places, the Applicant or qualified professional archaeologist consultant shall consult with the County Archaeologist prior to the issuance of the first land disturbance permit for any portion of



the Property located within 300' of the cemetery to prepare a scope of work that does not adversely affect the archaeology site.

53. In the event the findings of the Phase I studies submitted to the County indicate that further investigation is warranted to justify a Phase II or Phase III investigation with reference to specific locations and/or resources on the Property, the Applicant shall conduct such Phase II and/or Phase III investigation in connection with such sites and resources to the extent that they are located on the Property and located in an area proposed to be disturbed in connection with development of the Property. Prior to the submission of the site/subdivision plan that includes any such significant site, the Applicant shall retain a qualified professional archeologist to conduct the Phase II evaluation and the scope of work shall be approved by the Planning Director or his designee. All reports shall be submitted to the County prior to the issuance of the first land disturbance permit in the area that includes any such significant site.
54. A mitigation plan shall be prepared for each site that has been determined to be significant as a result of a Phase II survey and is proposed to be disturbed in connection with development of the Property. The mitigation plan shall be submitted to the County for review and approval with the submission of the site/subdivision plan for any portion of the Property that includes any such significant site. Mitigation measures may include Phase III data recovery. Data recovery shall be carried out by a qualified archeologist and shall be approved by the Planning Director or his designee. All mitigation measures shall be completed prior to the issuance of the first land disturbance permit for any area that includes any such significant site.
55. Within one (1) year of "Final Rezoning", the Applicant shall curate with the County all artifacts, field records, laboratory records, photographic records, and other records recovered and produced as a result of the excavations undertaken in connection with the Phase I, Phase II and Phase III investigations completed to date which the Applicant has in its possession, including those artifacts recovered by Cultural Resources, Inc. in 2005 that were returned to the Applicant. Artifacts and records generated from excavations after the approval of this rezoning shall be curated with the County within three (3) months after approval of the final report for the specific area or site. All artifacts and records submitted for curation shall meet current professional standards and *The Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation*. The Applicant shall pay to the County a curation fee identical to VDHR's curation fee at the time of delivery to the County. Ownership of all records submitted for curation shall be transferred to the County with a letter of gift.
56. Prior to the submission of the first site/subdivision plan for those portions of the Property located within the study area limits as identified on the American Battlefield Protection Program Maps for the Second Battle of Manassas and the Manassas Station Operations, the Applicant shall submit a report to the County documenting the archival research on military activity that may have occurred on each such portion of the Property related to the respective battle, including a scope of work for metal detection, if applicable (to be approved by the Planning Director or his designee). In the event the archeological consultant recommends that metal detection is appropriate, the Applicant

shall provide metal detection for those area(s) recommended prior to the submission of the first site/subdivision plan in each such area, as appropriate, and submit a report of the findings to the County for review and approval. The County shall have 180 days from receipt of the report to complete its review, after which time the report shall be considered approved whereupon the Applicant shall have no further obligation with reference to this proffer.

57. The Applicant shall retain a qualified professional to write a popular history of the Property focusing on the inhabitants of the Property during the late 19<sup>th</sup> through the mid-20<sup>th</sup> centuries. The scope of work shall be approved by the Planning Director, or designee. A draft of the popular history shall be submitted to the Planning Office for review, comment, and approval, within one year of approval of the first residential final site/subdivision plan for the Property. The County shall have 180 days from receipt of the report to complete its review, after which time the report shall be considered approved whereupon the Applicant shall have no further obligation with reference to this proffer. All final products shall be made available to Prince William County for its use and distribution.
58. If not disturbed in connection with the development of the Property, the Applicant/owner and successors in title shall permit, for a period of ten (10) years from the date of Final Rezoning, the County Archaeologist, or his designee, to conduct archaeological research on sites 44PW1588 (subject to the restrictions set forth in proffer #19.a), 44PW1589, 44PW1592, 44PW1594 and 44PW1597. Any research data and artifacts recovered from such sites shall become the property of the County.

#### **MISCELLANEOUS**

59. In the event the monetary contributions set forth in the Proffer Statement are paid to the Prince William County Board of County Supervisors ("Board") within eighteen (18) months of the approval of this rezoning, as applied for by the Applicant, said contributions shall be in the amounts as stated herein. Any monetary contributions set forth in this Proffer Statement which are paid to the Board after eighteen (18) months following the approval of this rezoning shall be adjusted in accordance with the Urban Consumer Price Index ("CPI-U") published by the United States Department of Labor, such that at the time contributions are paid they shall be adjusted by the percentage change in the CPI-U from that date eighteen (18) months after the approval of this rezoning to the most recently available CPI-U to the date the contributions are paid, subject to a cap of 6 percent (6%) per year, noncompounded.
60. The Applicant reserves the right to retain (or obtain at no cost in the future) necessary temporary and permanent grading, slope, construction, utility, signage, drainage, stormwater management, access easements or such other development easements and public road right of way on all public use parcels which are dedicated to Prince William County, provided said easements and right of way do not in substance preclude development or use of the property for the intended public purpose. Additionally, the Applicant may use Land Bay F for temporary construction equipment storage and/or dirt stockpiling until such time that the County and/or School Board notifies the Applicant

that the first site disturbance permit is issued for Land Bay F, at which time the Applicant shall remove any such items within a reasonable period of time.

61. Acceptance and approval of this rezoning application by the Board of County Supervisors authorizes the location and provision of those public uses and facilities referenced on the MZP and/or in this Proffer Statement, the extension and construction of water and sewer lines, any phone, electric, cable and gas facilities and facilities, trails and roads necessary to serve this Property pursuant to the Virginia Code §15.2-2232 and the Prince William County Code §32-201.11 as being in substantial accord with Prince William County's adopted Comprehensive Plan. The general area and location for these uses and facilities, including the school and public use sites, are as shown on the MZP and referenced in the proffers with the exact locations to be determined based on final engineering and as approved by Prince William County. Acceptance of this proffer constitutes approval of the public uses and facilities and their general locations and thereby excepts said uses and facilities from further Comprehensive Plan conformity review, except that the use of Land Bay B as a middle school shall not be exempt from Comprehensive Plan conformity review and shall be subject to a further review pursuant to the Virginia Code §15.2-2232 and the Prince William County Code §32-201.11.

#### **WAIVERS/MODIFICATIONS**

62. Waivers and modification
  - a. Modification of Sections 250.30, 250.31, 250.32, 306.12(4) and 404.04.5 of the Zoning Ordinance and Sections 802.10, 802.11, 802.12 and 802.48 of the Prince William County Design and Construction Standards Manual (DCSM) to waive all internal buffers between uses within the Property and to waive/modify the Planned Business District (PBD) perimeter buffer as shown on the Buffer Plan.
  - b. Modification of Section 306.20.2 of the Zoning Ordinance to allow less than thirty percent (30%) of the total area of the Planned Mixed Residential (PMR) District to be provided as open space, but achieve a minimum of thirty-five percent (35%) open space overall on the Property (including both the Planned Mixed Residential and Planned Business Districts).
  - c. Waiver of Section 306.21 of the Zoning Ordinance to allow the elimination of the nonresidential secondary use requirement within the PMR District.
  - d. Pursuant to Section 700.25 of the Zoning Ordinance, modification of the PMR use regulations to allow community operated clubhouses, swimming pools and other recreational facilities on the Property for use of the residents of the development and others residing outside the development without the need for a special use permit.
  - e. Modification of Section 306.12 of the Zoning Ordinance to allow the new housing types and associated development standards as set forth in the Design Guidelines,

the unit types permitted in the PMR based on the respective land bay designations and/or any other modified housing type as may be approved by the Zoning Administrator.

- f. Pursuant to Section 250.23.1 of the Zoning Ordinance, modification of Section 250.21 of the Zoning Ordinance to permit "Community Entry" and "Neighborhood Entry" signage as set forth in Proffer #17 and the Design Guidelines.



# COUNTY OF PRINCE WILLIAM

OFFICE OF EXECUTIVE MANAGEMENT

1 County Complex Court, Prince William, Virginia 22192-9201

(703) 792-6600 METRO 631-1703 FAX: (703) 792-7484

BOARD OF COUNTY SUPERVISORS

Corey A. Stewart, Chairman

Maureen S. Caddigan, Vice Chairman

Pete Candland

John D. Jenkins

Michael C. May

Martin E. Nohe

Frank J. Principi

Melissa S. Peacor  
County Executive

December 2, 2015

**TO:** Board of County Supervisors

**FROM:** Christopher M. Price, AICP  
Director of Planning *amm*

**THRU:** Melissa S. Peacor  
County Executive

**RE:** Rezoning #PLN2014-00127, Stone Haven  
**Brentsville Magisterial District**

**I. Background is as follows:**

- A. Request - This is a request to rezone +/- 717.9 acres from A-1, Agricultural to PMR, Planned Mixed Residential, and PBD, Planned Business District. The proposal is to permit development of up to 1,006 residential units consisting of single family detached (SFD) and townhouse units and a maximum of 1,124,175 square feet of office/flex/light industrial development. The proposal will rezone approximately 281.5 acres from A-1, Agricultural to PBD, Planned Business District, and +/- 436.4 acres from A-1 to PMR, Planned Mixed Residential. This request is associated with CPA #PLN2013-00186, Stone Haven.

<b>Stone Haven</b>	<b>Proposed / Site Details</b>
<b>Project Area</b>	717.9 acres & 24 acres (off-site area)
<b>Number of Dwelling Units</b>	Maximum 1,006 residential units (of that total, the maximum number townhouses - 301)
<b>Density (residential landbays)</b>	+/-2.58 du/ac.
<b>Residential landbay/acres – Designated MDR &amp; LDR</b>	+/-389.4 (LB – G, I, J, L & M)
<b>Community Amenities</b>	- Two community parks with trail network - Two community recreation centers (clubhouse, pools, courts, tot lots) -Seven neighborhood parks (min. 12,000 SF each)
<b>Nonresidential floor area</b>	1,124,175 sq. ft.

<b>Nonresidential landbay/acres – Designated O(F) / M-2</b>	+/-72.6 (LB – A & D)
<b>Transportation Improvements</b>	Two Comprehensive Plan roads, pedestrian facilities, bus shelters, etc.
<b>Land Dedication – Designated P/OS</b>	
<b>School Site(s)</b>	+/-93.3 acres - High School & improvements (LB – F)
<b>Public Use Facilities</b>	+/-35 acres - Active recreation or middle school (LB – B)
<b>Parks</b>	+/-127.6 Recreation/Linear Park (LB – C & K)
<b>On-site: Total land dedication (Open Space &amp; Public Use Sites)</b>	<b><u>+/-255.9 acres</u></b>
<b>Off-Site Facilities</b>	+/-5 acres – Park-n-ride commuter parking lot +/-19 acres – Active recreation/Athletic fields
<b><u>On-site &amp; Off-site: Total land dedication</u></b>	<b>+/-255.9 acres + +/-24 acres = <u>279.9 acres</u></b>

- B. Site Location - The site is located on the south side of Wellington Rd., west of Devlin Rd., and north and east of Linton Hall Rd (see maps in Attachment A). The site is identified on County maps as GPINs 7496-65-4921, 7496-37-4872(pt), and 7496-35-1841(pt). The referenced off-site area is identified on County maps as GPINs 7496-19-4118(pt) and 7496-29-2826(pt).
- C. Comprehensive Plan - The site is designated SRL, Suburban Residential Low, FEC, Flexible Use Employment Center, and ER, Environmental Resource. There is a companion Comprehensive Plan Amendment (CPA #PLN2013-00186, Stone Haven).
- D. Zoning –The site is zoned A-1, Agricultural, in its entirety. The property is located in the Airport Safety Overlay District (ASOD).
- E. Surrounding Land Uses - The site is currently undeveloped except for an electric transmission line traversing the site from north to south just east of Piney Branch. Along the north end of the property, the adjacent land uses consist of heavy and light industrial uses, office and vacant lots. The Jiffy Lube Live event center property is located to the northwest of the site. Properties to the east of the property largely

consist of single family detached residential development. On the northeast side of the property, along Wellington Rd., there are a number of industrial and office/flex uses. Chris Yung Elementary School is also located on the east side of the property adjacent to the existing Lanier Farms residential development. On the south side of the property, the existing development is predominantly residential, consisting of single family detached and townhouse units. There are also two elementary schools in the area to the south and west of the site (Bristow Run Elementary and Piney Branch Elementary, respectively). Bristow Commons Shopping Center, a neighborhood-serving commercial property consisting of a retail & retail service uses and secondary office uses, is located to the south of site at the corner of Linton Hall Rd. and Devlin Rd. To the west, the property is bordered by vacant agricultural and industrial zoned properties. Further to the west, there is a datacenter use, two religious institutions, and the Gainesville Middle School property.

**II. Current Situation is as follows:**

A. Planning Commission Recommendation - The Planning Commission recommends approval of the Rezoning #PLN2014-00127, Stone Haven, subject to the proffers dated August 6, 2014, with the following recommended changes:

- The applicant is requesting to modify the performance standards of the PMR zoning district to allow a minimum setback of 5 ft. The Planning Commission expressed concern about this modification particularly in regards to fire safety, and recommends that the applicant revise the proffers to eliminate proffer 66.f, thereby requiring a minimum 10 ft. side yard setback. **The applicant has responded by revising the proffers to remove this modification request. The minimum building setbacks and side yards will be provided in accordance with the Zoning Ordinance.**
- The applicant works to address sound mitigation, with respect to the property's proximity to Jiffy Lube Live. At the Planning Commission hearing, the applicant said that they do not believe the construction of Stone Haven will result in an increase of noise for existing residential development in the area. **However, as of the date of this report, the Planning Commission's recommendation remains unaddressed.**
- The applicant revises the proffers to include phasing language for the timing of construction of the two community recreation amenities. **The applicant responded with triggers requiring completion of the primary facility by the 751<sup>st</sup> building permit and completion of the secondary facility by the 1,250<sup>th</sup> building permit. However, the project has since been revised to reduce the overall number units to 1,006. As such, the trigger for completion has also been amended.**
- The applicant provides clarification that the open space provided with the project is in conformance with County standards. The open space provided with the project is consistent with the definition of open space in the Zoning Ordinance. The Zoning Ordinance describes open space as follows:

*Open space shall mean the area within the boundaries of a development that is intended to provide light, air, view and/or a quality or general appearance of openness, and is designed for scenic, recreational, privacy, or environmental purposes. In general, open space shall be available for entry on and use by the residents of the development within which the open space is located, but may include areas designed to enhance aesthetic amenities, maintain property values and buffer incompatible uses by preserving natural features and providing landscaping or screening for the benefit of such residents or residents of neighboring areas. Open space may include, but shall not be limited to, lawns; decorative plantings; walkways and trails; active and passive recreation areas, such as tot lots, including permitted principal and accessory uses; undisturbed natural areas; wooded areas; natural creeks, streams, lakes and similar water features; manmade lakes designed to be an attractive development amenity but which may be used for storm water management; storm water management dry ponds which are landscaped or contain existing trees; and areas where buffering, landscaping or screening are required by this chapter.*

See Attachment B for the staff analysis and Attachment C for the revised proffers, dated November 2, 2015.

- B. Planning Office Recommendation – The Planning Office concurs with the recommendation of approval for the Rezoning #PLN2014-00127, Stone Haven, subject to the proffers revised dated November 2, 2015, for the following reasons:
- The proposed Master Zoning Plan is intended to implement the Stone Haven Study that was initiated by the Board and developed through a citizen input process. Stakeholders concerns were identified through the community planning process and addressed in the rezoning.
  - Generally, residential, office/flex, light industrial and open space areas are located on the property in conformance with the Stone Haven Study.
  - The proposal allows for compatible uses within the property and provides uses consistent with existing adjacent uses. The proposed residential density is consistent with surrounding residential development along Linton Hall Rd. and Devlin Rd.
  - The proposal includes the construction of two minor arterial road sections identified in the Comprehensive Plan. The construction of Rollins Ford Rd. and University Blvd. through the property and through the referenced off site area, will provide key links and connections within the area and for the region.
  - The proposal includes the dedication of two potential school sites. A high school site will be dedicated as proffered, and a middle school site will be provided if requested by the School Board and approved through a public facility review.
  - Open space will be provided at a minimum of 35% of the project area, including both active and passive recreation areas to be dedicated the county.
  - The proffered Design Guidelines depict high quality architectural form and provide overall community design principles for the project.



- C. Board of County Supervisors Public Hearing - A public hearing before the Board of County Supervisors was held on October 7, 2014. At the hearing, the Board deferred action on the case to a date certain of January 20, 2015 and the public hearing was left open. At the January 13, 2015 Board of County Supervisors public meeting, the Board approved a resolution to defer the Stone Haven CPA and REZ cases from the January 20, 2015 hearing agenda to a date uncertain.

Since the Board's deferral of the request, the applicant has revised the project as follows:

- Overall project area reduced from 864.2 acres to 717.9 acres. This reduction includes the removal of the following portions of the project:
  - o Landbay E - +/-39.7 acre Village Center commercial/retail center
  - o Landbay H – +/-25.4 acres designated as Parks and Open space
  - o Landbay I (part) – +/-53.3 acres of landbay I designated for medium density residential development
  - o Landbay J (part) – +/-27.6 acres of landbay J designated for low density residential
- Maximum number of units reduced from 1,650 to 1,006. This results a reduction in the number of maximum number of townhouse units from 775 to 301. If the property develops with the maximum number of townhouse units permitted, the allowable number of single family detached units is 705.
- Residential unit types limited to single family detached and townhouse units only. The potential for 164 two-over-two townhouse style multifamily units has been removed from the project details.
- Overall residential density is reduced from 3.3 dwelling units per acre to 2.58 dwelling units per acre.
- Increased the area of nonresidential office/flex/light industrial uses in landbays along Wellington Rd. This resulted in an increase in the maximum gross floor area for nonresidential development from 1,062,735 SF to 1,124,175 SF.
- Reduction in the scope of proffered construction commitments for Rollins Ford Rd. and University Blvd. Previously the transportation improvements included full construction (4-lanes) of both roads throughout the property and off-site as shown on the plan. The revised proffers include construction of the same length of roadway, but providing a ½ section (2-lanes).
- Increased pedestrian connectivity with existing commercial/retail development at the intersection of Devlin Rd. and Linton Hall Rd. (Bristow Commons Retail center).

**III. Issues** in order of importance are as follows:

A. Comprehensive Plan

1. Long-Range Land Use - Is the proposed use consistent with those uses intended by the Stone Haven Study?
2. Level of Service (LOS) - How does the proposal address the Policy Guide for Monetary Contributions in effect July 1, 2014?

B. Community Input - Have members of the community raised any issues?

C. Other Jurisdictional Comments - Have other jurisdictions raised any issues?

D. Legal Uses of the Property - What uses are allowed on the property? How are legal issues resulting from the Board of County Supervisors action addressed?

E. Timing – When must the Board of County Supervisors take action on this application?

**IV. Alternatives** beginning with the staff recommendation are as follows:

A. Approve Rezoning #PLN2014-00127, Stone Haven, subject to the proffers dated November 2, 2015, found in Attachment C.

1. Comprehensive Plan Consistency Analysis:

- a) Long-Range Land Use - The Stone Haven Master Zoning Plan is generally consistent with the Stone Haven Study that was initiated by the Board and developed through a citizen input process. The applicant has proposed a maximum of 1,006 residential units and 1,124,175 sq. ft. of nonresidential (Office/flex/light industrial) development. The landbays allow for uses consistent with the Stone Haven Study and surrounding uses.
- b) Level of Service (LOS) – The applicant updated the proffered monetary contributions to conform to the 2014 policy guide for monetary contributions. The level of service impacts related to the request would be mitigated by the proffered monetary contributions as follows:

<b>Category: Monetary Proffers (2014 LOS)</b>	<b>Single family - 705 units</b>	<b>Townhouse - 301 units</b>	<b>Nonresidential – 1,124,175 SF</b>	<b>Total</b>
Fire and Rescue	\$1,053 per unit = \$742,365	\$974 per unit = \$293,174	\$0.61/sq. ft. = \$685,746.75	\$1,721,285.75
Libraries	\$812 per unit = \$572,460	\$805.00 per unit = \$242,305	N/A	\$814,765.00
Housing	\$250 per unit = \$176,250	\$250.00 per unit = \$75,250	N/A	\$251,500.00
Water Quality	\$75 per acre	717.9 acres	N/A	\$53,842.50
<b>Total</b>				<b>\$2,841,393.25</b>

<b>Category: Nonmonetary Proffers</b>	<b>2014 LOS Single family – 705 units</b>	<b>2014 LOS Townhouse – 301 units</b>	<b>2014 LOS Total</b>	<b>Proffered Improvement &amp; Land Dedicated</b>	<b>Estimated Value of Proffers</b>
Parks and Recreation	\$5,591 per unit = \$3,941,655	\$5,144 per unit = \$1,548,344	\$5,489,999	160 acres passive & active recreation (trails & ball fields) 19 acre active recreation (off-site)	\$28,031,837
Schools	\$20,694 per unit = \$14,589,270	\$17,489 per unit = \$5,264,189	\$19,853,459	93.3 acres high school site & associated infrastructure (85 acres w/ROW dedication)	\$24,250,000
Transportation	\$16,780 per unit = \$11,829,900	\$15,425 per unit = \$4,642,925	\$16,472,825	Two Comprehensive Plan roads (portion credit), pedestrian facilities, bus shelters, etc.	\$18,462,406
<b>Total</b>			<b>\$41,816,283.00</b>		<b>\$70,744,243.00</b>
<b>Total Proffer Value</b>	<b>\$70,744,243.00 + \$2,841,393.25 = \$73,585,636.25</b>				

Notes: Actual dedicated acreage amounts may be reduced for road dedication and construction.

Dominion transmission line easement traverses the property east of Piney Branch within Passive Recreation area. RPA & Floodplain assessed at 50% developable land value.

2. Community Input - The application has been transmitted to adjacent property owners within 200 feet. As of the date of this report, the Planning Office has received multiple phone calls and emails from citizens with general questions and concerns about the proposal. The public response has indicated a strong public interest for the proposal. At the Planning Commission meeting, citizens spoke sharing comments on the proposal with the majority of the speakers being in support of the project. Some of the concerns expressed by citizens that were not in support include; number of residential units, traffic concerns, impacts to schools, modification of performance standards, sound mitigation, quality of open space, and construction timing for community recreation amenities. In addition, there was a concern regarding the lack of nonresidential phasing for the project. Citizens that spoke in support of the project largely focused on the compatibility of proposed uses with existing land uses, proffered public use sites, active and passive recreation areas,

construction of new roads, and proposed school site(s). At the Board of County Supervisors public hearing, similar issues were raised and a significant amount of testimony both in support of and in opposition to the proposal was presented.

3. Other Jurisdictional Comments - The project area is outside the required notification area of nearby jurisdictions.
4. Legal Uses of the Property – The property could be developed pursuant to the proffers associated with this rezoning with uses permitted in the PMR & PBD zoning districts. Legal issues resulting from Board of County Supervisors action are appropriately addressed by the County Attorney’s office.
5. Timing - The Board of County Supervisors generally has one year from the date of acceptance to take action on a rezoning request. The one year time frame from the date the rezoning was accepted ended on October 28, 2014. However, the applicant made a considerable revision to the request on August 11, 2015, which technically reset the one year time frame to August 11, 2016. Approval of the rezoning would meet this one-year requirement.

B. Deny Rezoning #PLN2014-00127, Stone Haven.

1. Comprehensive Plan

- a) Long-Range Land Use - If the application is denied, the land use designation of the site would remain SRL, Suburban Residential Low, FEC, Flexible Use Employment Center, and ER, Environmental Resource, and the zoning classification would remain A-1, Agricultural.
- b) Level of Service - Denial would not have any impact on the existing level of service.

2. Community Input - The application has been transmitted to adjacent property owners within 200 feet. As of the date of this report, the Planning Office has received multiple phone calls and emails from citizens with general questions and concerns about the proposal. The public response has indicated a strong public interest for the proposal. At the Planning Commission meeting, citizens spoke sharing comments on the proposal with the majority of the speakers being in support of the project. Some of the concerns expressed by citizens that were not in support include; number of residential units, traffic concerns, impacts to schools, modification of performance standards, sound mitigation, quality of open space, and construction timing for community recreation amenities. In addition, there was a concern regarding the lack of nonresidential phasing for the project. Citizens that spoke in support of the project largely focused on the compatibility of proposed uses with existing land uses, proffered public use sites, active and passive recreation areas, construction of new roads, and proposed school site(s). At the Board of County Supervisors public hearing, similar issues were raised. At the Board

of County Supervisors public hearing, similar issues were raised and a significant amount of testimony both in support of and in opposition to the proposal was presented.

2. Other Jurisdictional Comments - The project area is outside the required notification area of nearby jurisdictions.
3. Legal Uses of the Property – The rezoning site could be developed with uses permitted in the A-1 zoning district. Legal issues resulting from Board of County Supervisors action are appropriately addressed by the County Attorney’s office.
4. Timing - The Board of County Supervisors generally has one year from the date of acceptance to take action on a rezoning request. The one year time frame from the date the rezoning was accepted ended on October 28, 2014. However, the applicant made a considerable revision to the request on August 11, 2015, which technically reset the one year time to August 11, 2016. Denial of the rezoning would meet this one-year requirement.

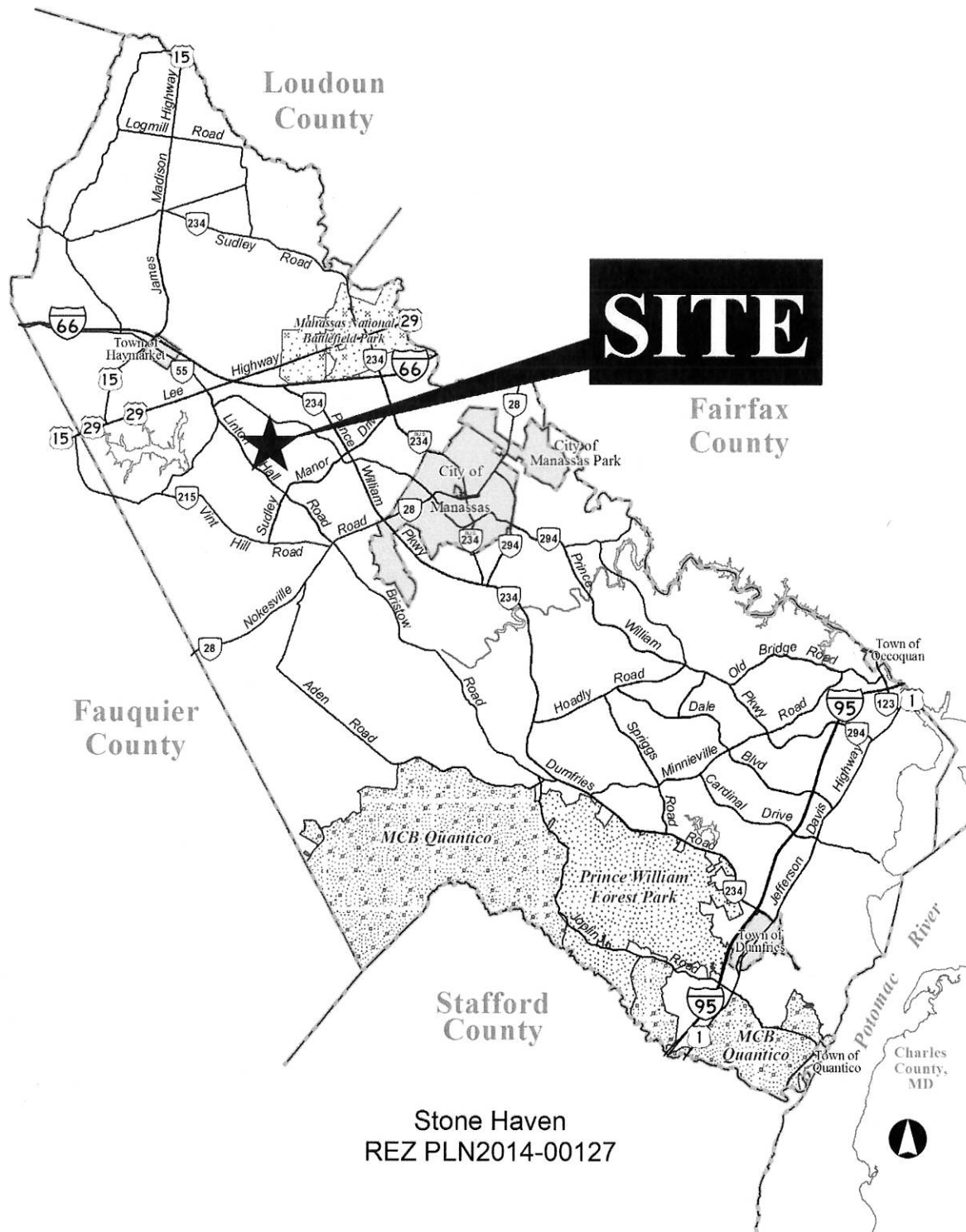
V. **Recommendation** is that the Board of County Supervisors concurs with Alternative A and approves the attached Ordinance.

**Staff:** Stephen L. Donohoe, X5282

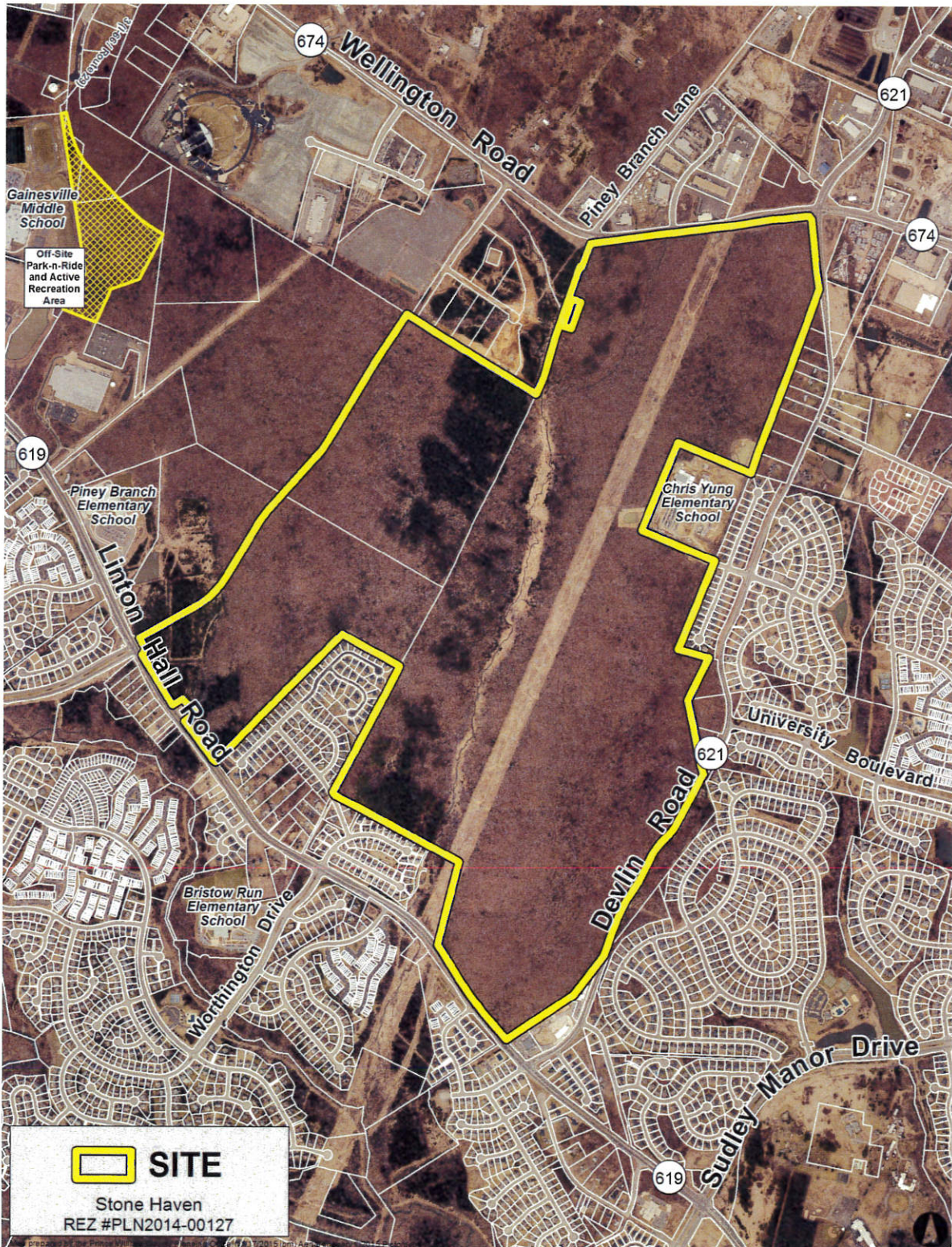
**Attachments**

- A. Area Maps
- B. Staff Analysis
- C. GDP
- D. Stone Haven Design Guidelines
- E. Off-Site Public Use Sites Exhibit
- F. Amberleigh Station/Silver Leaf Buffer Exhibit
- G. Environmental Constraints Analysis
- H. Historical Commission Resolution
- I. Planning Commission Resolution

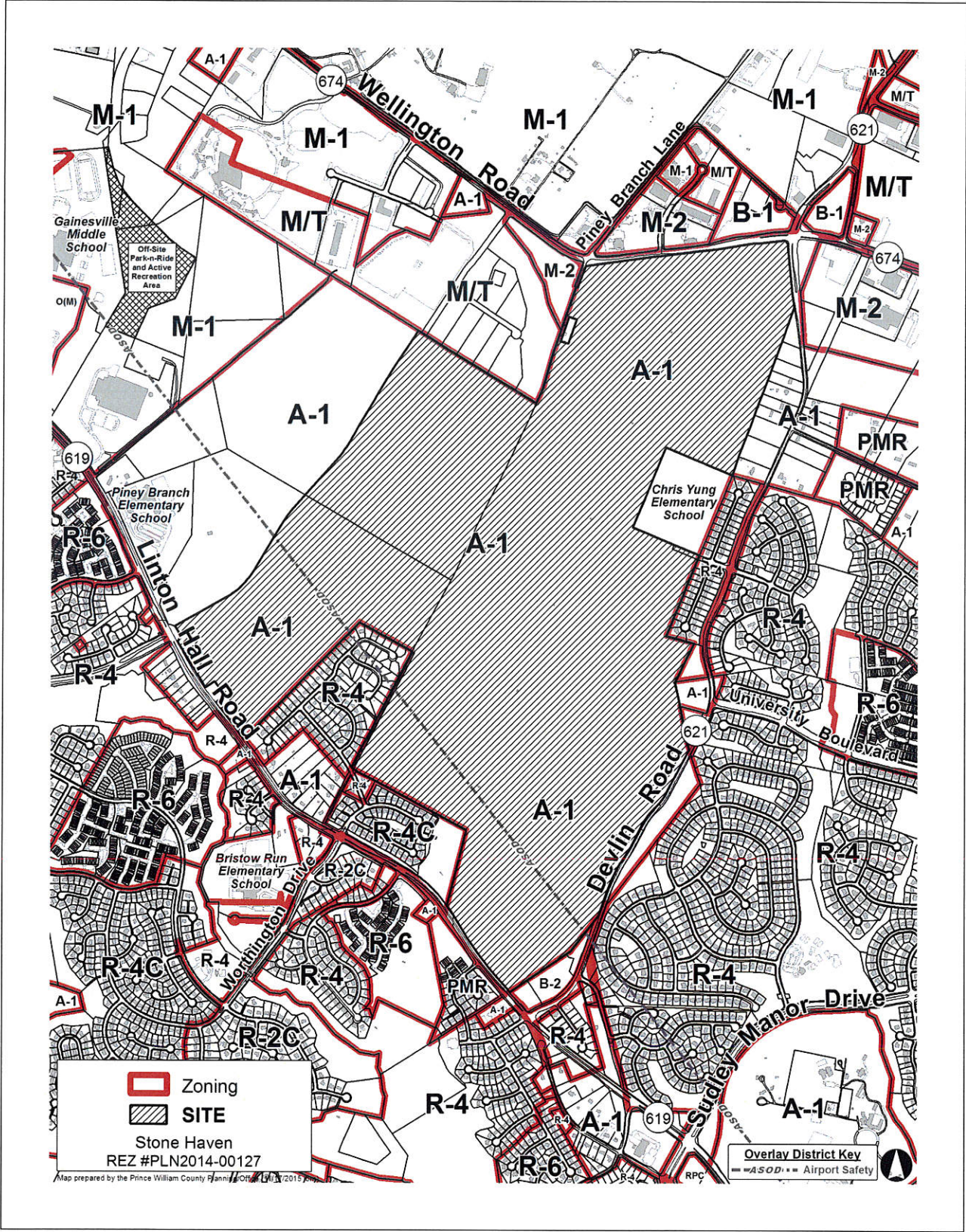
Attachment A – Maps  
VICINITY MAP



Attachment A – Maps  
AERIAL MAP

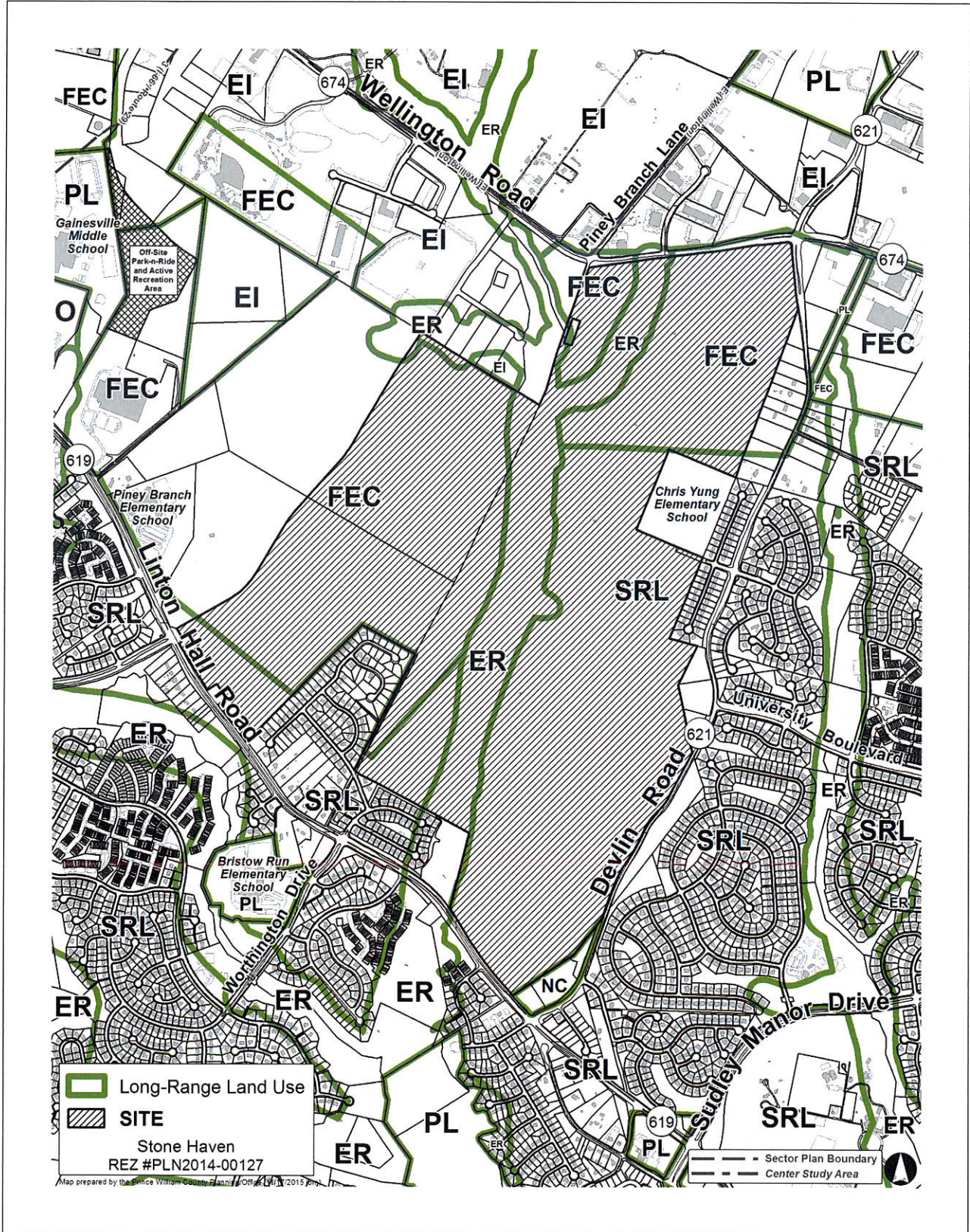


# Attachment A – Maps EXISTING ZONING MAP





# Attachment A – Maps LONG-RANGE LAND USE MAP



**Part I. Summary of Comprehensive Plan Consistency**

**Staff Recommendation: Approval**

This analysis is based on the relevant Comprehensive Plan action strategies, goals, and policies. A complete analysis is provided in Part II of this report.

<b>Comprehensive Plan Sections</b>	<b>Plan Consistency</b>
Long-Range Land Use	Yes
Community Design	Yes
Cultural Resources	Yes
Environment	Yes
Fire and Rescue	Yes
Housing	Yes
Libraries	Yes
Parks, Open Space and Trails	Yes
Police	Yes
Potable Water	Yes
Sanitary Sewer	Yes
Schools	Yes
Transportation	Yes

<b>Part II. Comprehensive Plan Consistency Analysis</b>
---

The following table summarizes the area characteristics (see maps in Attachment A):

Direction	Land Use	Long Range Future Land Use Map Designation	Zoning
North	Jiffy Lube Live Event Center, Heavy and light industrial uses, office & office-flex, vacant lots	EI	M/T, M-2, M-1, B-1, A-1
South	Single family detached dwellings, townhouses, pharmacy, retail, child care facility	SRL, PL, NC & ER	R-4, R-4C, R-6, PMR, A-1 & B-2
East	Chris Yung Elementary School, Single family detached dwellings, industrial uses (commercial storage, warehousing, wholesaling, etc.) & office/flex	SRL, FEC & ER	R-4, M-2, A-1
West	Piney Branch Elementary School, Office/flex, data center, religious institutions, Gainesville Middle School & vacant lots	FEC, EI & PL	M-1, M/T, O(M)

**Long-Range Land Use Plan Analysis**

Through wise land use planning, the County ensures that landowners are provided a reasonable use of their land while the County is able to judiciously use its resources to provide the services for residents and employers' needs. The Long Range Land Use Plan sets out policies and action strategies that further the County's goal of concentrating population, jobs, and infrastructure within vibrant, walkable, mixed-use centers serviced by transit. In addition to delineating land uses on the Long Range Land Use Map, the plan includes smart growth principles that promote a countywide pattern of land use that encourages fiscally sound development and achieves a high-quality living environment; promotes distinct centers of commerce and centers of community; complements and respects our cultural and natural resources, and preserves historic landscapes and site-specific cultural resources; provides adequate recreational, park, open space and trail amenities that contribute to a high quality of life for county residents; and revitalizes, protects, and preserves existing neighborhoods.

## Attachment B - Staff Analysis

This site is located within the development area of the County and is classified SRL, Suburban Residential Low, FEC, Flexible Use Employment Center, and ER, Environmental Resource. If the companion CPA request is approved, the property will be subject to the Stone Haven Study plan and accompanying Stone Haven Study map. The following table summarizes the uses and densities intended within the SRL, FEC and ER designations and the proposed Stone Haven Study:

### Existing Long Range Land Use Designation:

Long-Range Land Use Plan Classification	Land Uses Intended
<p><b>Suburban Residential Low (SRL)</b>  (Existing)</p>	<p>The purpose of the Suburban Residential Low classification is to provide for housing opportunities at a low suburban density. The housing type in this classification is single-family detached, but up to 25 percent of the total land area may be single-family attached. The density range in SRL projects is 1-4 units per gross acre, less the ER-, Environmental Resource-designated portion of a property. Cluster housing and the use of the planned unit development concept may occur, provided that such clustering and planned district development furthers valuable environmental objectives as stated in EN-Policy 1 and EN-Policy 4 of the Environment Plan, the intent stated in the Cultural Resources Plan and preserves valuable cultural resources throughout the county.</p>
<p><b>Flexible Use Employment Center (FEC)</b>  (Existing)</p>	<p>The purpose of the Flexible Use Employment Center classification is to provide for areas of employment uses situated on individual sites or in campus-style “parks.” Primary uses in the FEC classification are light manufacturing, “start-up” businesses, small assembly businesses, and office uses (including government offices, particularly those for Prince William County agencies). Retail and/or retail service uses shall be considered secondary uses and shall represent no greater than 25 percent of the total FEC gross floor area of the project. These retail/retail service uses shall be so located on a site that their primary purpose is to support the needs of those employed within that FEC project. Warehousing, wholesale, storage and/or distribution uses shall also be considered secondary uses within any FEC project. Outdoor storage shall also be considered a secondary use and shall be limited to no more than 25 percent of the land area of the FEC project. Within an FEC-designated project, the more intense uses shall be located in the core of the area and the less intense uses (excluding outdoor storage) at the periphery, to act as a transition between the FEC project and adjacent areas designated or developed for different uses. Office development in FEC areas is encouraged to be in accordance with the <i>Illustrative Guidelines for Office Development</i>, provided as a supplement to the Community Design Plan chapter of the Comprehensive Plan and available from the Planning Office.</p>

<p><b>Environmental Resource (ER)</b>  <b>(Existing)</b></p>	<p>This classification is explained in detail within the Environment Plan. Therein are located goals, policies, action strategies, and other Plan components designed to protect the sensitive nature of the identified resources. Environmental Resources include all 100-year floodplains as determined by the Federal Emergency Management Act (FEMA), Flood Hazard Use Maps or natural 100-year floodplains as defined in the Design and Construction Standards Manual, and Resource Protection Areas (RPAs) as defined by the Chesapeake Bay Preservation Act. In addition, areas shown in an environmental constraints analysis submitted with a rezoning or special use permit application with wetlands; 25 percent or greater slopes; areas with 15 percent or greater slopes in conjunction with soils that have severe limitations; soils with a predominance of marine clays; public water supply sources; and critically erodible shorelines and stream banks are considered part of the Environmental Resource Designation.</p>
--	---

**Long Range Land Use Designation per BOCS initiated Comprehensive Plan Amendment #PLN2013-00186, Stone Haven:**

<p><b>Stone Haven Study</b>  <b>(Proposed)</b></p>	<p><b><u>Action Strategies</u></b></p> <ol style="list-style-type: none"> <li>1. The proposed land uses should be in general conformance with the Stone Haven Study Land Use Map (Figure 1). The following designations are identified on the map:             <ol style="list-style-type: none"> <li>a. Low-Density Residential – Areas with this designation should be developed with residential uses generally consistent with SRL and at a density similar to the adjoining neighborhoods. Employment uses should be excluded.</li> <li>b. Low-Density Residential/Open Space – Areas with this designation should be developed with residential uses generally consistent with SRL and at a density similar to the adjoining neighborhoods and open space uses. Employment uses should be excluded.</li> <li>c. Transitional – Areas with this designation should be developed with higher intensity, well-integrated mix of uses that would provide a transition from the low density residential uses along Linton Hall Road and the industrial employment uses along Wellington Road. Uses in this area could include a mix of residential, commercial, office, open space, and public facilities uses. Residential density should</li> </ol> </li> </ol>
--	--

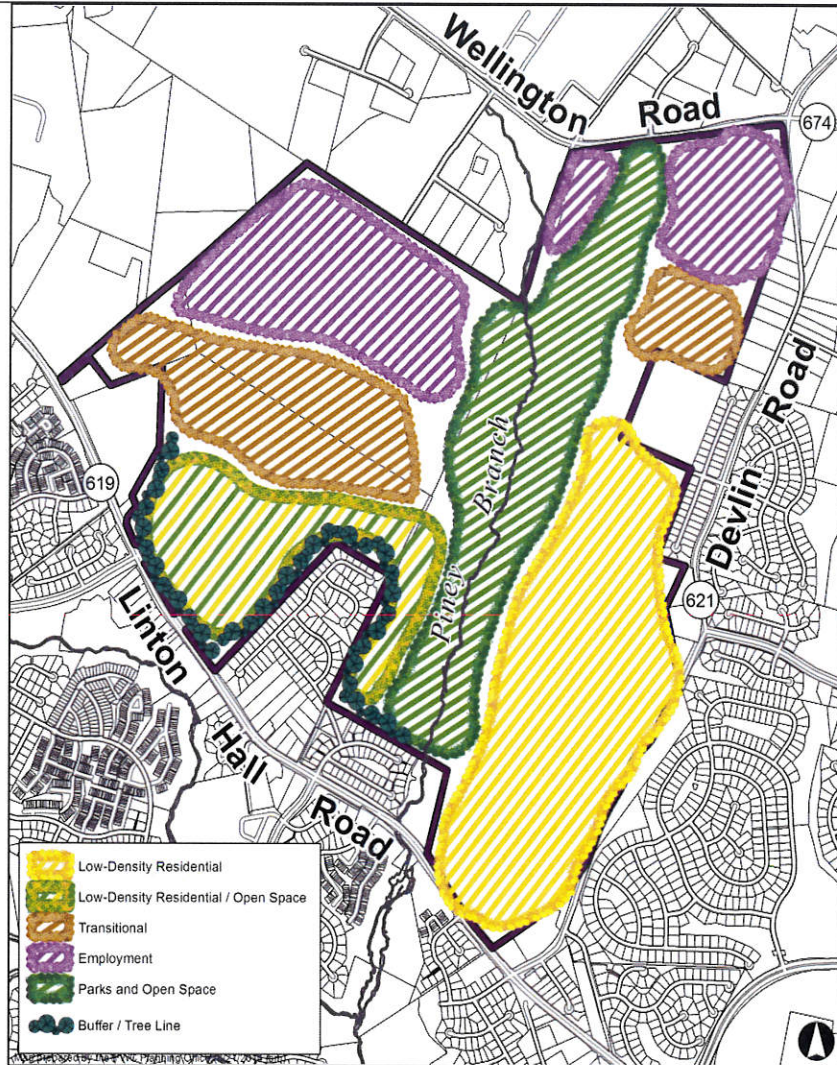
	<p>be generally consistent with the standards in the SRM District.</p> <p>d. Employment – Areas with this designation should be developed with a mix of employment uses. Residential uses should be excluded.</p> <p>e. Parks and Open Space – Areas with this designation should be preserved as open space and provide opportunities for passive recreational opportunities.</p> <p>f. Buffer/Tree Line – This designation indicates areas where special attention should be given to significant tree preservation and to providing appropriate buffers along existing neighborhoods.</p> <p>2. The proposed land uses should be compatible with adjacent land uses. Residential development should not intrude into the Wellington Road corridor and industrial development should not intrude into the Linton Hall Road corridor.</p> <p>3. Transitional use zones (which could include a mix of medium density suburban residential, commercial, office, open space, and public facilities uses) should be established to serve as a buffer between low density suburban residential and non-residential uses and to promote mixed use opportunities.</p> <p>4. A substantial mix of employment opportunities should be preserved on the site, particularly along Wellington Road; in particular provision of industrial uses along Wellington Road would provide continuity with the industrial nature of the corridor.</p> <p>5. Concern regarding school impacts (particularly the need for a new high school), transportation impacts, and the need for public facilities (e.g. active recreation, community facilities, etc.) should be addressed.</p> <p>6. Special attention should be given to significant tree preservation (particularly along Linton Hall Road) and to providing appropriate buffers along existing neighborhoods.</p> <p>7. A substantial contiguous open space area should be preserved throughout the site utilizing the areas around and between the Environmental Resource area along Piney Branch and the</p>
--	--

	<p>Dominion transmission line easement. Opportunities to connect this open space with development areas within the project area and to adjacent communities should be considered.</p> <ol style="list-style-type: none"> <li>8. Direct access to Linton Hall Road should be minimized.</li> <li>9. Pedestrian linkages should be provided throughout the development.</li> <li>10. A recreational open space corridor should be provided along Piney Branch.</li> <li>11. A substantial contribution toward the completion of Rollins Ford Road and University Boulevard should be provided.</li> </ol>
--	---

Stone Haven Study Land Use Map

Figure 1

(Proposed)



### Background:

In March of 2013, the Board initiated a comprehensive plan amendment review for the Stone Haven property. The Board initiated an amendment of the Comprehensive Plan for the property from SRL, FEC, and ER, to designations consistent with the Stone Haven Study Land Use Map and to incorporate the additional guidance from the study.

### Proposal's Strengths

- Consistency with the Stone Haven Study Land Use Map - Generally, the rezoning proposal has located residential, retail/commercial, office, office/flex and open space areas on the property in conformance with the Stone Haven Study Land Use Map developed with stakeholder input through a land use study process.
- Use Corridors – As shown on the Stone Haven Study Land Use Map, the project area along Wellington Rd. will remain an employment area with landbays shown on the MZP to allow office-flex and light industrial development. Also consistent with the Stone Haven Study Land Use Map, the landbays along Linton Hall Rd. are proposed for low density residential development consistent with the surrounding development.
- Zoning Consistency – The requested zoning districts, PMR, Planned Mixed Residential and PBD, Planned Business District, are consistent with the Stone Haven Study. The PMR is located primarily on the southern half of the site consistent with the surrounding residential development while the PBD zoning is planned for the area north of University Blvd., establishing nonresidential development potential along Wellington Rd. The proposed zoning districts allow for the mix of residential and employment development envisioned in the Stone Haven Land Use Plan. The revised plan does not include the complete area originally envisioned for the Stone Haven Study Land Use Map.
- Density – The maximum number of units constructed on the property shall not exceed 1,006. The overall proposed density is 2.58 dwelling units per acre over the residential landbays (LB G, I, J, L & M). This density is within the envisioned density range for typical suburban low density residential development in the county.
- Public Use Sites – The proposal includes a dedication of up to +/-255.9 acres (on-site) to be used as open space and/or as public use sites. This includes landbays intended for passive and active recreation, schools, and a linear park. A high school site is planned for landbay F and a middle school site is being considered in the area of landbay B. In addition, the applicant has proffered to dedicate +/-24 acres located off-site to be used for the construction of athletic fields and a park-n-ride site.
- Low Density/Open Space Area – The Study Map shows an area designated Low Density Residential/Open Space. This element of the land use map is implemented in the MZP with landbay J & H planned for low density residential development and parks and open space. The



## Attachment B - Staff Analysis

planned density within landbay J is 1.85 dwelling units per acre and a buffer with an average width of 100 ft. is proffered along existing residential development.

- Transitional Area – As shown on the MZP, development in this area will include a mix of residential unit types and densities in addition to a high school and public use sites. As proffered, the unit type in this area will be townhouses and single family detached units. The density within the transitional area is +/-3.73 du/ac., consistent with suburban residential low density range of 1-4 du./ac.
- Employment Area – Approximately 72.6 acres are shown on the MZP that are planned for office-flex and light industrial development. The uses permitted are those allowed in the O/F, Office Flex, and M-2, Light Industrial zoning districts.
- Open Space Area – A large contiguous open space area is proffered to be dedicated to the county in landbays C & K. In turn, the area's environmental features will be preserved while creating an opportunity for passive recreation/linear park system.
- Lots Size - The applicant has proffered to a minimum lot size of 10,000 SF for lots adjacent to the Amberleigh Station, Silver Leaf and Lanier Farms communities, similar to the lot sizes of those communities.
- Surrounding Use Conformance – Generally, the uses proposed in the landbays are compatible with the surrounding existing uses. On the north end of the site near Wellington Rd, the surrounding and planned uses are industrial and office/flex. On the southern end of the site along Linton Hall Rd., and to the east along Devlin Rd., the proposed residential development is in keeping with the established residential character of those areas.

### **Proposal's Weaknesses**

- Industrial Land – It should be noted, subject to the CPA, the county's stock of land planned for industrial development will decrease by approximately 240 acres. However, as indicated from the Stone Haven Study, there was little support for office, industrial, or commercial development along Linton Hall Rd.

**On balance**, this application is found to be consistent with the relevant components of the Long-Range Land Use Plan.

### **Community Design Plan Analysis**

An attractive, well-designed County will attract quality development, instill civic pride, improve the visual character of the community and create a strong, positive image of Prince William County. The Community Design Plan sets out policies and action strategies that further the County's goals of providing quality development and a quality living environment for residents, businesses and visitors, and creating livable and attractive communities. The plan includes recommendations

relating to building design, site layout, circulation, signage, access to transit, landscaping and streetscaping, community open spaces, natural and cultural amenities, stormwater management, and the preservation of environmental features.

The development of Stone Haven shall be in conformance with the design concepts and details set forth in the Stone Haven Design Guidelines. The plan includes illustrative design guidelines for residential and nonresidential development throughout the property, outlining the various elements and guiding principles for quality building architecture and providing examples of high quality building and site design. In addition to building design, the guidelines include details for major community elements including, neighborhood delineation, housing types, street hierarchy, community amenities, and open space. The plan also includes illustrative gateway/entry/corridor design guidelines that recommend streetscaping elements including, monumentation, landscaping, signage, lighting, street furnishings, and pedestrian connections, that will be incorporated into project's gateways and corridors.

### **Proposal's Strengths**

- Design Guidelines - The development of Stone Haven shall be in conformance with the design concepts and details set forth in the Stone Haven Design Guidelines. The design guidelines provide the framework for the intended quality of the development throughout the project.
- Open Space – Open space shall be provided throughout the project in accordance with the Open Space / Public Use Plan. Open space is provided in several ways including, natural open space areas, tree save areas, and general open space areas. For the overall project area, the applicant's open space tabulation shows approximately 42.5% of this site is proposed to remain as open space. Although the minimum open space requirement for the area designated as PMR may be reduced to less than 30% as proffered, the overall open space across the project shall achieve a minimum of 35% open space. As shown, of the +/-717.9 acres Stone Haven property, approximately 305 acres will be open space.
- Buffers - Buffers and landscaped area shall be provided on the property in conformance with the Buffer/Streetscape Plan provided by the applicant and referenced in the proffers. The applicant shall provide a 50 ft. landscape area along Linton Hall Rd. and construct a 4-6 ft. tall berm along landbay J. In response to community feedback expressing interest for buffers, the applicant has committed to providing a buffer with an average width of 100 ft. along the adjacent residential communities of Amberleigh Station and Silver Leaf. The buffer shall be provided in conformance with the attached buffer exhibit entitled, Amberleigh Station and Silver Leaf Buffer Exhibit.
- Pedestrian Links/Trails – The applicant has provided a network of trails, sidewalks, and scenic community trails throughout the project. The pedestrian network allows for connections within the property and provides linkages to existing trails and sidewalks in the neighboring communities. The details for the proffered improvements are as follows:

University Boulevard and Rollins Ford Road – As proffered and shown on the Transportation and Pedestrian Network Plan and within the Design Guidelines, the applicant

## Attachment B - Staff Analysis

will construct Class I trails and 5 ft. wide sidewalks associated with University Blvd. and Rollins Ford Rd. throughout the property.

Linton Hall Road - As proffered and shown on the Transportation and Pedestrian Network Plan and within the Design Guidelines, the applicant will construct a 5 foot wide sidewalk along the property frontage with Linton Hall Rd. (landbays J & M). This sidewalk construction will reduce the gaps along this portion of Linton Hall Rd. where sidewalks do not exist while connecting to the existing sidewalk along Piney Branch Elementary and along a portion of the Amberleigh Station neighborhood. With the revised MZP, the sidewalk construction from Rollins Ford Rd. northward along Linton Hall Rd. is an off-site proffered improvement.

Wellington Road – As proffered and shown on the Transportation and Pedestrian Network Plan, the applicant shall construct a Class I trail along a portion of the property frontage with Wellington Rd. (landbay A).

Neighborhood Sidewalks & Trails – As proffered, the applicant will provide pedestrian facilities on both sides of all subdivision streets within the residential neighborhoods.

Scenic Community Trails – As proffered and shown on the Transportation and Pedestrian Network Plan and within the Design Guidelines, the applicant will provide trails throughout the open space corridor consisting of landbays C & K that stretch from Wellington Rd. on the north end of the site to the southern reach of the property near Linton Hall Rd. The applicant will ensure that the connection of the scenic community trail is made with the proposed sidewalk along Linton Hall Rd. This is an important connection in linking the Stone Haven trail network to the surrounding community trails and County trail network.

- ~~Village Center Commercial Development – Development within the Village Center shall be provided in conformance with the proffers and design guidelines as follows:~~

~~Layout – The applicant intends to provide retail/commercial development using a compact, street-oriented design. As proffered and shown on the Village Center layout, buildings located within 100 ft. of Rollins Ford Rd. and University Blvd. shall be positioned to create a building edge along the street. Street parking should be provided for internal roads with the intent of providing attractive storefronts and good pedestrian access. A landscaped berm shall be provided where parking areas are not screened from adjacent ROWs.~~

~~Architecture – As proffered, all buildings shall be constructed using 4-sided architecture with plain concrete masonry units (CMU) prohibited for treatment of the front and rear of buildings. Additionally, as shown in the design guidelines Village Center, architecture and streetscape are intended to be complimentary and neighborhood proportional.~~

- Bicycle Racks – As proffered, the applicant will provide bike racks in strategic locations throughout the property.

- Owners Associations – As proffered, throughout the development of Stone Haven, multiple owners associations will be established to oversee the on-going maintenance of common areas throughout the development.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Community Design Plan.

### **Cultural Resources Plan Analysis**

Prince William County promotes the identification, evaluation, and protection of cultural resource sites throughout the County, as well as the tourism opportunities these sites present. The Cultural Resources Plan recommends identifying, preserving, and protecting Prince William County's significant historical, archaeological, architectural, and other cultural resources—including those significant to the County's minority communities—for the benefit of all of the County's citizens and visitors. To facilitate the identification and protection of known significant properties that have cultural resource values worthy of preservation, the land use classification County Registered Historic Site (CRHS) is used in the Comprehensive Plan. The plan includes areas of potentially significant known but ill-defined or suspected pre-historic sites, Civil War sites, historic viewsheds, landscapes or areas of potential impact to important historic sites, and encourages the identification, preservation, protection, and maintenance of all cemeteries and/or gravesites located within the County.

Phase I archaeological studies are generally required at submission of rezoning and special use permit applications where significant prehistoric or historic sites and cemeteries are known or suspected. Phase II evaluations and treatment plans studies may also be required. Records research is required of all applicants for rezoning, special use permit, comprehensive plan amendment, and public facility review applications.

This project area was surveyed for archaeological resources in 2005 during the review process for the Brentswood rezoning, PLN2005-00357. The report titled, A Phase I Cultural Resource Survey of the Hunter Tract, Prince William County, Virginia, revised February 21, 2006 (Zawacki et al 2006), identified multiple archaeology sites within the rezoning area.

### **Proposal's Strengths**

- Archaeological Study - A Phase I study has been completed for this site. The County has provided recommendations for treatment of identified sites by requiring further archaeology work in the form of a Phase II/III or complete avoidance. The applicant has proffered further archaeology as recommended.

Cemetery – The applicant has proffered to preserve the cemetery in landbay J in place. At the time of subdivision plan review, the applicant shall provide a cemetery delineation and shall preserve the cemetery in accordance with the requirements set forth in the Zoning Ordinance.

Curation – The applicant has proffered to curate all cultural resource artifacts found on the site with the County in accordance with current professional standards.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Cultural Resources Plan.

### **Environment Plan Analysis**

Prince William County has a diverse natural environment, extending from sea level to mountain crest. Sound environmental protection strategies will allow the natural environment to co-exist with a vibrant, growing economy. The Environment Plan sets out policies and action strategies that further the County's goal of preserving, protecting and enhancing significant environmental resources and features. The plan includes recommendations relating to the incorporation of environmentally sensitive development techniques, improvement of air quality, identification of problematic soil issues, preservation of native vegetation, enhancement of surface and groundwater quality, limitations on impervious surfaces, and the protection of significant viewsheds.

The applicant submitted an Environmental Constraint Analysis (ECA). The ECA includes information of the mapped Resource Protection Area (RPA), wetland delineation, and on-site Perennial Flow Determination (PFD). This site has ER (Environmental Resource) area, includes RPA, 100-year floodplain, and slopes 15% or greater. The site has an approved PFD (#13-00146) and an approved Preservation Area Site Assessment (PASA) (#14-00112).

This 717.9 acre site is predominantly wooded. The site does contain perennial (tributary to Rocky Branch) and intermittent streams on-site. Several forest cover types have been identified, including mature hardwood forests. The applicant provided an Open Space and Public Use Plan that identifies natural open space areas on the property. The applicant's plan includes two landbays (landbay C, K) that will be designated as P/OS, Parks and Open Space to be used for passive recreation and a linear park. This area consists of approximately 127.6 acres of natural open space that will remain undisturbed with the majority of the area being dedicated to the County as permanent open space and linear park area. In addition, the applicant has identified tree save open space areas that will remain substantially in their existing natural undisturbed condition. For these identified areas, the applicant shall prepare a tree preservation plan to be submitted to the Prince William County Watershed Division for review in association with each site plan submitted for the property. The applicant is seeking a waiver of the minimum 30% open space requirement in the PMR; however, staff supports the reduction because for the overall project area, the applicant is providing a minimum of 35% open space between the PMR and PBD zoned areas. This is in

excess of the 20% open space requirement for the PBD and the 30% requirement the PMR zoning district. The applicant shall survey two areas that were identified as potential rare plant species habitat. If the survey determines that rare plant species do exist in these areas, the applicant shall provide a management plan in consultation with Watershed Management and the Virginia Department of Conservation and Recreation.

This site is located in Subwatersheds #244, 246 & 260, which flows into Rocky Branch in the Broad Run watershed. Stormwater management will be addressed for each phase of development as determined at site plan review.

### **Proposal's Strengths**

- Open Space – For the overall project area, the applicant's open space tabulation shows approximately 42.5% of this site is proposed to remain as open space. Although the minimum open space requirement for the property may reduce to 35%, this still exceeds the minimum Zoning Ordinance requirement of 30%.
- Rare Plant Habitat - The applicant has proffered to survey two areas that were identified as potential rare plant species habitat. If the survey determines that rare plant species do exist in these areas, the applicant shall provide a management plan in consultation with Watershed Management and the Virginia Department of Conservation and Recreation.
- Streams – The streams throughout the property are generally being left undisturbed. The perennial streams that exist in landbays C, K are designated as natural open space areas that will be permanent open space. The applicant has proffered to provide a 50 foot buffer on both sides of the intermittent stream that extends into landbay F. Landbay F is designated for public use for the development of a high school.
- Water Quality – The applicant has proffered to make a monetary contribution in the sum of \$75.00 per acre to the Board of County Supervisors for the purpose of monitoring water quality, stream restoration projects, and/or drainage improvements.
- Tree Preservation – As proffered, the applicant is to prepare a tree preservation plan to be submitted to the Prince William County Watershed Division for review in association with each site plan submitted for the property.
- Stormwater Management – As proffered, the applicant shall prepare a stormwater management master plan for the property. Each site/subdivision plan shall incorporate the final design of the stormwater management facilities that implement the SWM master plan.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Environment Plan.

### **Fire and Rescue Plan Analysis**

Quality fire and rescue services provide a measure of security and safety that both residents and businesses have come to expect from the County. The Fire and Rescue Plan sets out policies and action strategies that further the County's goal of protecting lives, property, and the environment through timely, professional, humanitarian services essential to the health, safety, and well-being of the community. The plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility for fire and rescue facilities. The plan also includes recommendations to supplement response time and reduce risk of injury or death to County residents, establishment of educational programs, such as cardio-pulmonary resuscitation (CPR) training, automatic external defibrillators (AED), and encourage installation of additional fire protection systems—such as sprinklers, smoke detectors, and other architectural modifications.

The site is closest to the Linton Hall Fire and Rescue Station #25. The Linton Hall Station is currently operating within the recommended standard of having fewer than 2,000 incidents per tactical unit at this station. It is estimated that the majority of the site is located within the recommended 4.0-minute response time for fire suppression and basic life support. It is also estimated that the response time for this site would be within the recommended 8.0-minute response time for advanced life support. The road construction associated with this proposal should decrease the response time to points on the northern portion of the property. The Prince William County Department of Fire and Rescue has reviewed the rezoning application and offered no further comment on the request.

### **Proposal's Strengths**

- **Level of Service** - The applicant has proffered to provide monetary contributions for the residential units and nonresidential development in accordance with the policy guidelines.
- **4.0 Minute Response Time** – The majority of the site is within the recommended 4.0-minute response time for fire suppression and basic life support.
- **8.0 Minute Response Time** – The site is within the recommended 8.0-minute response time for advanced life support.
- **Station Workload** – The number of incidents per tactical unit for the closest station is within the recommended standard.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Fire and Rescue Plan.

### **Housing Plan Analysis**

Prince William County is committed to clean, safe and attractive neighborhoods for all its residents, and the elimination of neighborhood blight and substandard housing. The Housing Plan sets out policies and action strategies that further the County's goal of identifying locations and criteria for the provision of diverse housing opportunities for all segments of our population and to promote economic development. The Plan includes recommendations relating to neighborhood preservation and improvement, affordable housing, special needs housing, and public/private partnerships to address housing needs.

As recommended in the Comprehensive Plan, to assist in the need for affordable housing in Prince William County, the applicant has proffered a monetary contribution of \$250 per residential unit to the Housing Preservation and Development Fund. The fund assists in developing housing options for those in the County who cannot afford to reside in the community.

### **Proposal's Strengths**

- **Monetary Contribution** - The applicant has proffered to provide a monetary contribution to the Housing Preservation and Development Fund.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Housing Plan.

### **Library Plan Analysis**

Access to a variety of information is a valuable service provided by the County. The Library Plan sets out policies and action strategies that further the County's goal of providing adequate library facilities and information resources to our residents. The Plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility.

The library nearest the proposed project is the Bull Run Regional Library located at 8051 Ashton Avenue in Manassas. It is estimated that the proposed development will generate a need for additional library space and volumes of books and periodicals. The applicant has proffered a monetary contribution in conformance with the Board's 2014 monetary policy.

### **Proposal's Strengths**

- **Level of Service** - The applicant has proffered to provide monetary contributions for the residential units in accordance with the policy guidelines. The Prince William County Public



Library System has reviewed the rezoning request and believes the application meets the LOS standards.

**Proposal’s Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Library Plan.

**Parks and Open Space Plan Analysis**

The quality of life for residents of Prince William County is linked closely to the development and management of a well-maintained system of parks, trails, and open space. Prince William County contains a diversity of park, open space, and trail resources. These parklands, open spaces, and recreational facilities play a key role in shaping both the landscape and the quality of life of Prince William County residents through the conservation of natural and cultural resources, protection of environmental quality, and provision of recreational facilities. The Parks, Open Space and Trails Plan sets out policies and action strategies that further the County’s goal of providing park lands and recreational facilities of a quantity, variety, and quality appropriate to meet the needs of the current and future residents of Prince William County. The plan includes recommendations to preserve existing protected open space, maintain high quality open space, expand the amount of protected open space within the County, and to plan and implement a comprehensive countywide network of trails.

The proposed residential development is near the following area parks and trails:

<b>Type</b>	<b>Name</b>
Neighborhood	None
Community	Bridlewood – Rocky Branch Park (site)
Regional	Prince William Golf Course
Linear and Resource-Based	Braemar Linear Park
Trails	Broad Run Recreational Corridor

The applicant shall dedicate to the Prince William Board of County Supervisors, at no cost to the County, approximately 127.6 acres of land, for the use as linear park/open space/passive recreation purposes, trails, boardwalks, wildlife management structures, observation decks, informative signs. The applicant will also dedicate at no cost of the County, approximately 35 acres of land to be used for parks and recreation purposes for the development of athletic fields. An additional +/-19 acres, outside of the project area, will be dedicated to the County, for the construction of off-site athletic fields as referred to in the proffers.

Within the 127.6 acres to be dedicated and conveyed to the County for passive recreation purposes, consisting of Land Bays C and K, the applicant shall construct a network of 6 foot wide scenic community trails, consisting of approximately two (2) miles. A conceptual layout depicting the general location of the open space trail network is shown on the Transportation Plan. A minimum of six (6) trail connections into the adjoining land bays shall be provided, one of which shall be provided to Land Bay B, where the on-site active recreation is envisioned. In the southern portion of the site in Land Bay K, the trail will extend southward either through Landbay M or through off-site pedestrian access easements to provide for a connection to Linton Hall Road and the sidewalk to be constructed along the Linton Hall Road frontage of Land Bay M. The northern terminus of the trail in Land Bay C shall provide for a connection to Wellington Road provided the shared use path has been constructed along Wellington Road by the time the design of such trail is provided to the County for approval.

The applicant has proffered to provided two community recreation centers. The applicant shall provide a primary and secondary recreation amenity area in the general locations shown on the Master Zoning Plan. Collectively the amenities shall include, at a minimum, two (2) swimming pools, a clubhouse with community meeting space/multi-purpose room, fitness room, four tennis and/or multi-purpose courts and three tot lots. The tot lots and courts may be located at the recreation amenity areas or at other location within community as determined by the applicant. The two swimming pools shall include one which will be a minimum 6-lane, 25-meter pool, and a second, which will be either a 6-lane, 25-meter pool or similar sized leisure pool. A minimum of seven (7) neighborhood parks shall be provided throughout the property. The proffers specify the construction and completion requirements for the phased development of the two community facilities. The parks may consist of Tree Save Open Space Areas, as identified on the Open Space Plan, community greens, pocket parks, provided each such park shall be a minimum area of 12,000 square feet.

### **Proposal's Strengths**

- Level of Service - The applicant has proffered to dedicate 181.6 acres of land for active and passive recreation purposes (on-site and off-site. This includes 127.6 acres for passive recreation including a network of trails, 35 acres for active recreation (athletic field site) and 19 acres off-site for athletic fields. The applicant's proposed improvements are expected to exceed the total of the typical monetary contribution consistent with the level of service policy guidelines. The applicant's revised proffers removed the previously proffered \$3 million for the construction of athletic fields on the property.
- Trails – The Applicant has proposed to construct several trails throughout the development with at least 6 connections throughout the development with one connecting to Land Bay B.
- Community Amenities – The Applicant has proposed to construction two recreation amenity areas with will include at a minimum two (2) swimming pools, one of which will be a minimum 6-lane, 25-meter swimming pool, a clubhouse with community meeting space/multi-purpose room, fitness room, four tennis and/or multi-purpose courts and three tot lots, and seven (7) neighborhood parks

**Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Parks, Open Space and Trails Plan.

**Police Plan Analysis**

Residents and businesses expect a high level of police service for their community. This service increases the sense of safety and protects community investments. The Police Plan is designed to promote Prince William County's public safety strategic goal to continue to be a safe community, reduce criminal activity, and prevent personal injury and loss of life and property, as well as to ensure effective and timely responses throughout the County. This plan encourages funding and locating future police facilities to maximize public accessibility and police visibility as well as to permit effective, timely response to citizen needs and concerns. The plan recommends educational initiatives, such as Neighborhood and Business Watch, and Crime Prevention through Environmental Design (CPTED), which encourages new development to be designed in a way that enhances crime prevention. The plan also encourages effective and reliable public safety communications linking emergency responders in the field with the Public Safety Communications Center.

**Proposal's Strengths**

- Safety and Security Measures - The Police Department has recommended the safety and security measures that should be incorporated into the design of the site.

**Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Police Plan.

**Potable Water Plan Analysis**

A safe, dependable drinking water source is a reasonable expectation of County residents and businesses. The Potable Water Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound drinking water system. The plan includes recommendations relating to system expansion, required connections to public water in the development area, and the use of private wells or public water in the rural area.

The property is within the Prince William County Service Authority service area. Public water is available to the property, but requires construction of off-site facilities. Existing water mains are

available along Rollins Ford Rd., Linton Hall Rd., Wellington Rd., and adjacent parcels. The applicant shall design the water facilities shown on the Stone Haven Utility Plan to include, but not limited to, the 30-inch water main along University Blvd. and the 16-inch and 18-inch mains along Rollins Ford Rd. Additional water main construction may be required in order to provide required fire protection hydrant coverage and fire flows.

### **Proposal's Strengths**

- Water Connection - The applicant is required to comply with Zoning Ordinance Section 32-250.74, which mandates connection of the site to public water service. The proffers require the applicant to design and construct all on-site and off-site water utility improvements necessary to develop the subject use.
- Infrastructure Plan – The applicant has proffered the Stone Haven Utility Plan.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Potable Water Plan.

## **Sanitary Sewer Plan Analysis**

Appropriate wastewater and sanitary facilities provide needed public health and environmental protections. The Sanitary Sewer Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound sanitary and stormwater sewer system. The plan includes recommendations relating to system expansion, required connections to public sewer in the development area, and the use of either private or public sewer systems in locations classified as Semi-Rural Residential (SRR), as well as the rural area.

The property is within the Prince William County Service Authority area. Public sewer is available to the property, but requires construction of off-site facilities. Existing gravity sewer connections can be made at Linton Hall RD. and adjacent to Amberleigh Station within the Broad Run Sewer Shed. The applicant shall design the sewer facilities shown on the Stone Haven Utility Plan to include, but not limited to, the 24-inch gravity main and the removal of the Piney Branch pump station along Piney Branch Rd. This will combine the Piney Branch Sewer Shed and Broad Run Sewer Shed.

### **Proposal's Strengths**

- Sewer Connection - The applicant is required to comply with Zoning Ordinance Section 32-250.75, which mandates connection of the site to public sewer service. The proffers require the

applicant to design and construct all on-site and off-site sewer utility improvements necessary to develop the subject use.

- Infrastructure Plan – The applicant has proffered the Stone Haven Utility Plan.

**Proposal’s Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Sanitary Sewer Plan.

**Schools Plan Analysis**

A high-quality education system serves not only the students and their families, but the entire community by attracting employers who value educational opportunities for their employees. The Schools Plan sets out policies and action strategies that further the County’s goal of providing quality public education to our school-aged population. The Plan includes recommendations relating to facility size and location, siting criteria, compatible uses, and community use of school facilities.

The Schools Plan establishes level of service (LOS) standards for schools Countywide, based on available or project program capabilities. The Schools Plan recommends that proposed developments offset impacts on County schools by providing land for future schools and/or monetary contributions for construction of schools.

Based on annually updated county-wide student generation factors, the proposed change for the dwelling units, shown on the plan, is projected to generate the following numbers of students. School-by-school student generation rates can vary by plus or minus 50% in a specific development:

	<u>705 SFD</u>	<u>301 TH</u>	<u>TOTAL</u>
Elementary School, grades K-5	207	86	293
Middle School, grades 6-8	110	39	149
High School, grades 9-12	145	47	192
TOTAL:	462	435	634

The reduction in residential units reduces the number of students generated by 375 students.

In view of the residential development currently taking place within the county and the resulting overcrowding of a number of schools, school assignments and boundaries are subject to change. However, under the School Division’s 2013-14 districting, students living in this general area will attend the following schools:

## Attachment B - Staff Analysis

School	Available Space		2015-16			2019-20			2024-25		
	Capacity	Trailers	Students	+/-	% Util	Students	+/-	% Util	Students	+/-	% Util
Piney Branch ES	924	0	757	167	81.9%	820	104	89.0%	1,753	-829	190.0%
Gainesville MS	1,233	5	1,381	-148	112.0%	1,352	-119	110.0%	1,731	-498	140.0%
Stonewall Jackson HS	2,409	3	2,444	-35	101.4%	3,071	-662	127.5%	4,088	-1,679	169.7%

Additionally, the following schools may be affected by this development:

School	Available Space		2015-16			2019-20			2024-25		
	Capacity	Trailers	Students	+/-	% Util	Students	+/-	% Util	Students	+/-	% Util
Bennett ES	780	0	686	94	87.9%	711	69	91.0%	987	-207	127.0%
Bristow Run ES	780	0	657	164	80.8%	690	90	88.0%	765	15	98.0%
Cedar Point ES	780	0	622	158	79.7%	627	153	80.0%	678	102	87.0%
Ellis ES	626	2	620	6	99.0%	619	7	99.0%	747	-121	119.0%
Glenkirk ES	780	0	745	35	95.5%	1,001	-221	128.0%	1,084	-304	139.0%
Nokesville School	592	0	536	56	90.5%	577	15	97.0%	660	-68	112.0%
Victory ES	852	0	708	144	83.1%	1,003	-151	118.0%	1,108	-256	130.0%
Wood ES	924	1	926	-2	100.2%	1,043	-119	112.8%	1,247	-323	134.9%
<b>Yung ES</b>	<b>924</b>	<b>0</b>	<b>860</b>	<b>264</b>	<b>71.4%</b>						
Marsteller MS	1,233	5	1,297	-64	105.2%	1,292	-59	105.0%	1,341	-108	109.0%
Patriot HS	2,053	20	2,766	-713	134.7%	2,777	-724	135.3%	3,023	-970	147.3%

The following are comments provided by the School Board dated September 16, 2015, in response to the revised application:

- The applicant shall dedicate approximately 85 acres of land for use as a high school. The site size accommodates the full complement of playing fields as constructed at Colgan and Patriot High Schools.
- The site is needed by January 2016 in order to meet the September 2020 opening schedule. The proffered commitments facilitate the September 2020 opening.
- Critical access to the site is accomplished with the extension of a 2-lane section of University Blvd. or Rollins Ford Road, to the entrance to High School site.
- The applicant has proffered the extension of public water and sanitary sewer to a point along the boundary of the High School site to allow a connection of said utilities.
- The applicant has proffered any necessary easements to allow for the extension of 3-phase electrical service to the high school.
- The applicant shall work with the School Division's high school construction schedule to file public improvement plans that include the high school improvements and commence construction of said improvements to accommodate the high school construction schedule.
- At its June 18, 2014 meeting, the School Board authorized swapping the Avendale middle school site for a middle school site within the Stone Haven development.
- The 35-acre Land Bay B can be used for a middle school (2023) with alternative County controlled site made available as a replacement.
- As stated in the May 8, 2014 comments, the School Board is satisfied with the revised proffer commitments, especially considering the proffered School Site was increased to 85 acres and critical concerns were addressed.
- The School Division's concerns have been addressed by the applicant and it is the intention of the School Board to construct a high school on this site with an opening date of September 2020.

## Attachment B - Staff Analysis

- The applicant states the proffered dedication of land and provision of access and utilities offsets the LOS monetary contribution for Schools.
- Haymarket Elementary School opened September 2014.
- The Nokesville School opened September 2014.
- Chris Yung Elementary School opened September 2015.
- The Vint Hill Road Elementary School west is scheduled to open September 2023.
- A middle school west is scheduled to open September 2023 in the Linton Hall Road area.
- The 12<sup>th</sup> high school is under construction and scheduled to open September 2016 in the mid-County area.
- The 13<sup>th</sup> high school is scheduled to open September 2020 in the western County area.
- The 14<sup>th</sup> high school is scheduled to open September 2022 in the mid-County area.

### **Proposal's Strengths**

- Level of Service – The School Board is satisfied with the proffered dedication of +/-85 acres for a school site. As proffered, the applicant will dedicate 85 acres (Landbay F), at no cost to the County, to the Board of County Supervisors and provide development preparation improvements including extension of public water and sewer, provide necessary easements for electrical service, and provide vehicular access to the site. It is the intent of the School Board to construct a high school on this site.
- Future Schools – Chris Yung Elementary School, located on the east side of the Stone Haven property, opened in September of 2015. A middle school in the Linton Hall Road area is planned to open in September 2023. As proffered, the School Board may use a portion of the site to develop this planned middle school. The 12<sup>th</sup> high school is currently under construction and is scheduled to open in 2016. The 13<sup>th</sup> high school, for which Landbay F is being dedicated for, has a planned opening date of 2020. The 14<sup>th</sup> high school is scheduled to open September 2022 in the mid-county area.
- High School Site – As proffered and shown on the plan, the applicant will dedicate and convey fee simple to the Board of County Supervisors, approximately 85 acres to be used as a high school. Conveyance shall be tendered within 60 days from written request from the county anytime 30 days after final rezoning.
- Infrastructure – The applicant shall be responsible for extending public water and sewer, conduit infrastructure and roads to the school.
- Middle School Site – If determined at a future time, subject to the public facility review process, landbay B may be used for a middle school. Landbay B is a +/-35 acre site that is shown on the Stone Haven Land Use Plan as a public use site to be used for active recreation or a middle school site, as determined by the county.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Schools Plan.

**Transportation Plan Analysis**

By providing a multi-modal approach to traffic circulation Prince William County promotes the safe and efficient movement of goods and people throughout the County and surrounding jurisdictions. The Transportation Plan sets out policies and action strategies that further the County’s goal of creating and sustaining an environmentally friendly, multi-modal transportation system that meets the demands for intra- and inter-county trips, is integrated with existing and planned development, and provides a network of safe, efficient, and accessible modes of travel. The plan includes recommendations addressing safety, minimizing conflicts with environmental and cultural resources, maximizing cost effectiveness, increasing accessibility of all travel modes, minimizing projected trip demand, and providing sufficient network capacity. Projects should include strategies that result in a level of service (LOS) of “D” or better on all roadway corridors and intersections, reduce traffic demand through transportation demand management strategies, dedicate planned rights-of-way, provide and/or fund transit infrastructure, pedestrian and bicycle pathways, and improved and coordinated access to transit facilities.

This rezoning presents an opportunity to construct two minor arterials that are identified in the Thoroughfare Plan of the Comprehensive Plan in Rollins Ford Rd. and University Blvd. These roads will provide key links and connections within the area and to the region. The applicant has proposed to construct a half section of University Blvd. (2-lanes) from Devlin Rd., to Progress Ct., including on-site and off-site construction. Likewise, the applicant has proposed to build a half section of Rollins Ford Rd. from the intersection with Linton Hall Rd. to the existing edge of Rollins Ford Rd. located off-site on the property to the north. Aside from the intersections of University Blvd. and Devlin Rd. and Rollins Ford Rd. and Linton Hall Rd., there will be no direct access to the site from Devlin Rd. or Linton Hall Rd. A traffic impact analysis (TIA) was required for this application. The following table provides information concerning the daily volumes and levels of services of roadways important to this development:

Roadway Name	Number of Lanes	Current VDOT Count	Existing Daily LOS
Wellington Rd. (Rt. 674)	2 - 4	15,000 vpd	D
Linton Hall Rd. (Rt. 619)	4	28,000 vpd	B
Devlin Rd. (Rt. 621)	2	11,000 vpd	D
Limestone Dr. (Rt. 1040)	4	3,500 vpd	B

The project, as revised, will result in a 40% reduction in daily trips. The revised project generates a reduced daily internal trips figure from 4,100 trips to 632 daily internal trips. The net daily trips generated from the site will be reduced from 31,250 to 18,790 net new daily trips.



## Proposal's Strengths

- Level of Service Improvements - The applicant has proffered to dedicate ROW, construction of two comprehensive plan roads, off-site road improvements, pedestrian connections and bus shelter construction. The cost of the transportation improvements are estimated to exceed the standard per unit monetary contributions for residential units in accordance with the policy guidelines.
- Comprehensive Plan Roads – The applicant has proffered to provide the following road improvements and include triggers that meet the approval of Planning and Transportation staff:

University Blvd. – The applicant shall dedicate up to 128 ft. of ROW, plus additional width for turn lanes where necessary. In addition, the applicant shall provide the construction of a half section of University Blvd. (2-lane divided road) from Devlin Rd., to Progress Ct., including off-site construction. The previous version of the project included the full construction University Blvd. (4-lanes).

Rollins Ford Rd. – The applicant shall dedicate up to 128 ft. of ROW, plus additional width for turn lanes where necessary. In addition, the applicant shall provide the construction of a half section of Rollins Ford Rd. (2-lane divided road) from Linton Hall Rd., to the existing section of Rollins Ford Rd. near Wellington Rd. on the north side of the property. The previous version of the project included the full construction Rollins Ford Rd. (4-lanes).

Wellington Rd. – Along the property's frontage of Wellington Rd., the applicant shall dedicate 64 feet from centerline, plus additional width for turn lanes. Along a portion of the Wellington Rd. frontage, the applicant shall construct an additional eastbound lane with right and left turn lanes at the intersection with Piney Branch Ln.

Devlin Rd. – Along the property's frontage of Devlin Rd., the applicant shall dedicate 64 feet from centerline, plus additional width for turn lanes for future widening. The applicant will also construct at the intersection of Devlin Rd. and University Blvd.

Piney Branch Ln. - The applicant shall dedicate 33 feet from centerline and construct to a CI-1 standard from the intersection with Wellington Rd. to the entrance to the property.

- Signalization – As proffered, any traffic signals that are warranted associated with intersections along University Blvd. and Rollins Ford Rd. will be designed and installed by the applicant.
- Pedestrian Connections – The applicant will construct a trails and sidewalks associated with Rollins Ford Rd. and University Blvd. Along Linton Hall Rd., the applicant will construct a 5 foot wide sidewalk across landbays J & M to reduce the gaps along this portion of Linton Hall Rd. Across a portion of the Wellington Rd. frontage, the applicant shall construct a 10 ft. trail.
- Bus Shelter – The applicant has proffered to construct four (4) bus shelters on the property.

## Attachment B - Staff Analysis

- Park and Ride – The applicant has proffered to dedicate, if requested by the county, +/-5.4 acres located ½ mile west of the property for use as a park-and-ride lot.
- Bicycle Racks – As proffered, the applicant will provide bike racks in strategic locations throughout the property.

### **Proposal's Weaknesses**

- Devlin Rd. Improvements – The applicant has revised the proffer to commit to dedicating the appropriate right-of-way along Devlin Rd., however the project does not include the construction of improvements to Devlin Rd. Although this is noted to be a weakness, staff acknowledges the value in alternatively providing off-site construction of University Blvd. west of the property to connect to Wellington Rd. via Progress Ct.

**On balance**, this application is found to be consistent with the relevant components of the Transportation Plan.

### **Materially Relevant Issues**

This section of the report is intended to identify issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The materially relevant issues in this case are as follows:

- Nearby Environmental Evaluation Site – The Environmental Protection Agency (EPA) has evaluated GPIN#7497-62-6700 to address concerns regarding the potential for off-site contamination through groundwater and surface water flow and determined that off-site migration is not occurring. Off-site migration of constituents of particular concern (COPC) via shallow groundwater is not a concern.
- Nonresidential Phasing - During the Planning Commission public hearing, concerns were expressed about the lack of nonresidential phasing that would establish the commitment for nonresidential uses. Staff shares that concern and has requested that the applicant provide a nonresidential phasing schedule. As of the writing of this report, the applicant has not provided a nonresidential phasing commitment.

**Minimum Design Criteria**

Staff and other agencies that have reviewed the proposal noted the following minimum design criteria. The development proposal will be reviewed for compliance with all minimum standards at the time that the applicant submits detailed site development information prior to the issuance of construction permits. The listing of these issues is provided to ensure that these concerns are a part of the development record. Such issues are more appropriately addressed during the site plan review.

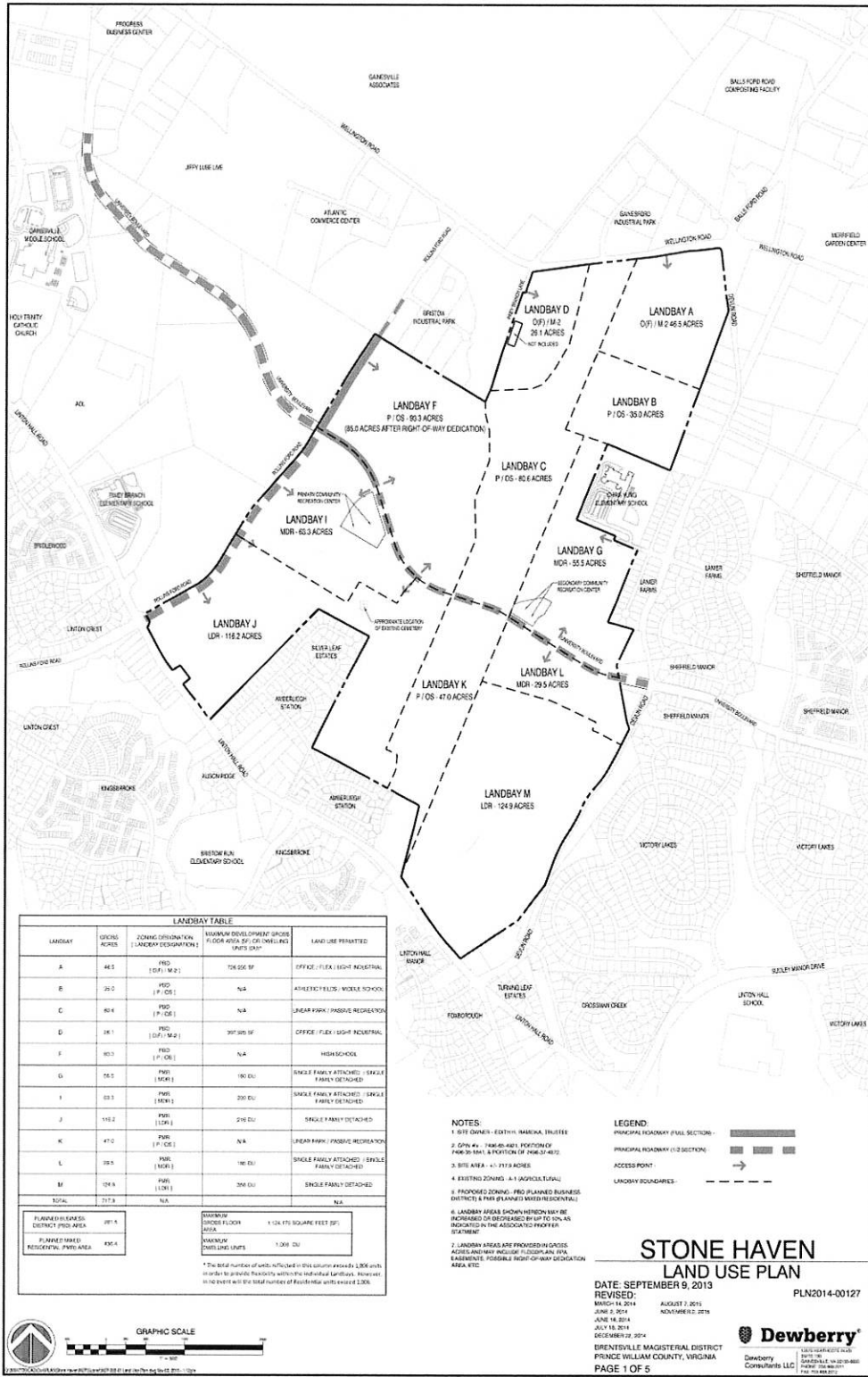
- Landscaping - Landscaping/buffering/screening/tree canopy coverage shall meet minimum requirements of the DCSM as well as the proposed Buffer/Streetscape Plan and proffers.

**Agency Comments**

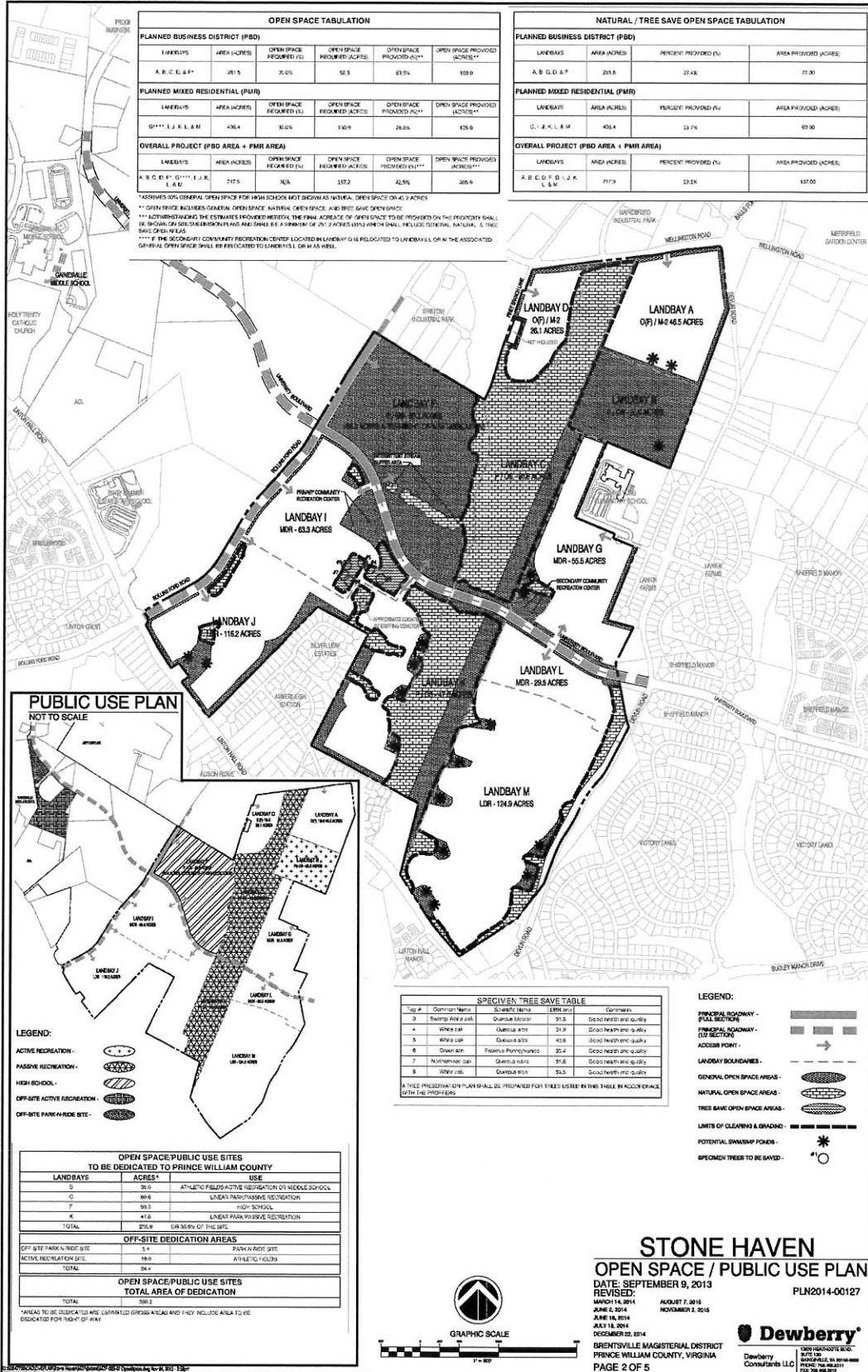
The following agencies have reviewed the proposal and their comments have been summarized in relevant Comprehensive Plan chapters of this report. Individual comments are in the case file in the Planning Office:

County Archaeologist  
DPW- Environmental Services  
Fire and Rescue  
Housing and Community Development  
Library  
Parks Authority  
Planning Office, Case Manager and Zoning Administration  
Police Department  
PWC Historical Commission  
PWC Service Authority  
PWC Transportation  
Schools  
VDOT

# Attachment C – Master Zoning Plan – Land Use Plan dated September 9, 2013, revised November 2, 2015



# Attachment C – MZP – Open Space / Public Use Plan dated September 9, 2013, revised November 2, 2015



## STONE HAVEN

### OPEN SPACE / PUBLIC USE PLAN

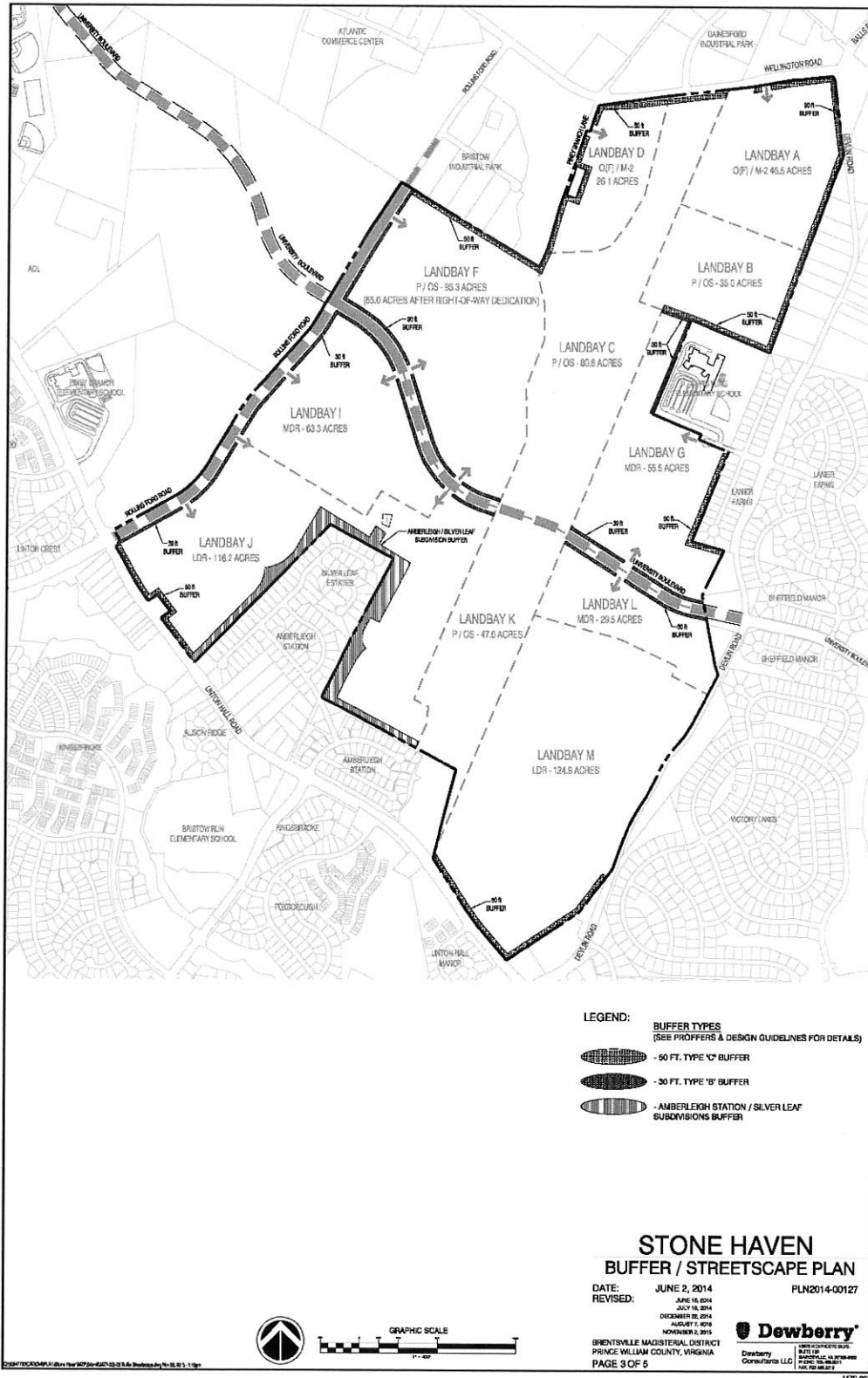
DATE: SEPTEMBER 9, 2013  
 REVISED: MARCH 14, 2014      AUGUST 7, 2015  
 JUNE 2, 2014      NOVEMBER 2, 2015  
 JUNE 16, 2014      JULY 18, 2014  
 DECEMBER 22, 2014

DENTONVILLE MAGISTERIAL DISTRICT  
 PRINCE WILLIAM COUNTY, VIRGINIA

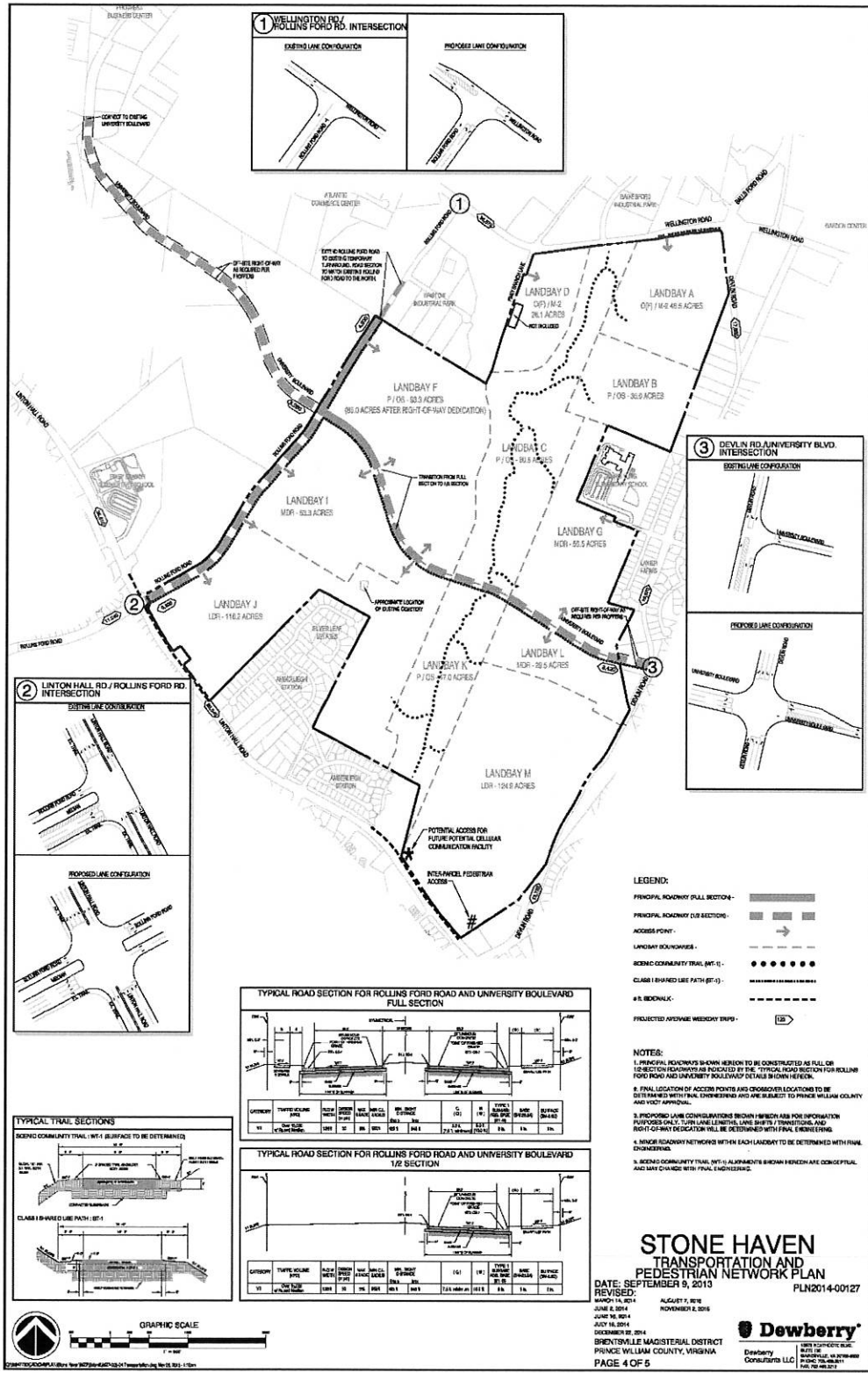
PAGE 2 OF 5

Dewberry  
Consultants LLC  
10000 WOODHURST BLVD.  
SUITE 100  
DENTON, VA 22826  
PHONE: 703.461.1111  
FAX: 703.461.1112

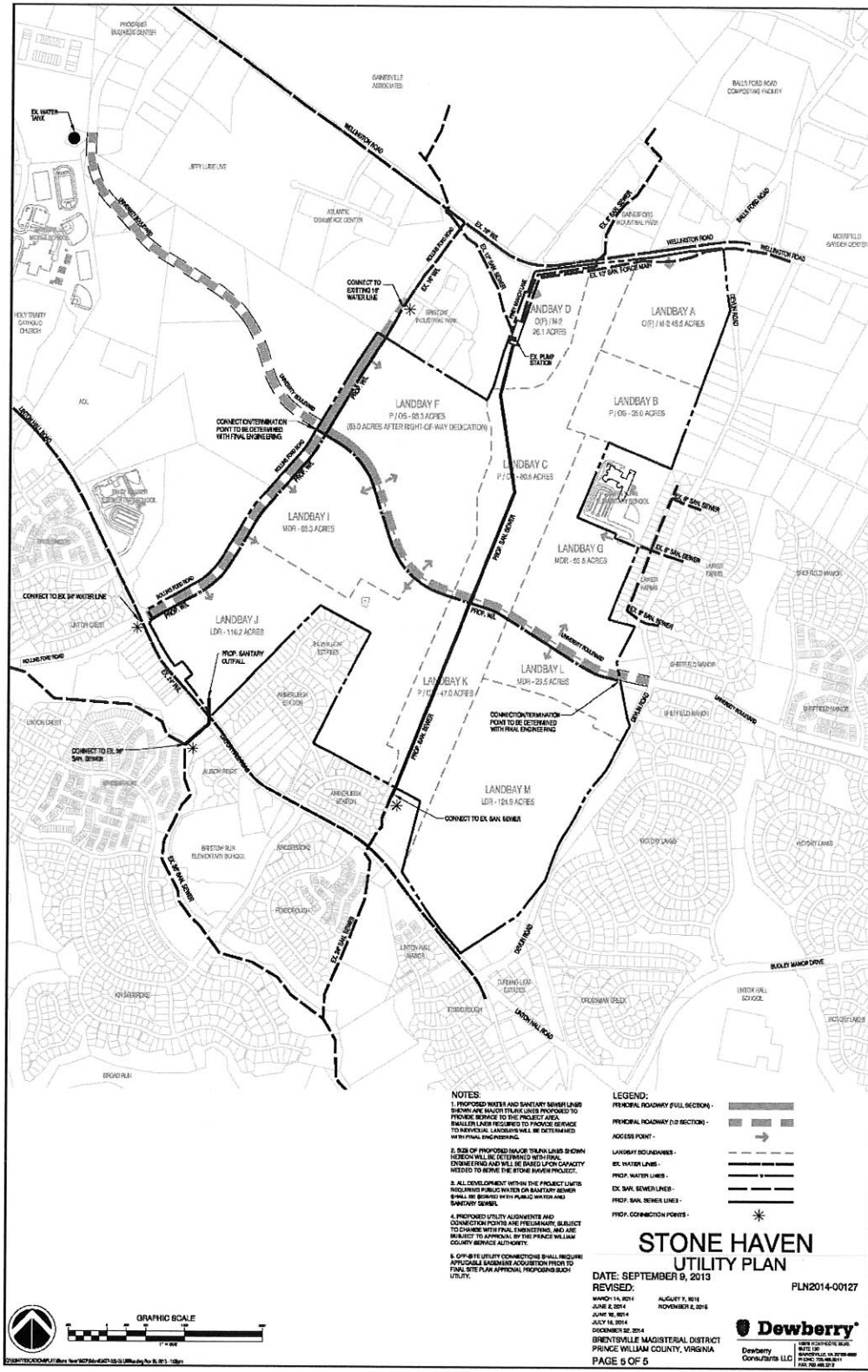
**Attachment C – MZP – Buffer / Streetscape Plan  
dated September 9, 2013, revised November 2, 2015**



# Attachment C – MZP - Transportation & Pedestrian Network Plan dated September 9, 2013, revised November 2, 2015



# Attachment C – MZP - Utility Plan dated September 9, 2013, revised November 2, 2015





# Stone Haven



SCALE  
0 400 800 1200



## Design Guidelines

Stone Haven  
Design Guidelines

A Planned Community

Prince William County, Virginia

**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

*Stone Haven  
Design Guidelines*

*Prepared By:*

Engineer / Planner / Landscape Architect  
**Dewberry Consultants LLC**  
13575 Heathcote Boulevard, Suite 130  
Gainesville, VA 20155-6693

March 14, 2014  
Revised: June 2, 2014  
Revised: June 16, 2014  
Revised: September 9, 2014  
Revised: August 7, 2015  
Revised: November 2, 2015

**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

**APPLICANT**  
E.V. Hunter Trust

**ATTORNEY**  
Walsh, Colucci, Lubeley & Walsh  
4310 Prince William Parkway, Suite 300  
Woodbridge, VA 22192

**CIVIL ENGINEER / LAND PLANNER**  
Dewberry Consultants LLC  
13575 Heathcote Boulevard, Suite 130  
Gainesville, VA 20155-6693

**TRANSPORTATION**  
Wells & Associates  
11441 Robertson Drive, Suite 201  
Manassas, VA 20109

**ENVIRONMENTAL/CULTURAL**  
Wetland Studies and Solutions  
5300 Wellington Branch Drive  
Gainesville, VA 20155

**ARCHITECT**  
Bignell-Walkins-Hasser  
8500 Leesburg Pike, Suite 503  
Vienna, VA 22182

**LAND DEVELOPMENT CONSULTANT**  
Jansen Land  
1479 Chain Bridge Road  
McLean, VA 22101

**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

<i>Table of Contents</i>		
<i>Project Overview</i> .....		7
<i>Location</i> .....		9
<i>Purpose of Guidelines</i> .....		11
<i>The Plan</i> .....		12
<i>Land Use</i> .....		13
<i>Neighborhoods</i> .....		14
<i>Residential - Principles for Residential Architecture</i> .....		15
<i>House Types</i>		
<i>Single Family Detached Residences</i> .....		16-19
<i>Single Family Attached Residences</i> .....		20-23
<i>Non-Residential Land Uses</i> .....		25
<i>Non-Residential – Principles for Non Residential Architecture &amp; Site Design</i> .....		26
<i>Amenities / Open Space</i> .....		27-32
<i>Street Standards</i> .....		33-37
<i>Streetscape</i> .....		39
<i>Pedestrian Network/Trails</i> .....		40-41
<i>Community &amp; Neighborhood Portals</i> .....		42-46
<i>Landscape/ Streetscape</i> .....		47-53
<i>Purpose of Regulations / Development Plans &amp; Site Plans / Submittals</i> .....		54-56

# Stone Haven

## Mixed Use Project

### *Project Overview*

•The proposed Planned Mixed Residential District (PMR) and Planned Business District (PBD) contemplates a mixed-use community comprised of several neighborhoods, each to have its own identity within an overall theme to be established for Stone Haven. The residential neighborhoods will be organized around key community facilities including a high school, major linear park and public athletic fields. The proposed employment components will offer important economic development opportunities.

•The overall development intent is to position Stone Haven as a cohesive and integrated community that affords residents an attractive environment to live, play and work. Neighborhoods provide distinctive enclaves for residents tied to the greater Stone Haven community through careful site planning and extensive pedestrian and open space connections. Public uses and spaces will serve as integrating elements within Stone Haven and destination points for the surrounding communities. Landscaping will be used to unify and integrate the neighborhoods, the public uses and the employment components.

•A pedestrian network will be provided throughout Stone Haven to connect the residential neighborhoods with open space, the linear park and the public use sites. The pedestrian network will consist of a combination of sidewalks, trails and shared use paths, all of which will be designed to facilitate pedestrian access between the various uses on the property.

### *Project Overview*

**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

*Location*

Stone Haven is comprised of approximately 718 acres, located between Linton Hall Road, Devlin Road and Wellington Road. It will provide a strategic planned mixed use district at the northern entry to the Linton Hall corridor immediately southeast of the regionally serving commercial uses associated with the Virginia Gateway and Promenade retail areas.

The property is located in the Brentsville Magisterial District of Prince William County, Virginia and consists of the following parcels: GPINs 7496-65-4921, 7496-37-4872 (pt.), and 7496-35-1841 (pt.).

Stone Haven is located approximately one mile south of the Interstate 66/Route 29 Interchange and approximately one mile southwest of the Prince William Parkway.



*Vicinity Maps*

*Stone Haven  
Design Guidelines*

*A Planned Community*

*Prince William County, Virginia*

*Location*

# Attachment D – Stone Haven Design Guidelines dated March 14, 2014, revised November 2, 2015

## *Purpose of Guidelines*

The purpose of these Design Guidelines is to establish an overall framework and context for the implementation of the Stone Haven Community. This includes overall design principles to guide the incremental development of the community. To this end, the following pages include details regarding:

- Major community elements associated with the overall community organization, neighborhood delineation and infrastructure systems including: vehicular systems, pedestrian networks, and community and neighborhood open space elements.
- Residential development types and architectural considerations.
- Non residential development types and architectural considerations.

The guiding philosophy for Stone Haven focuses less on replicating an architectural theme than in providing a framework for the development of a variety of complementary uses and spaces to create a quality, cohesive community with a distinctive presence.

## *Purpose of Design Guidelines*

Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015

12

*The Plan*

*Stone Haven  
Design Guidelines*

*A Planned Community*

*Prince William County, Virginia*





Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015



Stone Haven  
Design Guidelines

A Planned Community

Prince William County, Virginia

Land Use

## Neighborhoods

### Neighborhoods

Stone Haven will contain five (5) distinct residential neighborhoods.

The neighborhoods are delineated based on physiographic characteristics of the site, the extended alignment of the principal arterials (University Boulevard and Rollins Ford Road), as well as open space corridors.

### I-V Neighborhoods



# Attachment D – Stone Haven Design Guidelines dated March 14, 2014, revised November 2, 2015

## Guiding Principles Residential Architecture

Roof Form & Materials	Materials	Porches, Swoops, Decks & Fences	Details & Colors / Materials
<ul style="list-style-type: none"> <li>•Slope of major roof must be 5:12 or above.</li> <li>•Skylights, roof ventilators and satellite equipment shall be kept to the rear roof elevations.</li> <li>•Vents, flues, and other projectors through the roof shall be painted black or match roof color.</li> <li>•Permitted roof materials: architectural asphalt shingles, copper, standing seam metal (to match color or the house) are approved materials.</li> </ul>	<ul style="list-style-type: none"> <li>•Brick, stone or approved stone facing shall wrap any water table elevation on front.</li> <li>•Natural or painted brick is encouraged where appropriate. Other approved siding materials shall include wood or "hard-plank clapboard, cut wood shingles and smooth vinyl siding where trim work is built out to maintain a three dimensional appearance.</li> <li>•Window openings shall not exceed 40% of any building face.</li> <li>•Chimneys are encouraged and shall be brick, stone, or stone faced and continue vertically to the ground if on front street-side elevations.</li> <li>•Limited accent materials and/or colors may be used to complement the building design.</li> </ul>	<ul style="list-style-type: none"> <li>•Front porches and covered entries are encouraged.</li> <li>•Sloop materials shall be concrete, brick, stone or comparable masonry finish.</li> <li>•Fencing of side and rear yards is permitted.</li> <li>•Swoops, porches and decks may encroach into yard setbacks per specific house type standards elsewhere in this document.</li> <li>•Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters may extend into yard setbacks per specific house type standards elsewhere in this document.</li> </ul>	<ul style="list-style-type: none"> <li>•House colors should read as traditional in character consistent with the architectural style of the home.</li> <li>•No more than two dominant wall surface materials shall be used on any one side of a building.</li> <li>•Thru-the-wall vents are not permitted on front facing street facades.</li> <li>•A minimum of 6" of trim boards is to be applied under the soffits.</li> <li>•Clapboard or horizontal fiber cement siding shall be a maximum of 6" exposure.</li> <li>•Fascia boards shall be deep enough to carry the gutter and allow a minimum of 2" of board to show.</li> <li>•Exterior lighting fixtures shall complement the architectural style of the structure.</li> </ul>
<ul style="list-style-type: none"> <li>•On corner lots, if shutters are used on the front elevation, shutters shall be used on side elevations that are exposed to the street.</li> </ul>	<ul style="list-style-type: none"> <li>•Dormer windows are encouraged.</li> </ul>		
<h3>Windows &amp; Doors</h3> <ul style="list-style-type: none"> <li>•Windows and doors should reflect architectural style.</li> </ul>			



Key Map Residential Areas

Stone Haven will provide a variety of home types and house styles.

**House Types**  
**Lot Type: Single Family Dwelling- Detached**  
**80' – 100' Wide Lot**

**Single Family Dwelling - Detached**  
**80' – 100' Wide Lot**

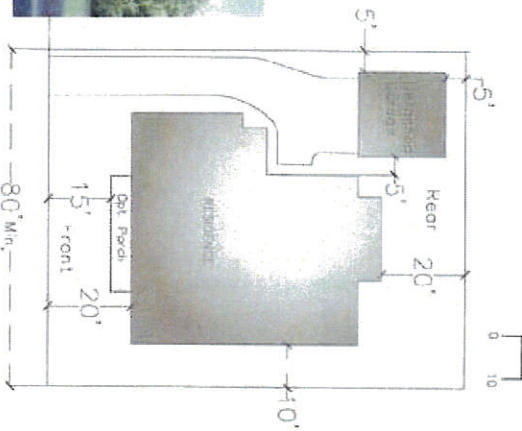
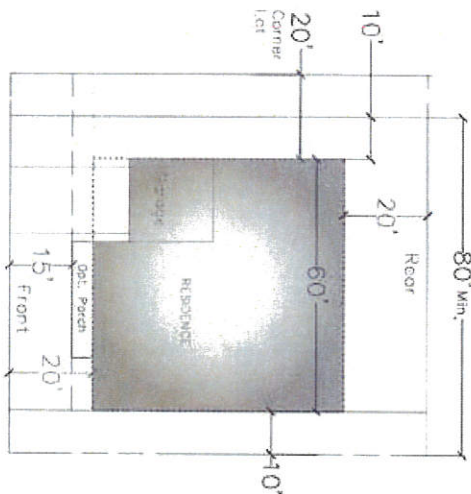
Minimum Lot Area	8,000 Sq. Ft.
Maximum Lot Coverage	.45
Maximum Building Height	35 Ft.
Minimum Setbacks	
Front Setback to House	20 Ft.
Side	10 Ft.
Side Lot Line to Detached Garage	5 Ft.
Detached Garage to Principal Structure	5 Ft.
Corner Lot (Side)	20 Ft.
Rear Lot Line to House	20 Ft.
Rear Lot Line to Detached Garage	5 Ft.
Minimum Lot Width	80 Ft.

**Note:**

- Rear yard privacy fencing and decking is intended to be placed in the rear yard area
- Decks may encroach up to 15' into the rear yard
- Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers may project up to 3' into any required yard or setback.
- For Single Family homes only, front porches or stoops can encroach 5' into the front yard setback.



Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.



**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

**Single Family Dwelling - Detached  
70' Wide Lot**

Minimum Lot Area	7,000 Sq. Ft.
Maximum Lot Coverage	.45
Maximum Building Height	35 Ft.
Minimum Setbacks	
Front Setback to House	20 Ft.
Side	10 Ft.
Side Lot Line to Detached Garage	5 Ft.
Detached Garage to Principal Structure	5 Ft.
Corner Lot (Side)	20 Ft.
Rear Lot Line to House	20 Ft.
Rear Lot Line to Detached Garage	5 Ft.
Minimum Lot Width	70 Ft.

**Note:**

- Rear yard privacy fencing and decking is intended to be placed in the rear yard area
- Decks may encroach up to 15' into the rear yard
- Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers may project up to 3' into any required yard or setback
- For Single Family homes only, front porches or stoops can encroach 5' into the front yard setback.

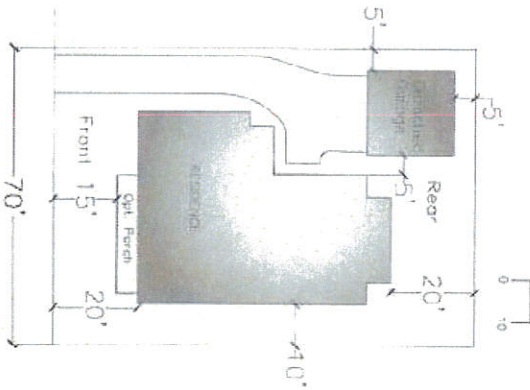
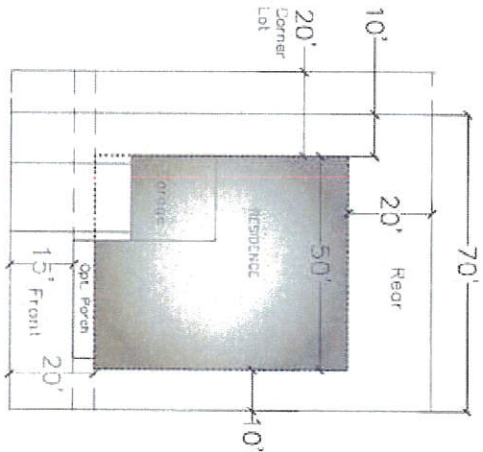


Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.

Stone Haven  
Design Guidelines

A Planned Community

Prince William County, Virginia

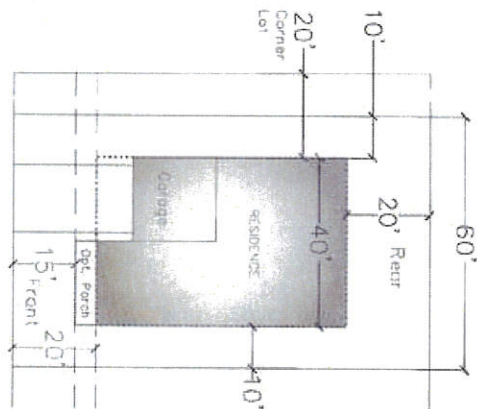


**House Types  
Lot Type: Single Family Dwelling - Detached  
70' Wide Lot**

**House Types**  
**Lot Type: Single Family Dwelling - Detached**  
**60' Wide Lot**

**Single Family Dwelling - Detached**  
**60' Wide Lot**

Minimum Lot Area	6,000 Sq. Ft.
Maximum Lot Coverage	.45
Maximum Building Height	35 Ft.
Minimum Setbacks	
Front Setback to House	20 Ft.
Side	10 Ft.
Side Lot Line to Detached Garage	5 Ft.
Detached Garage to Principal Structure	5 Ft.
Corner Lot (Side)	20 Ft.
Rear Lot Line to House	20 Ft.
Rear Lot Line to Detached Garage	5 Ft.
Minimum Lot Width	60 Ft.

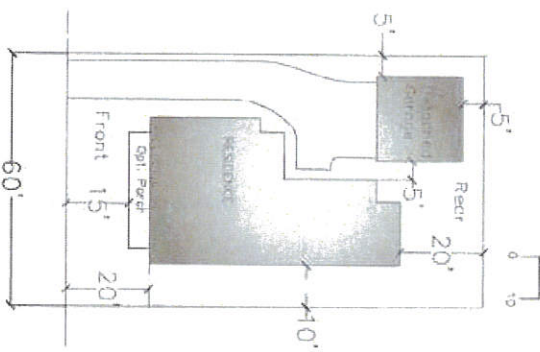


Note:

- Rear yard privacy fencing and decking is intended to be placed in the rear yard area
- Decks may encroach up to 15' into the rear yard
- Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers may project up to 3' into any required yard or setback.
- For Single Family homes only, front porches or scoops can encroach 5' into the front yard setback.



Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.

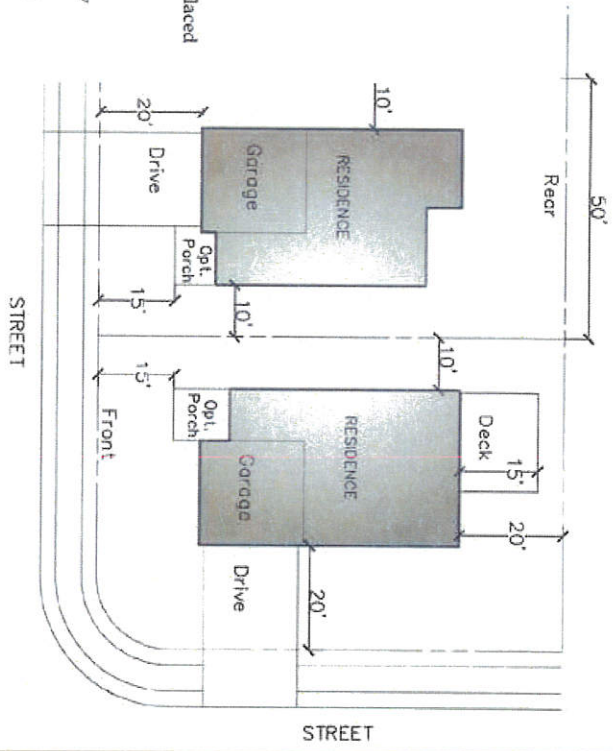


**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

**Single Family Dwelling - Detached  
50' Wide Lot**

Minimum Lot Area	4,500 Sq. Ft.
Maximum Lot Coverage	.40
Maximum Building Height	35 Ft.
Minimum Setbacks	
Front Setback to House	20 Ft.
Side	10 Ft.
Corner Lot (Side)	20 Ft.
Rear Lot Line to House	20 Ft.
Minimum Lot Width	50 Ft.

- Note:
- Rear yard privacy fencing and decking is intended to be placed in the rear yard area
  - Decks may encroach up to 15' into the rear yard
  - Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers may project up to 3' into any required yard or setback.
  - For Single Family homes only, front porches or stoops can encroach 5' into the front yard setback.



Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house typically. Final architectural styles and exterior elevations are subject to change.

Stone Haven  
Design Guidelines

A Planned Community

Prince William County, Virginia

**House Types  
Lot Type: Single Family Dwelling - Detached  
50' Wide Lot**

*House Types*  
**Lot Type: Single Family Dwelling - Attached**  
**36' Townhouse**

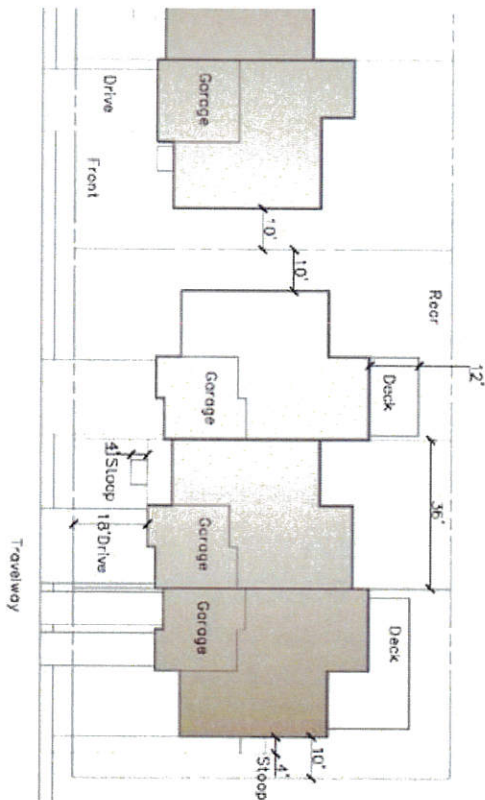
*Single Family Dwelling - Attached*  
**36' Wide Townhouse**

Minimum Building Footprint (per unit)	1000 Sq. Ft.
Maximum Building Height	35 Ft.
Minimum Yards	
Front	18 Ft.
Side (End Unit)	<b>10 Ft.</b>
Rear	20 Ft.
Minimum Setbacks	
Minimum Group Setback (House to House)	20 Ft.
Lot Line to Private Travelway (Parallel Parking)	<b>10 Ft.</b>
Lot Line to Private Travelway (No Parking)	13 Ft.
Corner Lot to Public Street	20 Ft.
Minimum Lot Width	36 Ft.
Open Space for Development Using Townhouse Housing Type	30%

Note:

- Rows of townhouses may contain up to six (6) dwelling units in a group.
- Front setbacks shall be varied a minimum of 2 feet for all townhouse units staggered within a group. Two (2) abutting units may have the same setback provided no more than four (4) units in the group have the same setback.
- Architectural treatment shall vary so that no more than two (2) abutting units are substantially the same, and so that no more than four (4) units in any group are substantially the same.
- Unroofed decks may encroach up to 12' into the rear yard.
- Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, may project up to 3' into any required yard and/or setback.
- Sloops can encroach 4' into the front yard setback or side setback of end units.
- There is no minimum distance required between dwelling units and associated parking spaces.
- For an individual section or phase of a multi-phase project, one-half of the required open space, or 15% shall be provided within that phase or section. The remaining 15% may be provided on a project wide basis.

Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.





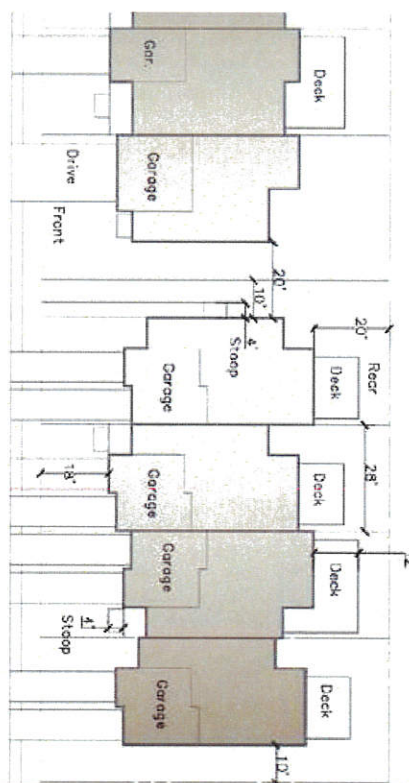
**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

**Single Family Dwelling - Attached  
28' - 30' Wide Townhouse**

Minimum Building Footprint (per unit)	840 Sq. Ft.
Maximum Building Height	35 Ft.
Minimum Yards	
Front	18 Ft.
Side (End Unit)	<b>10 Ft.</b>
Rear	20 Ft.
<b>Minimum Setbacks</b>	
Minimum Group Setback	20 Ft.
Lot Line to Private Travelway (Parallel Parking)	10 Ft.
Lot Line to Private Travelway (No Parking)	13 Ft.
Lot to Public Street	20 Ft.
Minimum Lot Width	28 Ft.
Open Space for Development Using Townhouse Housing Type	30%

**Note:**

- Rows of townhouses may contain up to six (6) dwelling units in a group.
- Front setbacks shall be varied a minimum of 2 feet for all townhouse units staggered within a group. Two (2) abutting units may have the same setback provided no more than four (4) units in the group have the same setback.
- Architectural treatment shall vary so that no more than two (2) abutting units are substantially the same, and so that no more than four (4) units in any group are substantially the same.
- Unroofed decks may encroach up to 12' into the rear yard.
- Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, may project up to 3' into any required yard and/or setback.
- Sloops can encroach 4' into the front yard setback or side setback of end units.
- There is no minimum distances required between dwelling units and associated parking spaces.
- For an individual section or phase of a multi-phase project, one-half of the required open space, or 15% shall be provided within that phase or section. The remaining 15% may be provided on a project wide basis.



**Note:**  
The residential elements contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.

**House Types  
Lot Type: Single Family Dwelling - Attached  
28'-30' Townhouse**

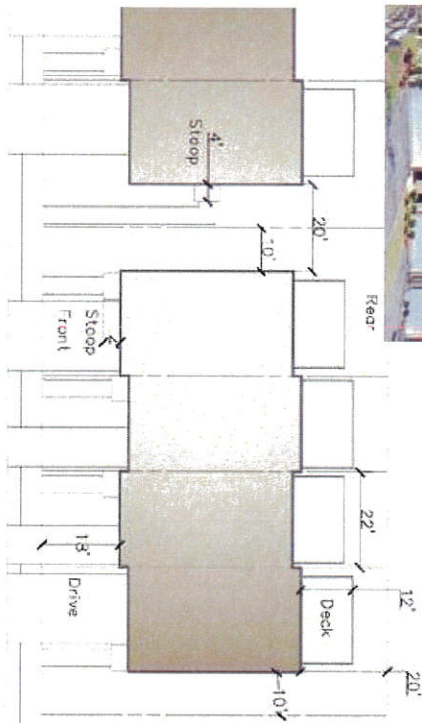
**House Types**  
**Lot Type: Single Family Dwelling - Attached**  
**22'-24' Townhouse**

**Single Family Dwelling - Attached**  
**22' - 24' Wide Townhouse**

Minimum Building Footprint (per unit)	720 Sq. Ft.
Maximum Building Height	35 Ft.
Minimum Yards	
Front	18 Ft.
Side (End Unit)	<b>10 Ft.</b>
Rear	20 Ft.
<b>Minimum Setbacks</b>	
Minimum Group Setback	20 Ft.
Lot Line to Private Travelway (Parallel Parking)	10 Ft.
Lot Line to Private Travelway (No Parking)	13 Ft.
Lot to Public Street	20 Ft.
Minimum Lot Width	22 Ft.
Open Space for Development Using Townhouse Housing Type	30%

- Note:**
- Rows of townhouses may contain up to six (6) dwelling units in a group.
  - Front setbacks shall be varied a minimum of 2 feet for all townhouse units staggered within a group. Two (2) abutting units may have the same setback, provided no more than four (4) units in the group have the same setback.
  - Architectural treatment shall vary so that no more than two (2) abutting units are substantially the same, and so that no more than four (4) units in any group are substantially the same.
  - Unroofed decks may encroach up to 12' into the rear yard.
  - Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, may project up to 3' into any required yard and/or setback.
  - Scoops can encroach 1' into the front yard setback or side setback of end units.
  - There is no minimum distance required between dwelling units and associated parking spaces.
  - For an individual section or phase of a multi-phase project, one-half of the required open space, or 15%, shall be provided within that phase or section. The remaining 15% may be provided on a project wide basis.

**Note:** The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.

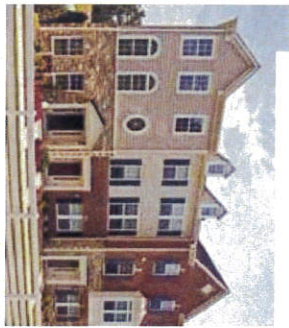
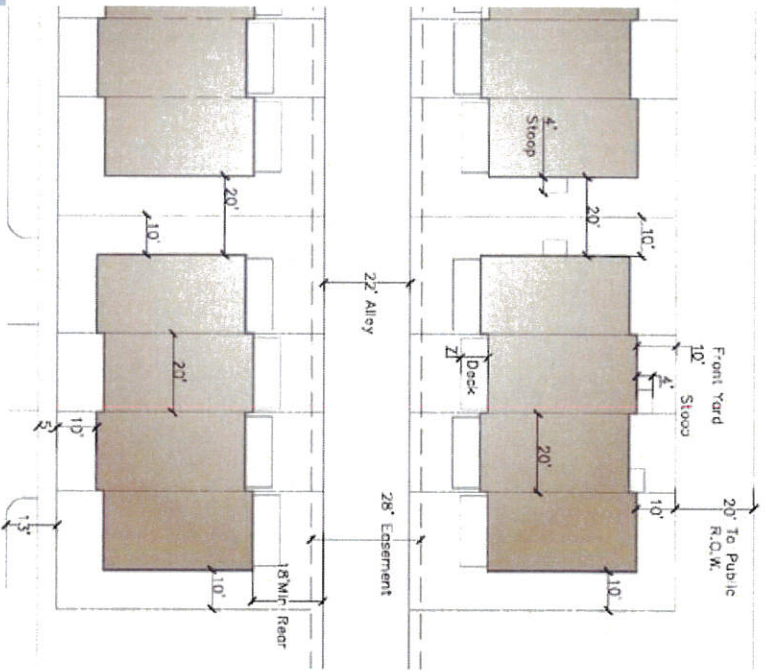


# Attachment D – Stone Haven Design Guidelines dated March 14, 2014, revised November 2, 2015

## Single Family Dwelling - Attached 20' Rear Load Townhouse

Minimum Building Footprint (per unit)	720 Sq. Ft.
Maximum Building Height	35 Ft.
Minimum Yards	
Front	10 Ft.
Side (End Unit)	10 Ft.
Rear	18 Ft.
Minimum Setbacks	
Minimum Group Setback	20 Ft.
Lot Line to Private Travelway (Parallel Parking)	10 Ft.
Lot Line to Private Travelway (No Parking)	13 Ft.
Lot to Public Street	20 Ft.
Minimum Lot Width	20 Ft.
Open Space for Development	30%
Using Townhouse Housing Type	

- Note:
- Rows of townhouses may contain up to eight (8) dwelling units in a group as long as 50% of the groups contain no more than six (6) dwelling units.
  - Front setbacks shall be varied a minimum of 2 feet for all townhouse units, staggered within a group. Two (2) abutting units may have the same setback provided no more than four (4) units in the group have the same setback.
  - Architectural treatment shall vary so that no more than two (2) abutting units are substantially the same, and so that no more than four (4) units in any group are substantially the same.
  - Unroofed decks may encroach up to 7' into the rear yard.
  - Architectural features such as windows, sills, chimneys, cornices, eaves, and gutters, may project up to 3' into any required yard and/or setback.
  - Stoops can encroach 4' into the front yard setback or side setback of end units.
  - There is no minimum distances required between dwelling units and associated parking spaces.
  - For an individual section or phase of a multi-phase project, one-half of the required open space, or 15% shall be provided within that phase or section. The remaining 15% may be provided on a project wide basis.



Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only.

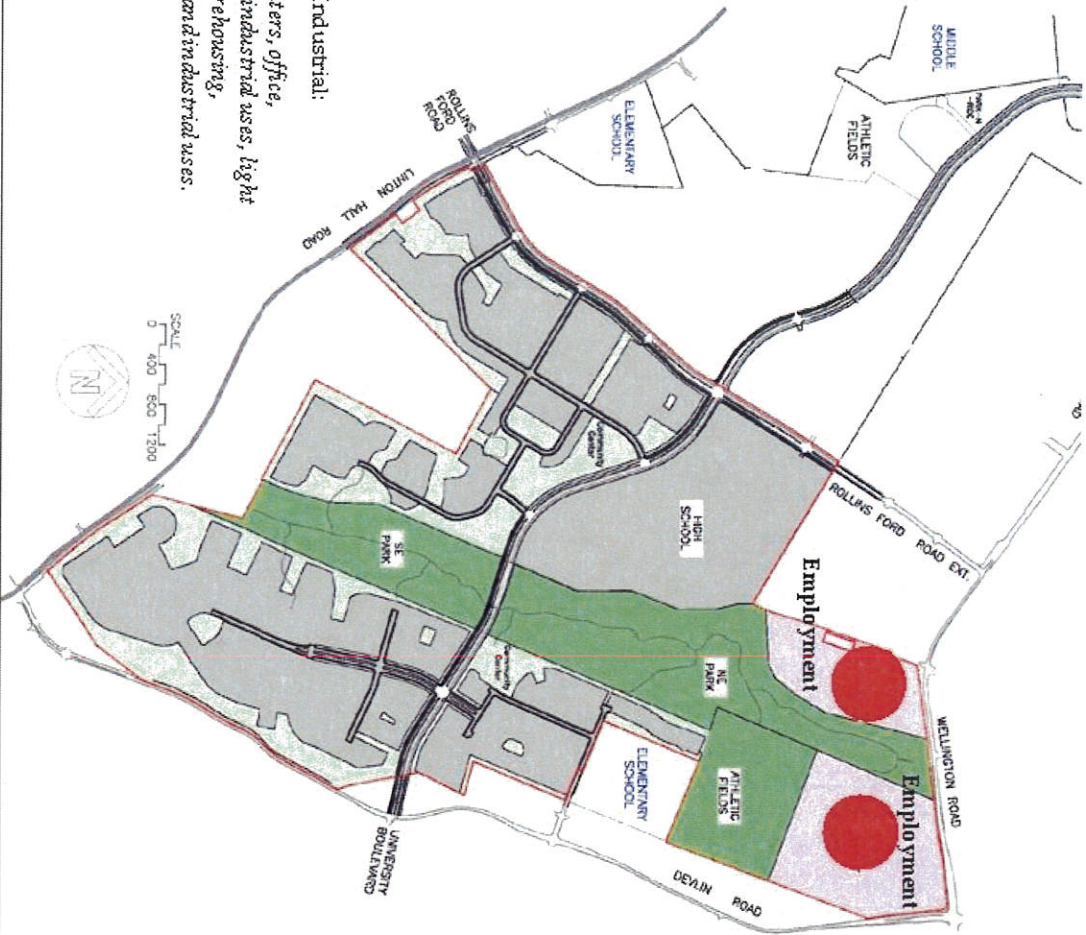
**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

**Non Residential Uses**

Stone Haven will include approximately 72.6 acres along Wellington Road for employment uses.

**Proposed Uses:**

- **Employment**
  - (F) Office/Flex & M-2 Light Industrial:
- Research and development centers, office, institutional, minimal impact industrial uses, light industrial manufacturing, warehousing, wholesaling and related office and industrial uses.*



Stone Haven  
Prince William County, Virginia

Design Guidelines

A Planned Community

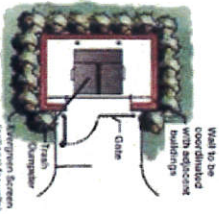
**Non-Residential  
Land Use**

*Non-Residential  
Principles for Building Architecture  
& Site Design*

*Employment Centers  
Guiding Principles for Non Residential Building Architecture*

*Office  
Architecture, Building Materials and Site/Parcel Design*

- A variety of architectural materials and textures shall be used for each building facade. Acceptable elevation materials shall include brick, split faced block, stone, concrete, asphalt shingles, standing seam metal roofing or other appropriate material. Limited use of wood or synthetic wood material may be used for door and window treatments and architectural elements. Additional materials may be substituted subject to review and approval of the DRC.
- Building facades shall be varied and articulated for visual interest.
- Building design shall incorporate either a pitched roof or a parapet element.
- Fascia and trim materials for buildings may be contrasting, but shall be compatible with the colors used for the buildings.
- Doors, window openings and glazing shall be appropriate to the style of building architecture. Any non-glass doors shall be a similar color as the building or a similar color as the trim materials of that building.
- Trash areas and dumpsters shall be screened from view of public rights of way using materials that are architecturally compatible with associated buildings.



*Industrial  
Architecture, Building Materials and Site/Parcel Design*

- Building facades facing major public roadways shall be constructed of brick stone, architectural concrete masonry unit (e.g., regal stone, split ace, prestion, ground face), precast concrete panels or architectural metal panels but not concrete block. Exterior insulation and Finish Systems may be used as a secondary building material on said facades.
- Other materials may be used if approved by the Planning Director, or his designee. In no event shall such building facades be predominately constructed of channel/ridged metal panels or metal siding (vertical or horizontal).
- Building walls facing and visible from major public roadways that have expanses of building facade in excess of 150 linear feet shall contain window openings, faux windows or utilize other architectural treatments which may include such vertical features such as entrances, pilasters, columns, steps, modulation in facade, color and material breaks along said walls.
- Loading and/or outdoor storage areas generally shall be located behind buildings and oriented away from major public street right of way(s). In the event loading and outdoor storage areas are located on the side or front of buildings, said areas shall be screened from view of the public rights of way by landscaping, walls, berms, changes in elevation, and/or fencing.
- Trash areas and dumpsters shall be screened from view of public rights of way using materials that are architecturally compatible with associated buildings.



*Images contained on this page are for illustrative purposes only.*

*Amenities/Open Space*

- Active Open Space (Athletic Fields)
  - Major Community Open Space
  - High School Site
  - Neighborhood Open Space
  - Neighborhood Parks
  - Community Recreational Facilities
  - Major Community Trails
- Community Trail alignment subject to final design.



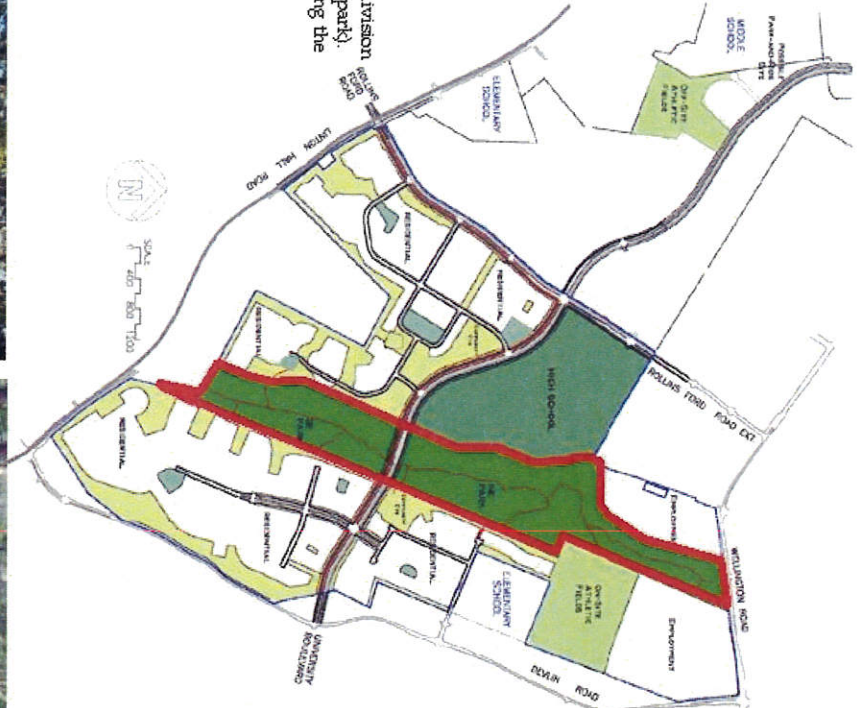
*Amenities – Open Space*

## Amenities & Open Space Community Parks

### Major Community Parks

Stone Haven is committed to dedicating 125 acres of land to be preserved as open space for passive recreational purposes. The Applicant will construct a trail within the linear park area which has the potential to be connected with the Broad Run linear park facilities and other linear parks in the corridor.

- 125+/- acres along the stream valley.
- 2 +/- miles of trails along the stream valley and trail connections to adjacent neighborhoods (locations to be determined in conjunction with site/subdivision plans for development adjacent to linear park).
- An Overlook and/or Observation Deck along the Stream Valley.
- Connection to on-site Athletic Fields.
- Connections to Neighborhoods.



The varied terrain and alternating open meadow, woodland and stream valley conditions afford community park users with a variety of experiences. Park amenities may include sensitively placed park overlook, exercise stations, interpretive areas and smaller play areas along the trail network.

Images contained on this page are for illustrative purpose only.

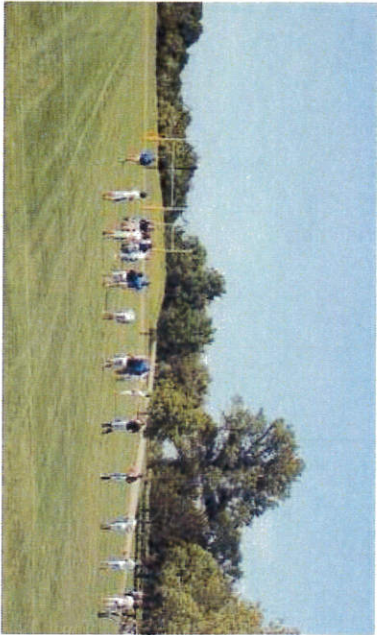
**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

***Athletic Fields***

Stone Haven will incorporate a variety of open space and recreational amenities, both private and public, including the commitment to dedicate two (2) sites for athletic fields/ sports facilities and associated parking. The specific facilities to be provided will be determined in consultation with representatives from the County.

The on-site athletic facility, consisting of 35+/- acres, is located adjacent to the proposed northeast portion of the Linear Park and will be accessible by the linear park trail in addition to vehicular access from Wellington Road.

The off-site athletic facility, containing approximately 19 acres, is located on property adjacent to Gainesville Middle School. This site will have vehicular access from University Boulevard.



Images contained on this page are for illustrative purposes only.



**Amenities & Open Spaces  
Community Amenity Areas**

*Major Community Amenity Areas*

Two community center or community amenity areas are proposed for Stone Haven.

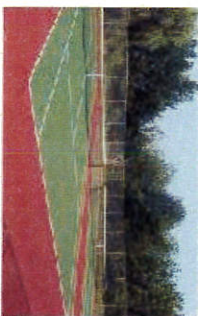
 **Central Community Center  
(Primary Recreation Amenity Area)**

 **East Community Center  
(Secondary Recreation Amenity Area)**



**Amenities to include:**

- Clubhouse with
  - Community Meeting Space/Multi-Purpose Room
  - Fitness Room & Bath House
- 2 Community Pools
- 2 Tennis Courts &/or Multi-Purpose Courts
- 2 Play Area/Tot Lots



One of the two pools within Stone Haven will be a minimum 6-lane, 25 meter facility.



Images contained on this page are for illustrative purposes only.

**Attachment D – Stone Haven Design Guidelines  
dated March 14, 2014, revised November 2, 2015**

**Neighborhood Parks**

Neighborhood Parks will be generally located to complement the Stone Haven community. They will provide varied recreation offerings and serve as focal elements as well as gathering areas. Neighborhood Parks will be designed to incorporate a variety of potential amenities which may include: gazebos, trellis structures, seating, landscaping, tot lot/play areas and the opportunity for community gardens.



*Note:  
Locations of Neighborhood Parks are subject to change.*



*Images contained on this page are for illustrative purposes only.*



*Stone Haven  
Design Guidelines*

*A Planned Community*

*Prince William County, Virginia*

**Amenities – Open Space  
Neighborhood Parks**

**Amenities & Open Space  
 Neighborhood Open Space and Buffer Areas**

**Neighborhood Open Space and Buffer Areas**

Complementing the community and neighborhood parks and recreation facilities within Stone Haven are additional open space and green areas within and between neighborhoods. They provide transition areas between uses, buffers at the community edge, enhanced streetscapes, environmental areas and associated with storm water facilities.

Enhancement of these areas include opportunities for trail linkages, focal architectural elements, seating areas, open lawn and play space and water elements including fountains.



*Images contained on this page are for illustrative purposes only.*

Stone Haven  
 Design Guidelines

A Planned Community

Prince William County, Virginia

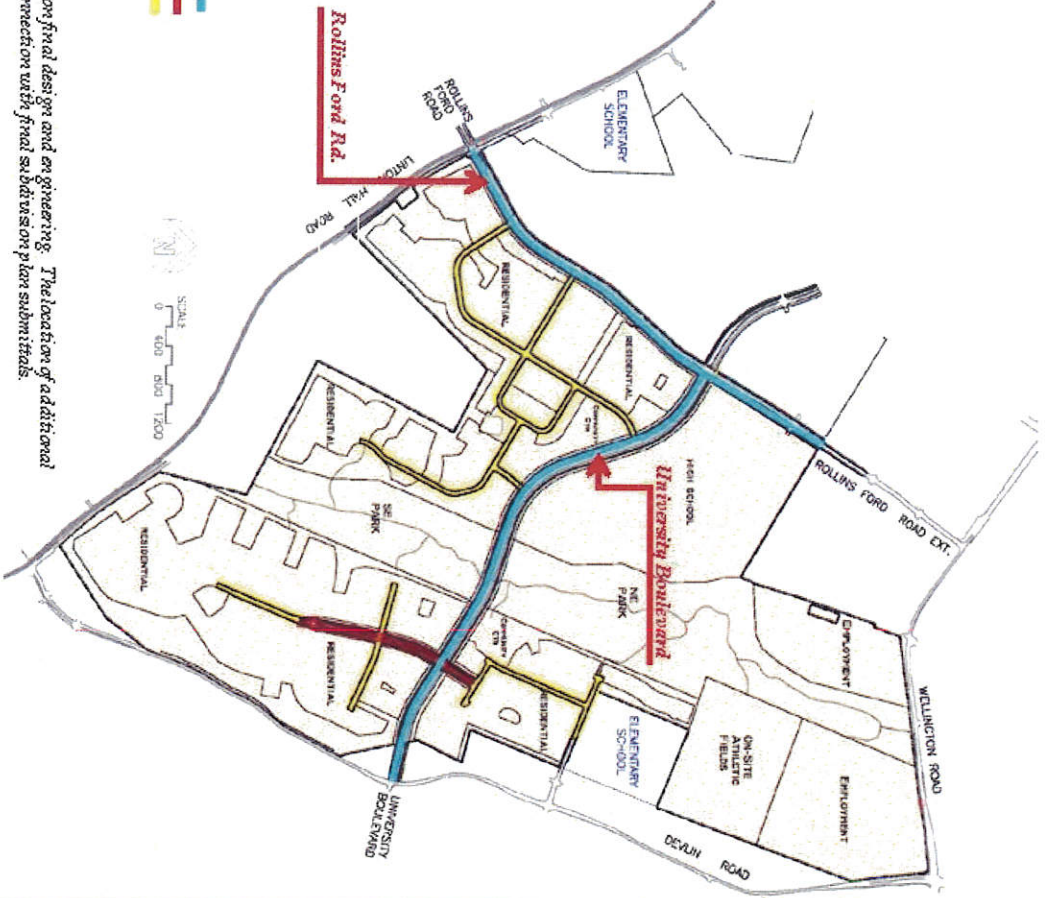
**Street Standards  
 Street Hierarchy**

*The hierarchy of the street network reinforces the overall organization of the community.*

**Road/Street Sections**  
 Streets will be arranged to distribute traffic evenly throughout the community. Proposed road and street sections are depicted on the following pages.

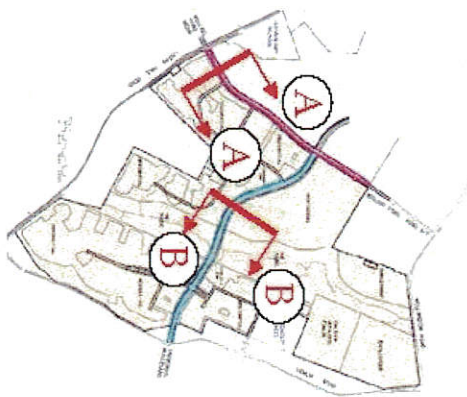
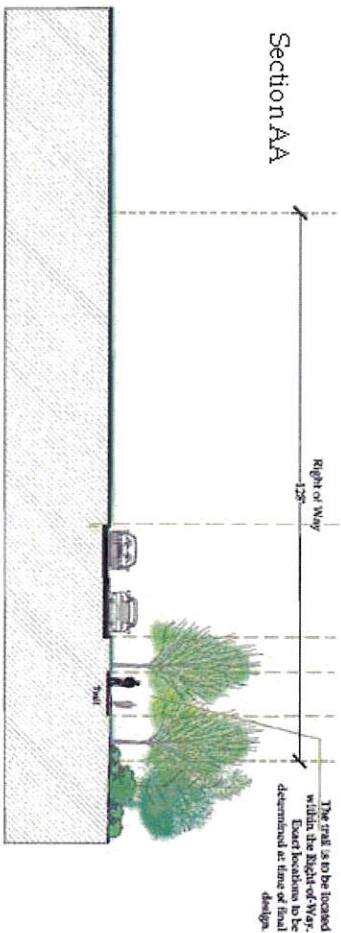
- Minor Arterial
- Community Street-Divided
- Community Streets

\* Locations and alignments may change based on final design and engineering. The location of additional neighborhood streets will be determined in connection with final subdivision plan submissions.



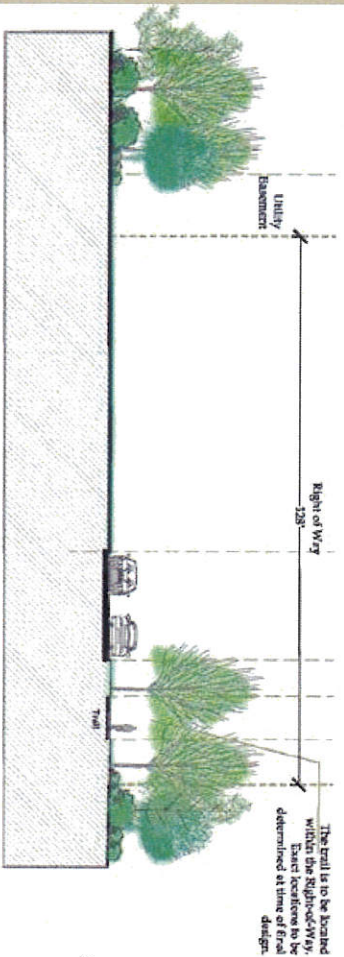
**Street Standards**  
**Principle Arterial**

**Street Standards**  
**Minor Arterial**  
**University Boulevard & Rollins Ford Road**



The trail is to be located within the Right of Way. Exact locations to be determined at time of final design.

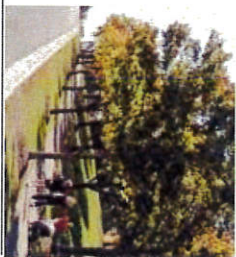
Section BB



The trail is to be located within the Right of Way. Exact locations to be determined at time of final design.

Landscape subject to VDOT approval.

Images contained on this page are for illustrative purposes only.



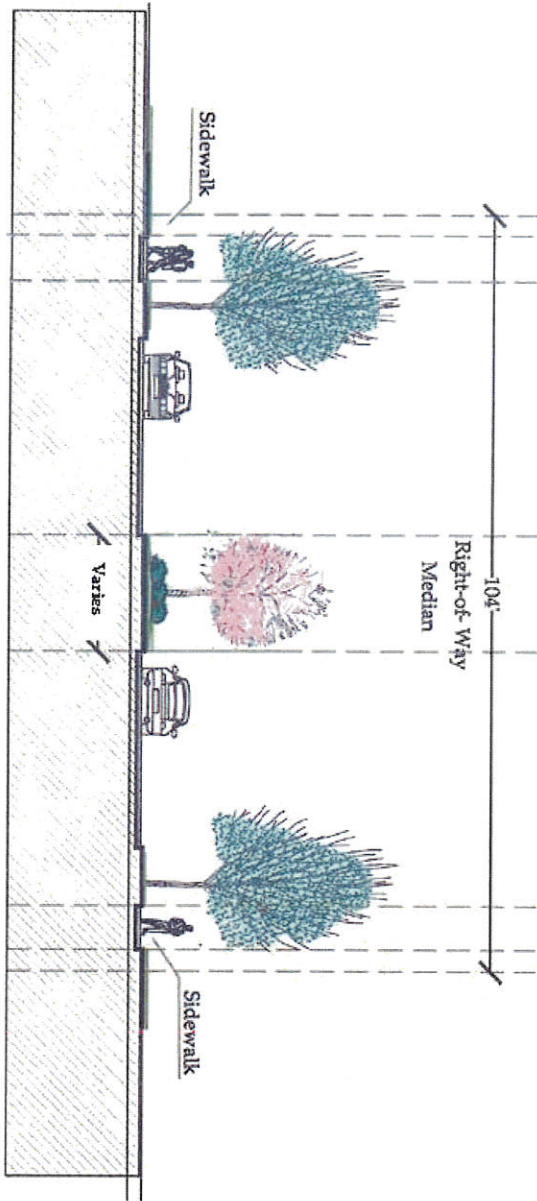
Subject to Prince William County Transportation and/or VDOT Approvals

*Street Standards  
Community Street  
with Median*



Images contained on this page are for illustrative purposes only.

SECTION



Stone Haven  
Design Guidelines

A Planned Community

Prince William County, Virginia

*Street Standards  
Community Street with Median*

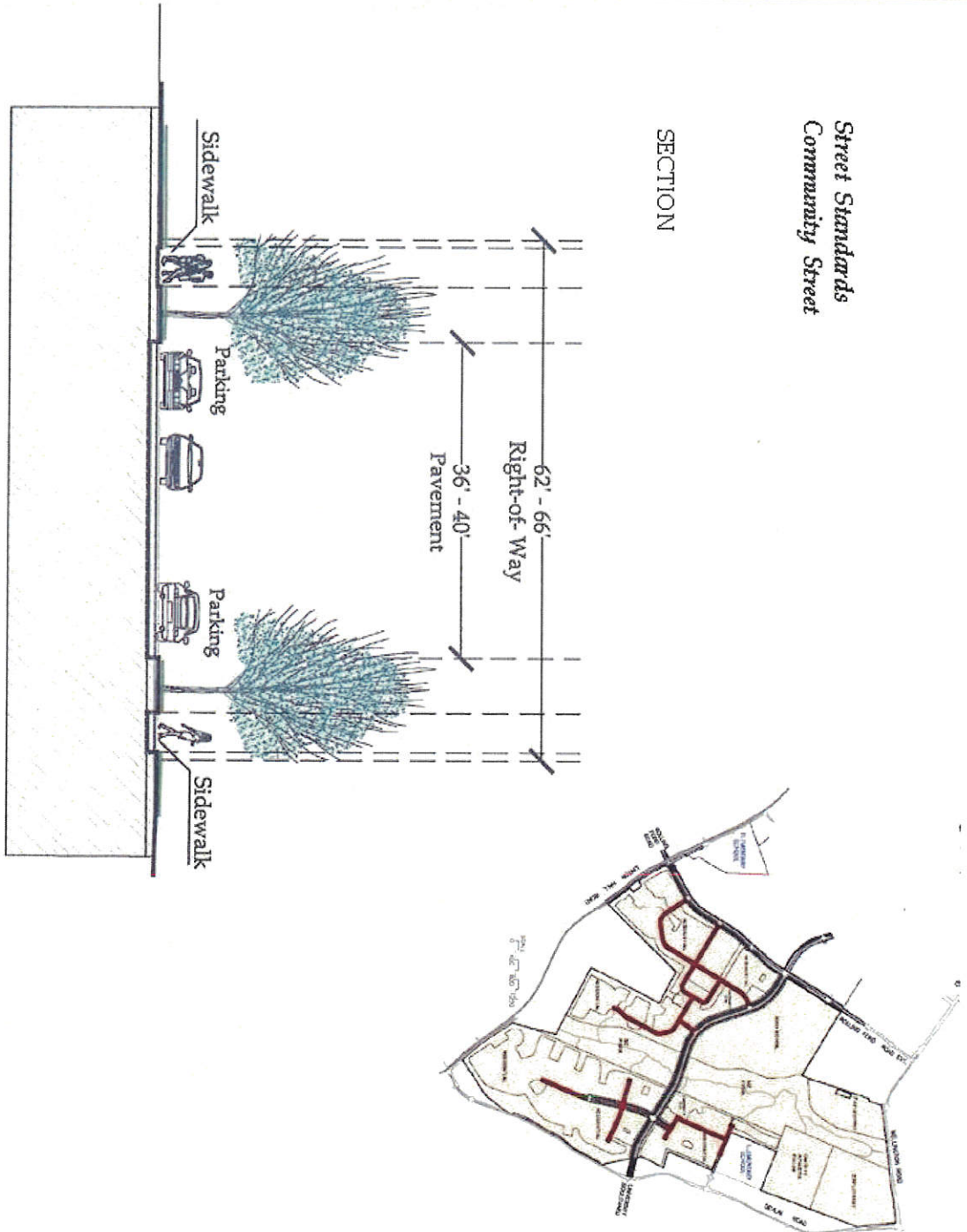
*Street Standards  
 Collector Street*

36

*Stone Haven  
 Design Guidelines*

*A Planned Community*

*Prince William County, Virginia*

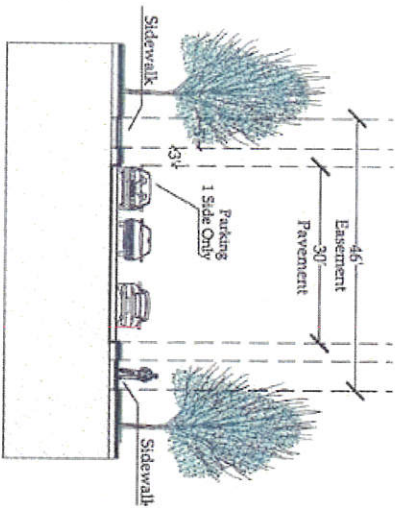
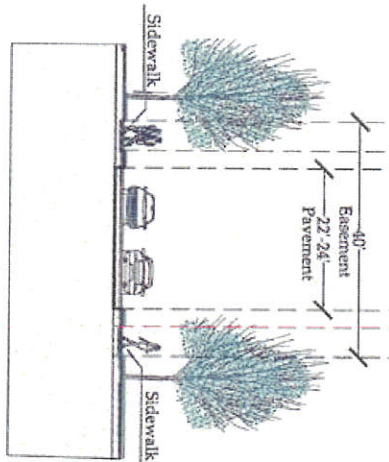
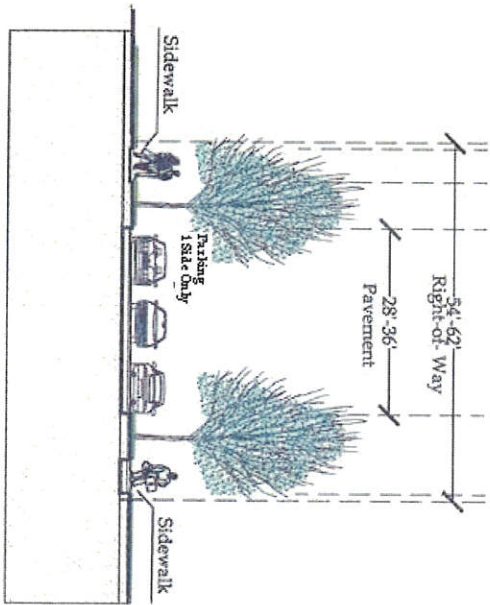


*Street Standards*

*Neighborhood Street*

*Residential Private Streets*

SECTIONS





*Streetscape Considerations*

**Lighting**

Light fixture illumination will be provided from indirect sources such as landscape, accent up lighting and down lighting.

Accent up lighting will be directed only onto non-reflective surfaces and must minimize light pollution of dark skies.

Pole mounted sources shall have a controlled cutoff reflector and match public street lighting.

Colored lenses will be generally prohibited.

Lighting shall be positioned and/or screened to minimize light spillover to adjacent sites and communities.

Lighting will be provided within the community to provide safety and security. It will also be used to highlight architectural and landscape features and illuminate signage.

A single coordinated style of light fixtures and poles will be provided throughout Stone Haven Neighborhoods. Lighting must be in strict conformance with the Prince William County and VDOT regulations.

Street Lighting will be provided in various scales and types as appropriate to the hierarchy of the roadway.

Parking lot lighting shall provide adequate illumination for security. The pole and fixture shall be coordinated with the design and color chosen for pedestrian fixtures.

Residential Light Height: Max. 16'  
Non-Residential Light Height: Max. 30'

**Cross walks**

Street crosswalks should be provided across all public streets, private vehicular access ways and service drives. Crosswalks should provide both cues to the pedestrian and driver to promote "traffic calming". Contrasting paving materials may denote walks or appropriate painted striping.



**Street Furnishings /Sculpture / Stone Features**

The street furnishings within each neighborhood will be coordinated to insure they provide a unifying streetside character to reinforce the identity of "place" and provide a definition of public edges and spaces.



Seating

**Examples**



Pedestrian lights are intended to enhance a human scale while providing adequate illumination for public safety along the sidewalks and multi-use trails of the community. 14' – 16' high



Bollards



Planters

Sculpture may be used but shall be appropriate in scale, form and texture. It should not contain flashing or moving lights.

Fountains and water features may be appropriate in pedestrian/plaza areas.

Stones, rocks and boulders shall be incorporated in various locations on the property as decorative features, where appropriate.

Stones shall be incorporated as a decorative element at the University Boulevard crossing of Piney Branch where feasible (e.g. culvert wall or decorative wall(s) or pillar(s)).



Bike Racks

*Images contained on this page are for illustrative purposes only.*

*Streetscape*

## Pedestrian Network/Trails

### Stone Haven Pedestrian Network\*

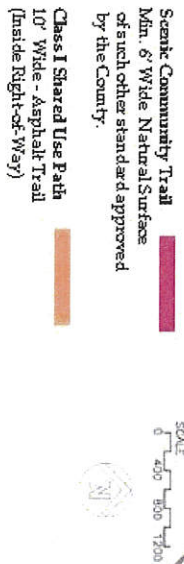
The pedestrian network within Stone Haven will be extensive and encompass the entire site. It will consist of a hierarchy of trails, walks and paths from streetside conditions to the natural areas of the stream valley parks.

The system will provide the community with a range of walking, biking and hiking experiences and community wide connectivity between employment, institutional, residential and recreational amenities.

Neighborhood sidewalks or trails will be provided on both sides of subdivision streets within the residential neighborhoods.

The community trail network will feature both streetside and stream valley trail lengths. The streetside system will focus on a 10' wide asphalt multi-use trail along University Boulevard and Rollins Ford Road.

Additional scenic community trails are proposed within the linear park running along Piney Branch. Approximately two miles of trail with connection lengths to the adjacent residential neighborhoods are proposed.



\*Subject to such modifications proposed with final site/subdivision plan submitted and approved by Prince William County.



Stream Valley Trails will feature linkages through woodland, field and stream crossings.



Trail lengths along University Boulevard and Rollins Ford Road are proposed for location streetside.



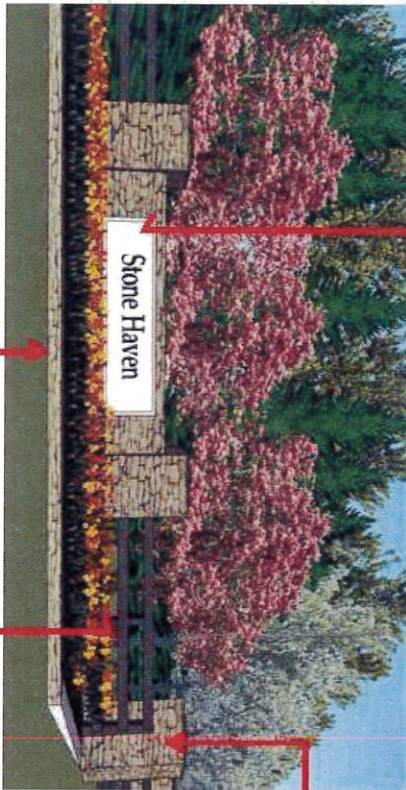
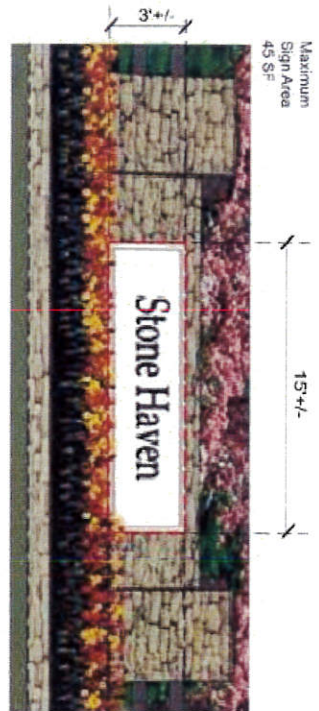
Images contained on this page are for illustrative purposes only.

Community & Neighborhood Portals

Project Entries  
Materials - Elements



Stone Walls / Precast Sign Panel



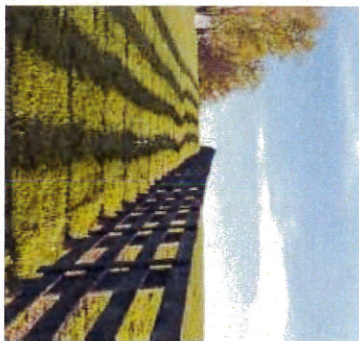
Stone Piers



Possible Low Stone Platform Element with Low Perimeter or Shrub Bed

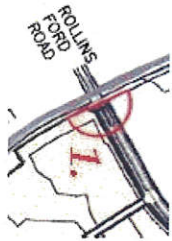


Crosswalk or Entry Apron surfaced in cobble or comparable special pavement material subject to County/VDOT approval.

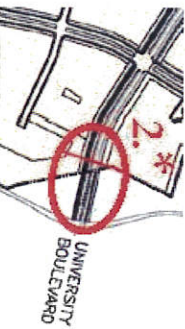


Black Board Fencing

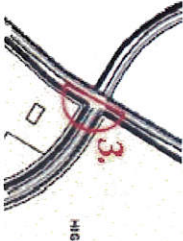
Community Entries



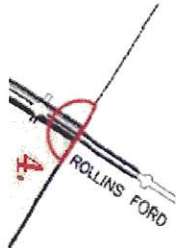
Rollins Ford/Inton Hall



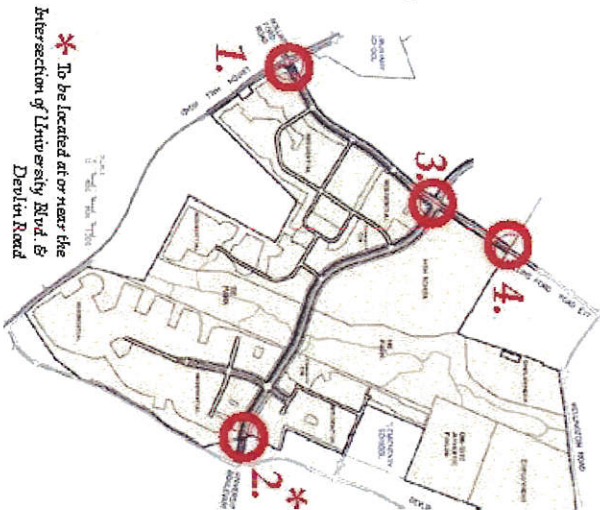
University Boulevard - East



University Boulevard - West



Rollins Ford Road - North



□ Main and secondary entries within Stone Haven will feature a hierarchy of complementary monumentation and landscape treatments to reinforce the sense of arrival into the overall community as well as individual neighborhoods and community facilities. Entry signage will be designed as an integral part of the community and incorporate lighting, where appropriate, and be visible from the street without encroaching into the public right-of-way. All monumentation shall be architecturally and aesthetically compatible with adjacent buildings, structures and landscaping.

□ All signage shall attempt to incorporate natural stone, pre-cast concrete sign panels, backdrops of evergreen plant material, lengths of black wood board fencing and ground mounted up-lighting.

□ Monument entry features identifying the project shall be permitted at the primary entrances to the Property. The monument entry feature(s) shall be landscaped and any lighting shall be low intensity and shall be shielded so that it does not shine upward beyond the height of the entry feature. Any signage on the monument feature shall require sign permit approval.

□ Neighborhood monument entry signs shall be permitted at the entrance to each residential neighborhood.

*Community & Neighborhood Portals  
Mumentation*

44

*Stone Haven  
Mumentation*

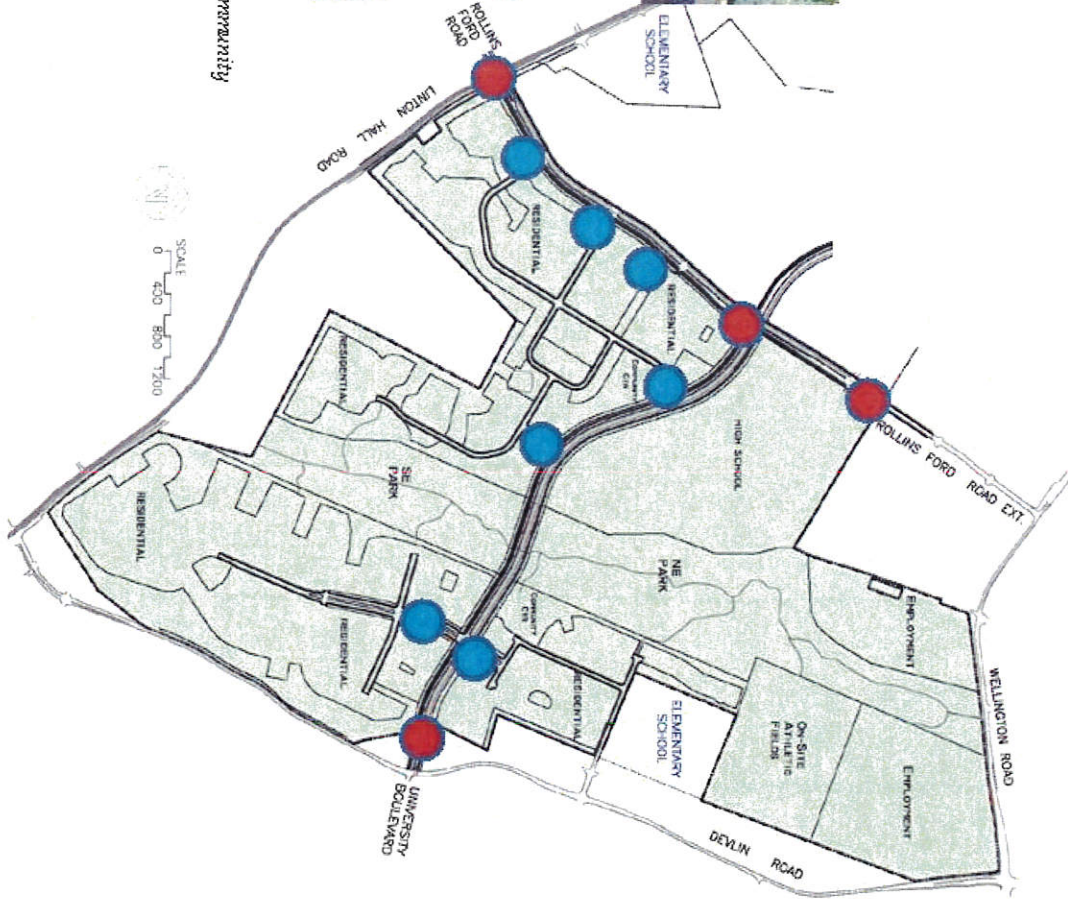
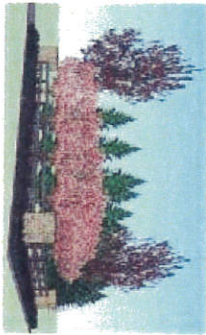
Community Entries



Neighborhood Entry  
(Typical)



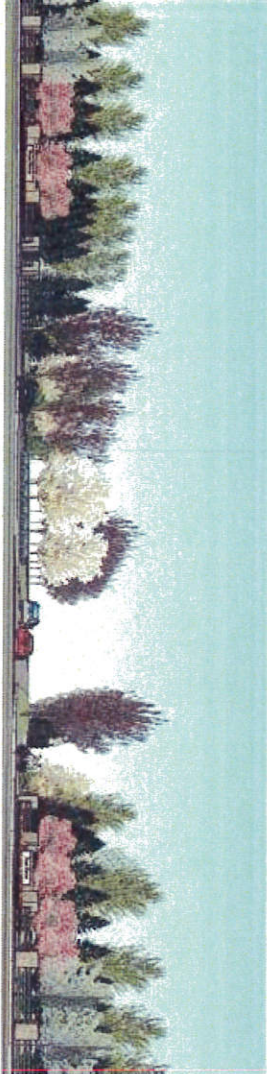
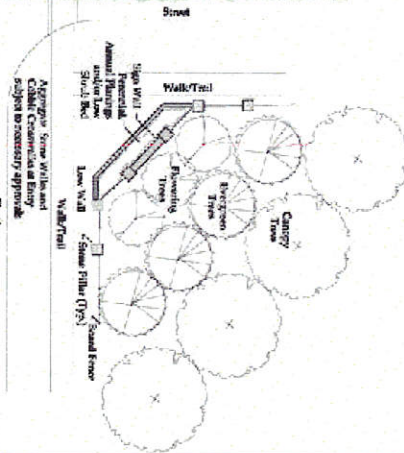
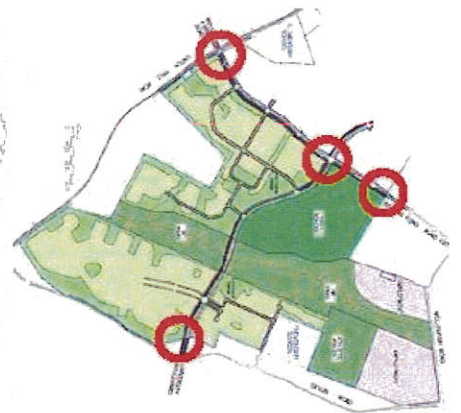
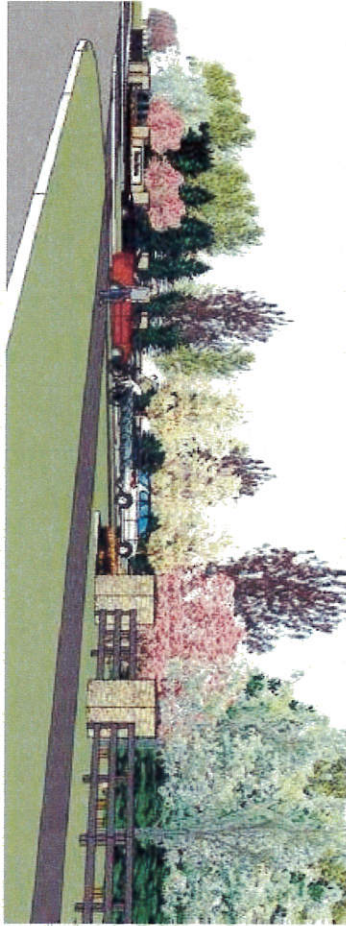
Community Nodes (Typical)  
T.B.D at various locations throughout the community



*Project Entries  
Typical Community Entry*



*Representative Example of  
Main Community Entries –  
Subject to Final Design.*



**Conceptual Plan:**  
**Main Community Entries**  
Minimum standards for plant materials associated with entry signage and monumentation:  
Large Deciduous Trees: 25" Caliper @ 4.5' Height  
Other Deciduous Trees: 6-8" Height  
Evergreen Trees: 6-7" Height  
Shrubs: 18"-24" Height  
Perennial & Ornamental Grasses: #1 Container  
\*May include plant material associated with adjacent landscape areas  
\*\*except quality diverfunktiles

Stone Haven  
Design Guidelines

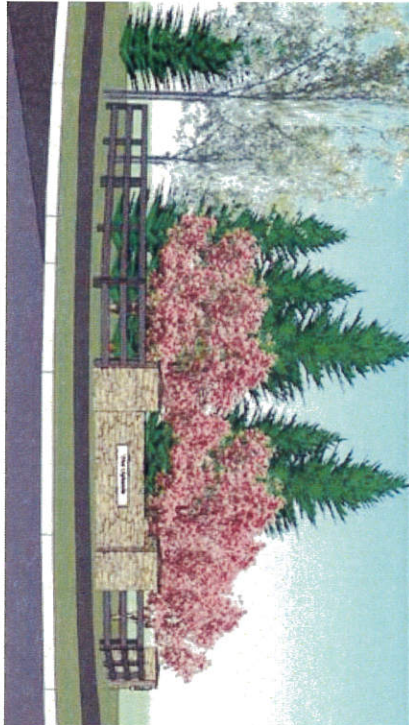
A Planned Community

Prince William County, Virginia

**Community Entry  
Community & Neighborhood Portals**

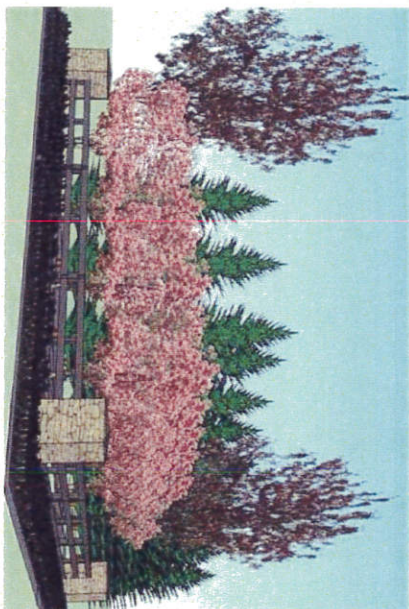
*Neighborhood Entries and Nodes  
Community & Neighborhood Portals*

*Project Entries  
Neighborhood Entry & Nodes*

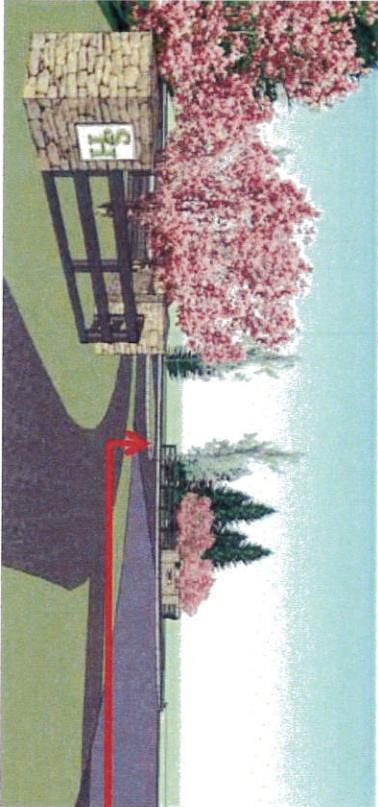


Neighborhood Entries to utilize a combination of stone wall with precast sign panel flanked by board fence. Pillars may be introduced at termination of fence lengths. This treatment may be replicated at entries to community facilities.

*Representative Example of  
Neighborhood Entry Node Treatments  
Subject to Final Design*



Stone pillars and fence lengths may be positioned at other locations within Stone Haven particularly at major intersections along the edges and/or entries to public and community facilities.



Crosswalk or Entry Aprons surfaced in cobble or comparable special pavement material subject to County/VDOT approval.





# Attachment D – Stone Haven Design Guidelines dated March 14, 2014, revised November 2, 2015

## General Landscape Considerations

- Yard trees shall be planted for all residential units at an average minimum of one yard tree per 2,000 square feet of single family detached residential lot and one yard tree per 3,000 square feet of attached residential lot.
- Single Family Lots should include a minimum of one canopy tree and one ornamental tree per home.
- Yard trees may include ornamental trees.
- Existing or saved trees may be substituted for required plantings at a ratio of 1 existing tree for 2 required trees, however at least one front yard tree is required.
- Foundation shrubs shall be provided for all single family detached and attached residences along any building facade with direct exposure to public rights-of-way, private streets, common driveways of parking areas.
- Evergreen trees shall be placed to screen rear yards that are exposed to public and private streets, common driveways and parking areas.



Example of Layering Foundation Shrubs



Accent Lawn Trees



Perennials, Ornamental Grasses and Hedges



Evergreen Trees employed as Screen

- Foundation shrubs and plantings for single family detached and attached units shall be provided at a minimum of one plant per three feet of any building facade length with direct exposure to public right-of-way, private streets, common driveways or parking areas.
- Plant material shall be chosen based on the relationship of ultimate height and width with regard to the space in which planted. Layering of plant materials is encouraged. Taller plants shall be placed behind lower plants.
- Beds of plant material providing season color are encouraged.
- Use of perennials, ornamental grasses and hedges are highly encouraged.
- Shrubs shall be planted a minimum of three feet from building foundations.
- Architectural building corners should be softened with evergreen trees or plant masses of sufficient height to soften corners.
- All planting beds must be covered with shredded hardwood mulch at sufficient depth to cover the topsoil.
- Screening, either plant material, fencing and/or berms shall be provided for all non residential mechanical equipment, trash storage and similar uses.

## Landscape / Streetscape General Planting Considerations

Landscape / Streetscape  
Street Trees

Streetscape Considerations

Street Tree Planting

A coordinated street tree program provides a framework to unify the streetscape, define the character of the street and provide a sense of continuity throughout the community. The street tree program within Stone Haven is premised on identification of appropriate species for road lengths for each category of road type within the community.

- Trees shall be planted continuously 3 feet from the edge of sidewalk and street and shall be a type that provides a large canopy at maturity.
- Street tree spacing shall be not less than 50 feet. Spacing and placement may be modified where driveway width assessments necessitate.
- The size of street trees at the time of planting shall be 2.5", 3" caliper and ornamental trees shall be a minimum of 1" caliper or 8'-10' in height.
- A single type of tree shall be used for the entirety of a single roadway or street.
- The planting shall conform to County and VDOT requirements with regard to final species selection and sight distance.
- Street Trees shall be planted on both sides of all public streets.
- Street Trees shall be allowed to be allocated with underground storm sewer pipes so long as the pipes are a minimum of 3 feet in depth and a root barrier is provided around pipes that are less than 3 feet deep and co-located with street trees.

Suggested Street Trees

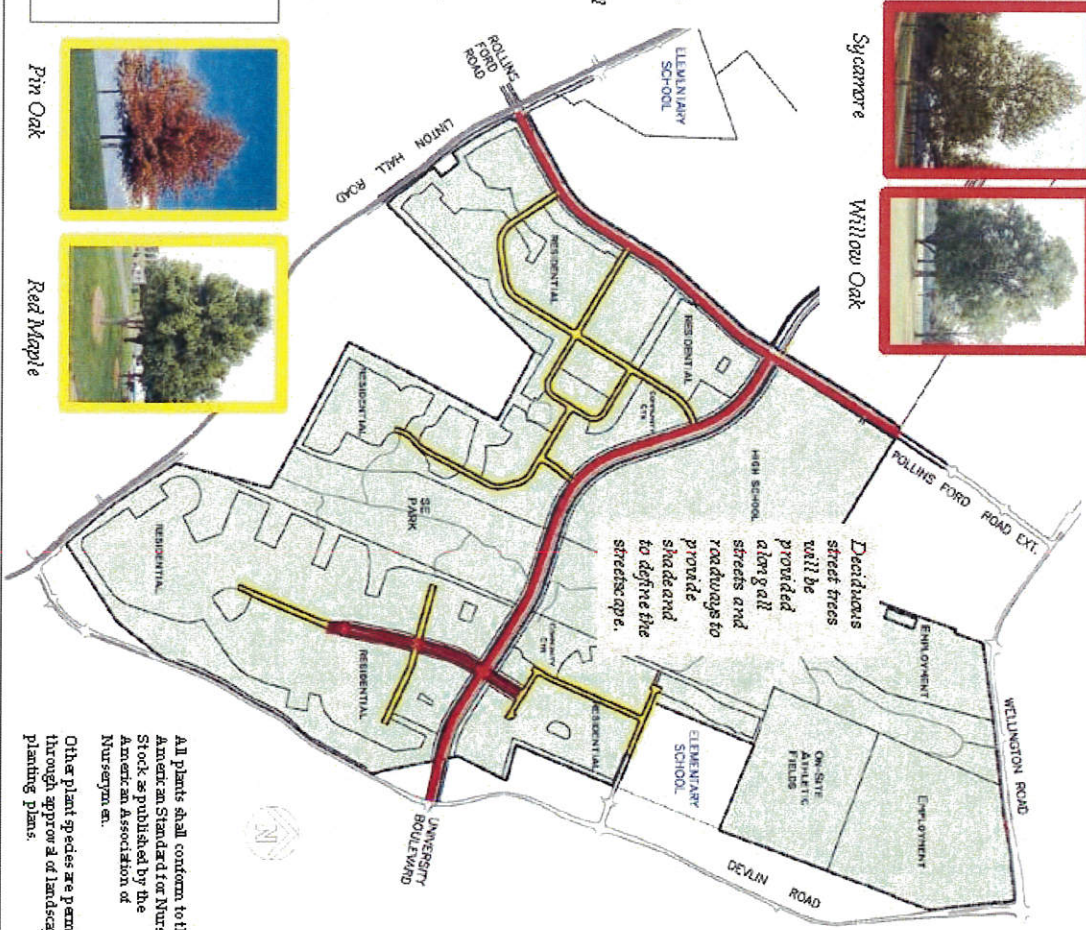
Acer rubrum var.	Red Maple
Quercus palustris	Pin Oak
Quercus phellos	Willow Oak
Quercus shumardii	Shumard Oak
Platanus occidentalis	Sycamore
Tilia americana	American Linden
Tilia cordata	Littleleaf Linden
Zalovya serrata	Japanese Zelkova
Ulmus var.	"V" Valley Forge or "New Harmony" Elm



Sycamore



Willow Oak



Pin Oak



Red Maple

All plants shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen et al.

Other plant species are permitted through approval of landscape planting plans.

# Attachment D – Stone Haven Design Guidelines dated March 14, 2014, revised November 2, 2015

## Suggested Plant Palette

### Canopy Trees

<i>Acer rubrum</i> var.	Red Maple
<i>Acer saccharum</i>	Sugar Maple
<i>Fagus grandiflora</i>	American Beech
<i>Fagus sylvatica</i>	European Beech
<i>Fraxinus americana</i>	White Ash
<i>Myrica sylvatica</i>	Black Gum
<i>Ostrya virginiana</i>	Hopbushbeam
<i>Platanus x acerifolia</i>	London Planetree
<i>Prunus serotina</i>	Sergeant's Cherry
<i>Quercus alba</i>	White Oak
<i>Quercus coccinea</i>	Scarlet Oak
<i>Quercus pedunculata</i>	Pin Oak
<i>Quercus phellos</i>	Willow Oak
<i>Quercus rubra</i>	Red Oak
<i>Quercus shumardii</i>	Shumard Oak
<i>Tilia americana</i>	American Linden
<i>Tilia cordata</i>	Littleleaf Linden
<i>Ulmus americana</i>	American Elm
<i>Ulmus parviflora</i>	Chinese Elm
<i>Zelkova serotina</i>	Japanese Zelkova

### Evergreen Trees

<i>Cedrus atlantica</i>	Atlas Cedar
<i>Cryptomeria japonica</i>	Japanese Cryptomeria
<i>Cupressocyparis leylandii</i>	Leyland Cypress
<i>Ilex x 'atenuata 'Foster'</i>	Foster Holly
<i>Ilex opaca</i>	American Holly
<i>Juniperus virginiana</i>	Eastern Red Cedar
<i>Magnolia grandiflora</i>	Southern Magnolia
<i>Magnolia sp.</i>	Magnolia species
<i>Pinus obata</i>	Norway Spruce
<i>Pinus taeda</i>	Loblolly Pine
<i>Pinus nigra</i>	Austrian Pine
<i>Pinus thunbergii</i>	Japanese Black Pine
<i>Pinus virginiana</i>	Virginia Pine
<i>Thuja occidentalis</i>	American Arborvitae
<i>Tsuga caroliniana</i>	Carolina Hemlock

### Material Selection

Shrubs selections are to be primarily evergreen to promote year round interest, and screen incompatible uses. Typically, deciduous shrubs are to be used as accent plantings, integrated into the planting beds at less prominent areas. The combination of two shrub types will help create the desired layering effect throughout the design.

Ornamental Trees are to be used at key focal points to provide seasonal color. The growth habits of the plant material will assist in creating a vertical element in the landscape. Such trees will typically be around 20' in height at maturity.

Canopy Trees are to be used along the streetscape, in open space, and parking lot islands. These trees shall be large deciduous trees, 2'-2 1/2" at time of installation, that will grow to at least 30' height at maturity.

Evergreen Trees are to be used along incompatible uses and/or views to assist in screening undesirable views. The plant material are to grow to at least 15' at maturity. Evergreen trees are to be a minimum of 6'-7' height at installation.

All plants shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen. Other plant species are permitted through approval of appropriate landscape planning plans by the DRC.

### Ornamental Trees

<i>Acer palmatum</i>	Japanese Maple
<i>Amelanchier</i> spp.	Serviceberry
<i>Betula nigra</i>	River Birch
<i>Carpinus caroliniana</i>	American Hornbeam
<i>Cercis canadensis</i>	Eastern Redbud
<i>Chionanthus virginicus</i>	Fringe Tree
<i>Cornus florida</i>	Flowering Dogwood
<i>Cornus kousa</i>	Kousa Dogwood
<i>Lagerströmia indica</i>	Crape Myrtle
<i>Prunus serotina 'Kwanzen'</i>	Kwanzen Cherry
<i>Prunus yedoensis</i>	Flowering Cherry

### Shrubs - Evergreen

<i>Abelia grandiflora</i>	Glossy Abelia
<i>Ilex</i> spp.	Holly
<i>Juniperus horizontalis</i>	Juniper
<i>Pieris japonica</i>	Japanese Pieris
<i>Prunus laurocerasus</i>	Skip Laurel
<i>Rhododendron</i> spp.	Azalea varieties
<i>Taxus</i> spp.	English Yew

### Shrubs - Deciduous

<i>Colycanthus floridus</i>	Carolina Allspice
<i>Clethra alnifolia</i>	Summersweet
<i>Cornus stricta</i>	Redosier Dogwood
<i>Cotoneaster</i> spp.	Cotoneaster
<i>Forsythia x intermedia</i>	Forsythia
<i>Itea virginica</i>	Virginia Sweetspire
<i>Hamamelis virginiana</i>	Virginia Witchazel
<i>Rhododendron</i> spp.	Azalea varieties
<i>Viburnum</i> spp.	Viburnum

### Groundcovers

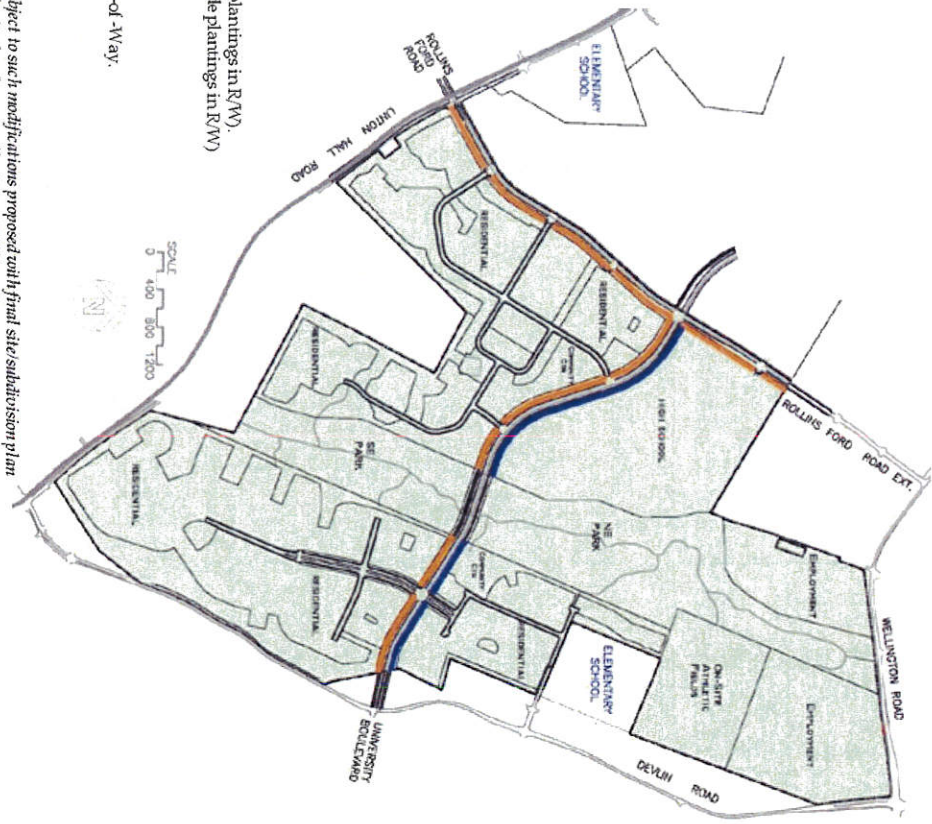
<i>Liriope muscari</i>	Liriope
<i>Hosta</i> spp.	Hosta
<i>Pachysandra terminalis</i>	Pachysandra

## Landscape / Streetscape Plant Palette

*Landscape / Streetscape*  
**University Boulevard / Rollins Ford Road**

*University Boulevard / Rollins Ford Streetscape*

- Legend**
- Condition 1:**  
10' Trail in Right-of-Way,  
30' Buffer Strip adjacent to Right-of-Way,  
126 PU/100 LF if Berm Provided (to include plantings in R/W),  
180 PU/100 LF if no Berm Provided (to include plantings in R/W)  
Street Trees Planned 1/50 LF.
  - Condition 2:**  
15' Utility Strip & 30' Buffer adjacent to Right-of-Way,  
126 PU/100 LF if Berm Provided  
180 PU/100 LF if no Berm Provided



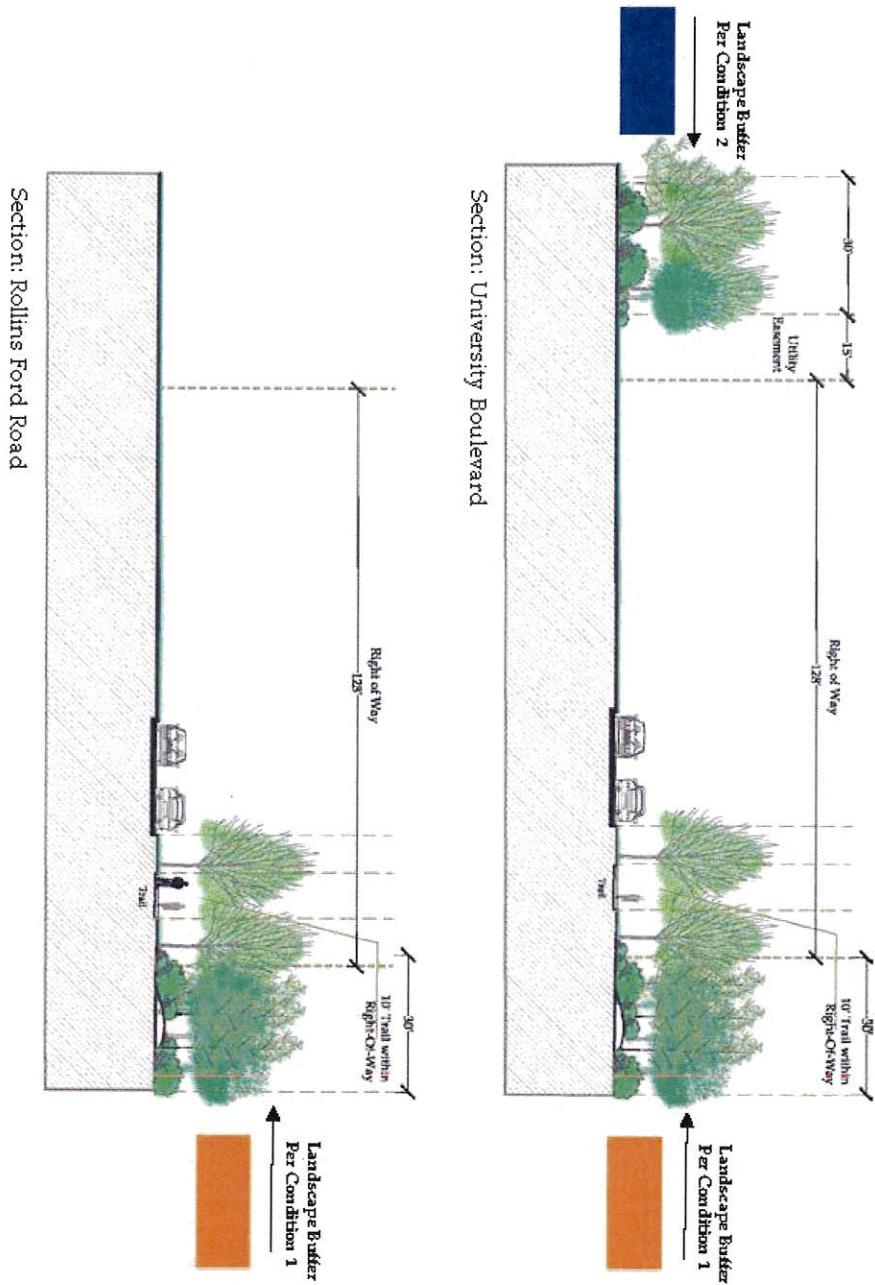
*Subject to such modifications proposed with final site subdivision plan  
submitted and approved by Prince William County.*

Stone Haven  
Design Guidelines

A Planned Community

Prince William County, Virginia

*University Boulevard / Rollins Ford Streetscape*



*Stone Haven  
Design Guidelines*

*A Planned Community*

*Prince William County, Virginia*

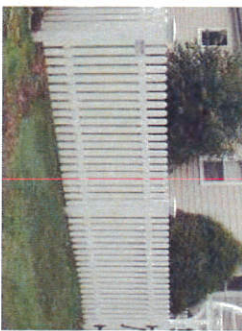
**Landscape / Streetscape  
University Boulevard / Rollins Ford Road**

*Fencing and Screening*

*Rear Yard* fencing is limited to split rail or comparable fencing with a maximum height of four feet. Wire mesh, secured to the rail lengths is an acceptable material to provide barrier protection. Fencing may be board or rail, natural or dark stained. Two, three or four rail/board sections are acceptable. Rear yard fencing for single family detached homes may extend no further than 1/2 way up the side yard.



*Front Yard* fencing shall be a white picket style fence with a maximum height of 3 feet.



*Privacy Fencing* is limited to the side and rear yards of single family attached units. Flush solid wood board fence style is acceptable with a maximum height of 6 feet. Alternating board on board, shadow, stockade style or dog ear style fencing is not acceptable. Exposed rails and posts shall be on the interior (residence side) of the fence. Fences shall include a cap board.



*Solid wood board privacy fence with cap board.*

Chain Link Fencing is not permitted.

*Images contained on this page are for illustrative purposes only.*

## Purpose of Regulations

### *Purpose of Regulations*

Approvals is required for all construction and improvements. To that end, a Design Review Committee (DRC) shall be formed to carry out this review and approval responsibility. The DRC will establish rules governing the content of submission to builder's plans and the procedures for review of these plans. The DRC membership at the outset shall include, at a minimum, three (3) members which shall include a representative of the owner, and/or an architect, and/or a landscape architect and/or an engineer.

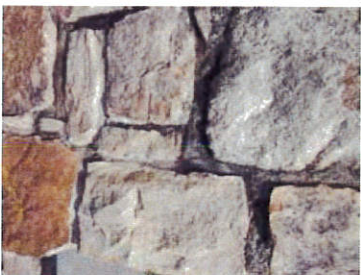
The purpose of these standards is to set forth requirements, procedures and technical criteria for the comprehensive review of site or development plans and exterior building elements. The DRC will establish criteria and enforcement policies that may go beyond government agency requirements, but will not take precedence over any governmental rules and regulations. Once County minimums are approved, additional criteria may be established by the DRC.

The objective of the Stone Haven DRC is to achieve equitable and consistent harmony between builders of this community and its neighbors. Plans requiring review will include: Development Plans, Site Plans, Architectural Plans, Material and Exterior Colors, Landscape Plans, Sales Area and Temporary Structure Plans, and Signage Plans.

Minor modification to the Design Guidelines may be made at the time of final site/subdivision plan.

More substantial modifications to the Design Guidelines may be approved by a majority vote of the membership of the DRC with the approval of the Planning Office. Such modifications shall be documented to insure the design intent of the modification can be clearly understood and implemented. Documentation may include the preparation of architectural, landscape, and engineering standards and criteria, as appropriate, to be included in the changes sought. No amendment, revision or waiver shall be approved which is not substantially consistent with these Design Guidelines and the zoning.

Each amendment, revision or waiver to be considered by the DRC shall be first forwarded to the Prince William County Director of Planning, who shall have ten (20) business days from receipt to notify the DRC in writing that he or she has determined said amendment, revision or waiver to be substantially consistent with these Design Guidelines and Zoning. The Planning Director's written determination shall include specific references to those portions of the Design Guidelines or conditions on the zoning which are the basis for such determination. The DRC shall not approve any such amendment found substantially inconsistent by the Planning Director. Failure of the Planning Director to provide such written notice shall automatically mean that he or she has determined such amendment, revision or waiver is substantially consistent with these Design Guidelines and the conditions of the zoning and the DRC shall be entitled to either approve or not approve said amendment in its sole discretion. In the event there is a conflict between the proffered conditions and the Design Guidelines, the proffers shall control.



*Development Plans and Site Plans*

Submission Requirements: The DRC reviews each submission presented. The following outline is required for submission to complete the approval process from design sketches to construction start and the components are defined below in governing rules. Unless otherwise noted, this section deals only with Development Plans.

Information Required:

1. Basic Information
2. Title Block Information
3. Base Information
  - a. Preliminary Submission
  - b. Schematic Stage
  - c. Formal Presentation Stage
  - d. Final Submission



*Development Plans & Site Plans*



## Submissions

### *Basic Information:*

*Preliminary and Final Submissions must contain the same basic information.*

**TITLE BLOCK INFORMATION:** Title block information is to include, but not be limited to, the name and address of the developer and/or builder and the firm preparing the plan, parcel and/or lot designation(s), section, area, scale (minimum 1"=50'), north arrow, date of preparation and revisions to include an explanation of their nature and stage of submission.

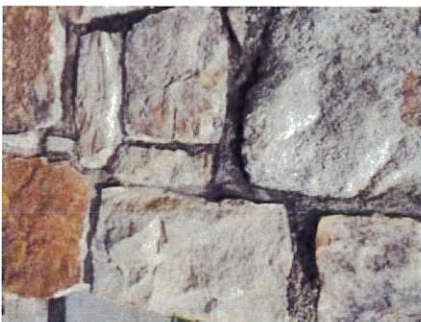
**BASE INFORMATION:** Base information is to include, but not be limited to, all existing conditions such as field-run topography at no more than 2 foot intervals; existing trees and diameters of 4 inches or greater located by elevation at base of tree, size and common name; rock formations; springs; streams, etc. Also to be included (but not limited to) are existing manmade conditions such as properly labeled easements and rights-of-way, existing and proposed streets with names and elevations, proper labeling of lot or parcel with record plan dimensions, designations of adjacent lots, drainage systems, street trees, curb cuts and street lights.

**SUBMISSIONS:** Submissions may be done in two stages if the builder so elects or the project is of sufficient complexity to so warrant. These would consist of a schematic stage and a formal preliminary stage. A formal preliminary stage submission would constitute a one stage submission.

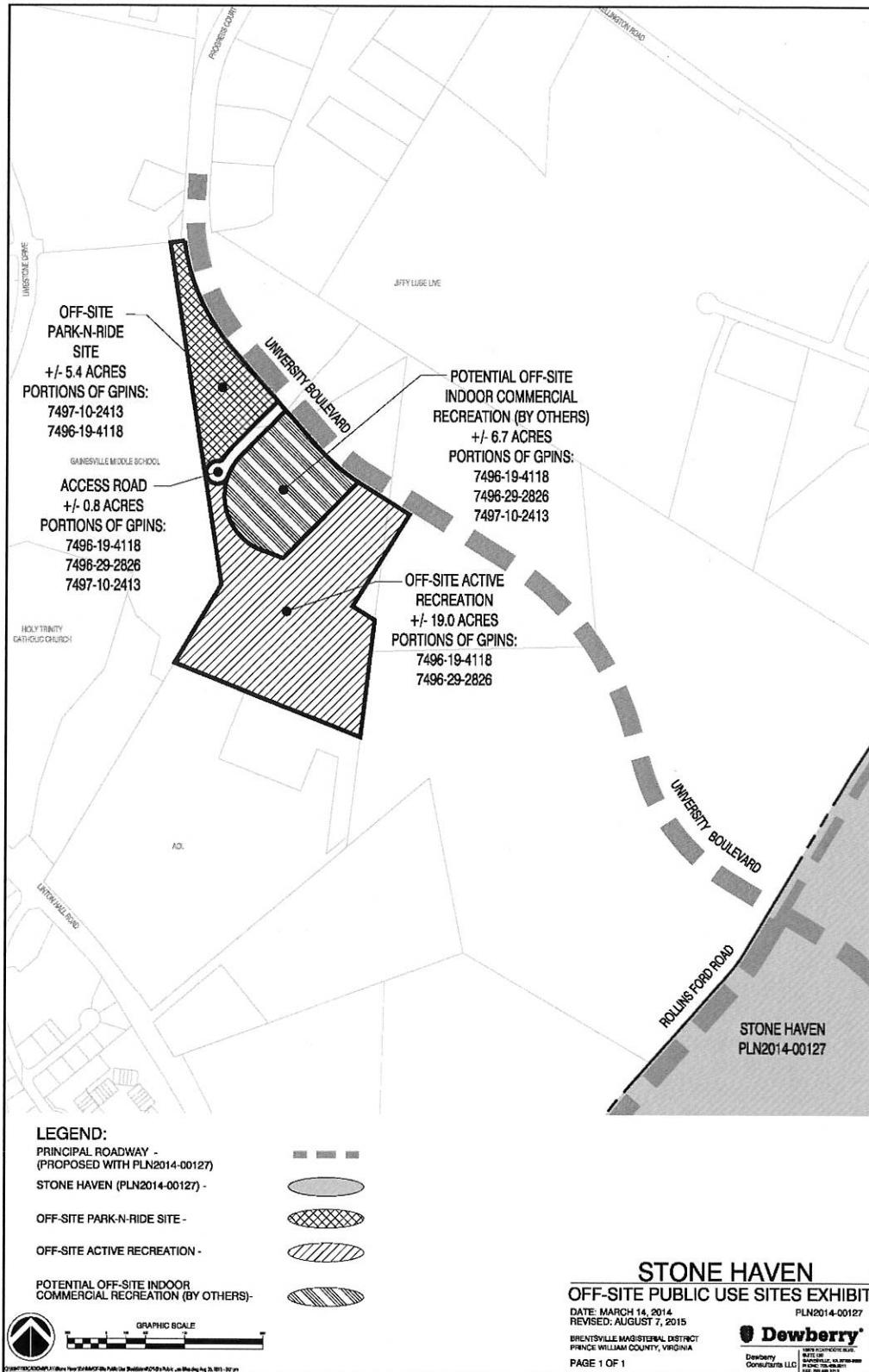
**SCHEMATIC STAGE:** The development plans should be a rough layout on the appropriate base showing all proposed improvements to include, but not be limited to: Building Locations, Vehicular Systems, Parking, Pedestrian Systems, Outside Storage, Trash Collection and Facilities, and Lighting Plans.

If building plans are being developed with the development plan, the architecture at this stage shall be in concept form showing elevations and floor plans with basic dimensions.

The builder or his engineer is encouraged to tour the site and discuss the program with the DRC prior to starting the schematic stage. In the event a site sketch plan or parcel criteria has been developed, these documents shall be reflected in the schematic submission unless previously discussed with the DRC



# Attachment E – Off-Site Public Use Sites Exhibit dated March 14, 2014, revised August 7, 2015



# Attachment F Amberleigh Buffer Plan



**NOTES:**

- 1. AVERAGE LOT SIZE WAS COMPUTED USING PRINCE WILLIAM COUNTY APPROPRIATE INFORMATION FOR THE PURPOSE OF THIS EXHIBIT. AMBERLEIGH STATION INCLUDES PINEBROOK ESTATES SECTIONS 1 AND 2, ROCK HILL ESTATES SECTION 1, AND SILVER LEAF ESTATES SECTION 1, 2 AND 3.
- 2. 50 FT UNDISTURBED BUFFER AREA SHALL MAKE USE OF EXISTING VEGETATION OR SUPPLEMENTAL VEGETATION, WHERE NECESSARY, TO PROVIDE BUFFER TYPE "C" PLANTING UNITS OF 300 PLANT UNITS PER 100 LINEAR FEET.
- 3. PORTIONS OF AN EXISTING STOPSWATER MANAGEMENT ACCESS ROAD SHALL REMAIN IN THE VARIABLE WIDTH BUFFER AREA.

**TABULATION:**

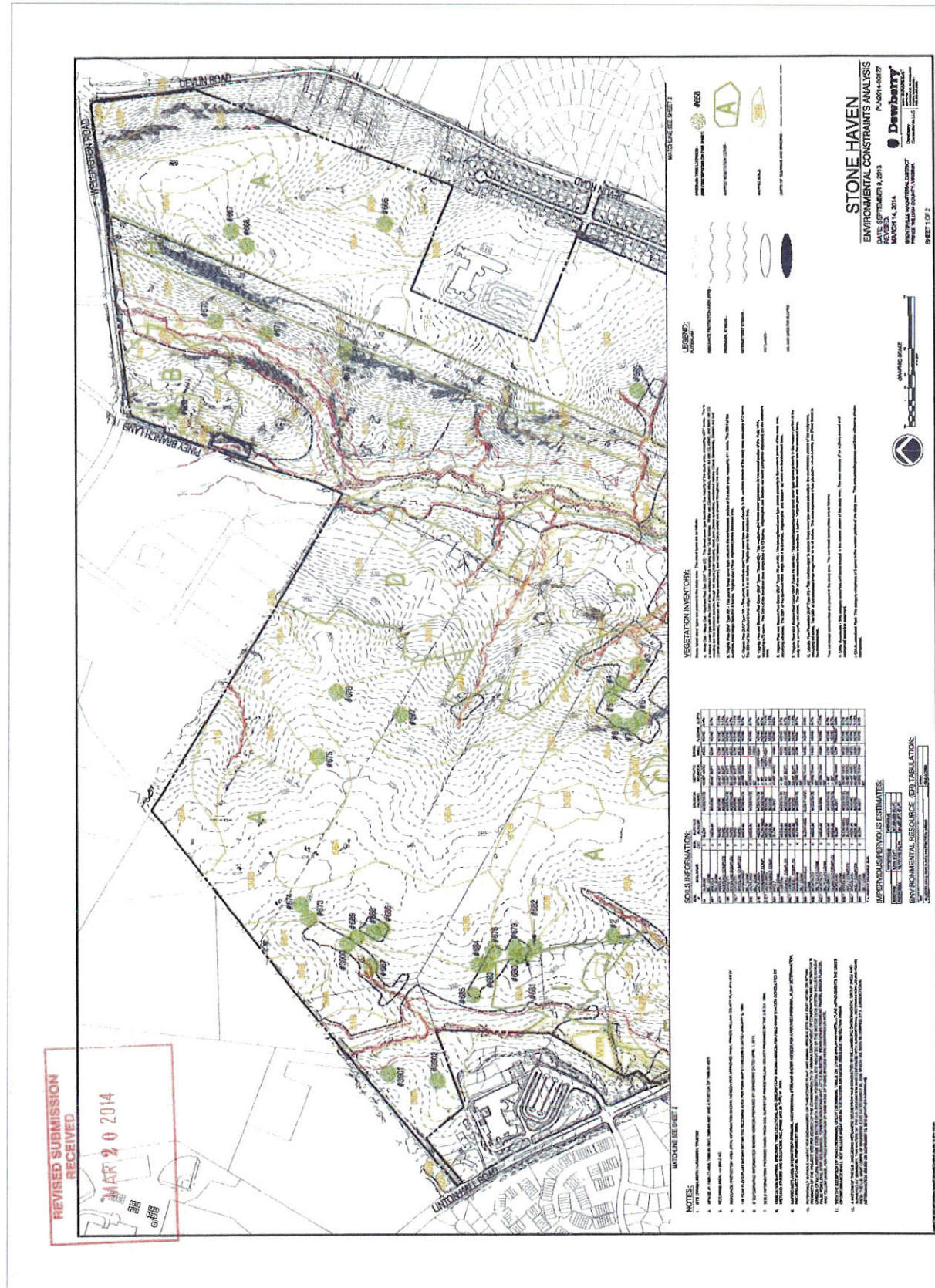
- 1. BUFFER AREA: 583,892.0 SF OR 13.4 ACRES
- 2. BUFFER LENGTH: 5,442.8 LF
- 3. AVERAGE BUFFER WIDTH = BUFFER AREA / BUFFER LENGTH  
583,892.0 SF / 5422.8 LF = 107.2 FT

**LEGEND:**

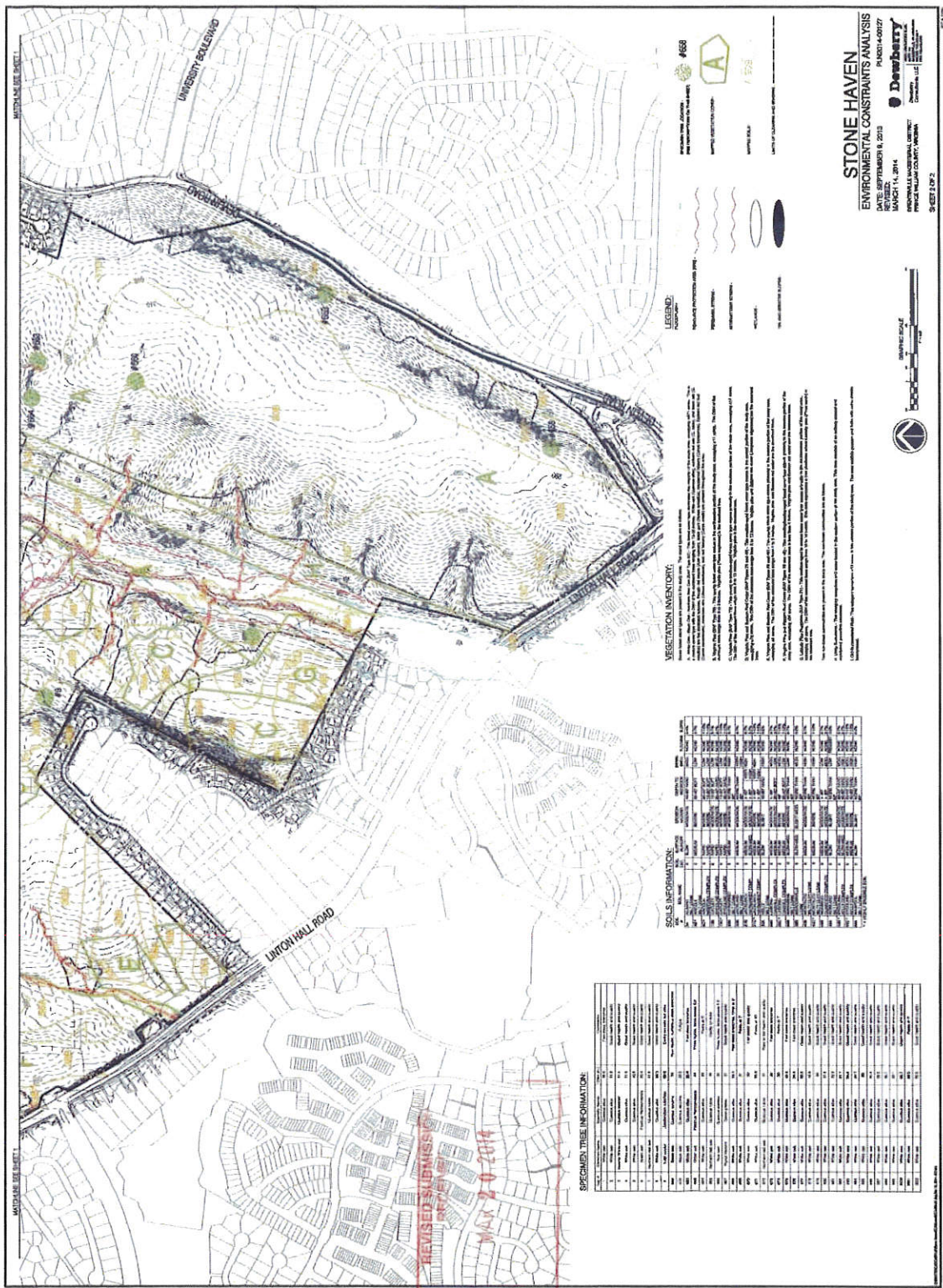
- VARIABLE WIDTH BUFFER AREA.
- 50 FT UNDISTURBED BUFFER AREA (SEE NOTE #3).
- GENERAL OPEN SPACE AREAS.
- POTENTIAL RESIDENTIAL LOT AREAS.
- STONE HAVEN PROPERTY BOUNDARY.
- AMBERLEIGH STATION / SILVER LEAF BOUNDARY.
- EXISTING CONSERVATION EASEMENT.

**STONE HAVEN**  
 AMBERLEIGH STATION / SILVER LEAF BUFFER EXHIBIT  
 DATE: MARCH 14, 2014  
 PROJECT: AMBERLEIGH STATION / SILVER LEAF  
 SHEET: 1 OF 1  
**Dewberry**  
 ENGINEERS, ARCHITECTS, PLANNERS  
 12000 WOODBRIDGE DRIVE, SUITE 200  
 FARMERSBURGH, VA 22039  
 PHONE: (540) 891-1000  
 FAX: (540) 891-1001

# Attachment G Environmental Constraints Analysis



# Attachment G Environmental Constraints Analysis



**Attachment H**  
**Historical Commission Resolution**

**HISTORICAL COMMISSION RESOLUTION**

**MOTION: DULEY**

**May 13, 2014**  
**Regular Meeting**  
**Res. No. 14-026**

**SECOND: YANKEY**

**RE: LAND DEVELOPMENT RECOMMENDATIONS**

**ACTION: APPROVED**

**WHEREAS**, the Prince William County Historical Commission seeks to identify, preserve and protect historic sites and structures in Prince William County; and

**WHEREAS**, the Prince William County Historical Commission's review of pending land development applications assists in determining the necessity for cultural resource surveys and other research and evaluations; and

**WHEREAS**, the Prince William County Historical Commission believes that the identification, preservation and protection of historic sites and structures throughout Prince William County is well served by this action;

**NOW, THEREFORE, BE IT RESOLVED**, that the Prince William County Historical Commission does hereby recommend to the Prince William County Planning Commission the action(s) noted for the following properties:

<u>Case Number</u>	<u>Name</u>	<u>Recommendation</u>
REZ PLN2014-00190	Midwood	The consultant will amend the Phase I report to incorporate the KOCOA analysis and the artifact density relative to Midwood being wholly within the Journey Through Hallowed Ground National Heritage Area. Investigate whether Federal funds or permits are incorporated in the project.
REZ PLN2013-00178	Hoadly Falls, Phase II	No Further Work
REZ PLN2014-00127	Stone Haven	Cemetery delineation, Phase II and, if warranted, Phase III data recovery study. Artifacts to be donated to and curated with the County. Written history of property. Opportunity for the County Archeologist to conduct archaeology on the site.

## Attachment H Historical Commission Resolution

May 13, 2014  
Regular Meeting  
Res. No. 14-026  
Page 2

<u>Case Number</u>	<u>Name</u>	<u>Recommendation</u>
PRA PLN2014-00293	Dale City Section T-14	Phase I study and, if warranted, Phase II and Phase III data recovery studies. Artifacts to be donated to and curated with the County.
REZ PLN2014-00303	AMC Enterprises LLC	No Further Work
SUP PLN2014-00304	Milestone Communications – AT&T at Turley Fields	No Further Work
REZ PLN2014-00312	Mallard's Landing	No Further Work
SUP PLN2014-00313	Dulles Area Muslim Society Greater Gainesville	Phase II and the opportunity for the County Archaeologist to conduct archaeology on the site.
CPA PLN2013-00187	Richmond Station	Metal detector survey on all undisturbed area. Concerned about the proposed 50 foot height of buildings in proximity to Signal Hill Interpretive Site and its viewshed. Recommend visual effects analysis from both the obelisk and the top of Signal Hill.
REZ PLN2014-00316	Richmond Station	
REZ PLN2014-00231* *This case was added to the agenda.	Cayden Ridge	Concerned about the buildings in proximity to Signal Hill Interpretive Site and its viewshed. Recommend visual effects analysis from both the obelisk and the top of Signal Hill.
SUP PLN2014-00320	Milestone Communications – Verizon Wireless at Howison Homestead Park	Concerned about proximity to the cemetery. Suggest using a different light pole and/or relocating the equipment building. Installation of historical marker and interpretive sign.
SUP PLN2014-00332	VFW LED Signage	No Further Work
SUP PLN2014-00341	Foreclosure Development Company	No Further Work
REZ PLN2014-00342	Minnieville Commercial	No Further Work

**Attachment H**  
**Historical Commission Resolution**

May 13, 2014  
Regular Meeting  
Res. No. 14-026  
Page 3

**Votes:**

**Ayes:** by acclamation

**Nays:** None

**Absent from Vote:** None

**Absent from Meeting:** Cunard, Karnbach, Smith, Stickey

**MOTION CARRIED**

CERTIFIED COPY

  
Secretary to the Commission



**Attachment I**  
**Planning Commission Resolution**

**PLANNING COMMISSION RESOLUTION**

**MOTION:** BURGESS **September 3, 2014**  
**SECOND:** BRYANT **Regular Meeting**  
**Res. No. 14-081**  
**RE:** REZONING #PLN2014-00127, STONE HAVEN, BRENTSVILLE  
MAGISTERIAL DISTRICT  
**ACTION:** RECOMMEND APPROVAL

**WHEREAS**, this is a request to rezone +/- 864 acres from A-1, Agricultural to PMR, Planned Mixed Residential, and PBD, Planned Business District, to permit development of 1,650 residential units consisting of single family detached and townhouse units, and a maximum of 1,062,735 million square feet of office/employment and commercial/retail development; and

**WHEREAS**, the site is located on the south side of Wellington Rd., west of Devlin Rd., north of Linton Hall Rd. and is identified on County maps as GPINs 7496-17-4609, 7496-37-4872(pt), 7496-35-1841, 7496-65-4921, 7497-10-2413(pt), 7496-19-4118(pt) and 7496-29-2826(pt); and

**WHEREAS**, the Prince William County Planning Commission duly ordered, advertised, and held a public hearing on September 3, 2014, at which time public testimony was received and the merits of the above-referenced request was considered; and

**WHEREAS**, the Prince William County Planning Commission believes that public general welfare as well as good planning practices are served by the approval of this request;

**NOW, THEREFORE, BE IT RESOLVED**, that the Prince William County Planning Commission does hereby approve Rezoning #PLN2014-00127, Stone Haven, with proffers dated August 6, 2014, with the elimination of Proffer 66F, thereby stipulating the side yard setback is to remain ten feet, and with the further recommendation that the applicant is to work with staff to mitigate sound, to phase recreational facilities on site, and to provide clarification that the provided open space is in conformance with County standards.

**Votes:**

**Ayes:** Arnold, Bryant, Burgess, Fry, Vanegas

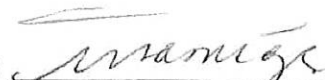
**Nays:** Holley, Hosen

**Absent from Meeting:** None

**Abstained from Vote:** Haynes

**MOTION CARRIED**

Certified Copy:



\_\_\_\_\_  
Teresa M. Taylor  
Clerk to the Planning Commission



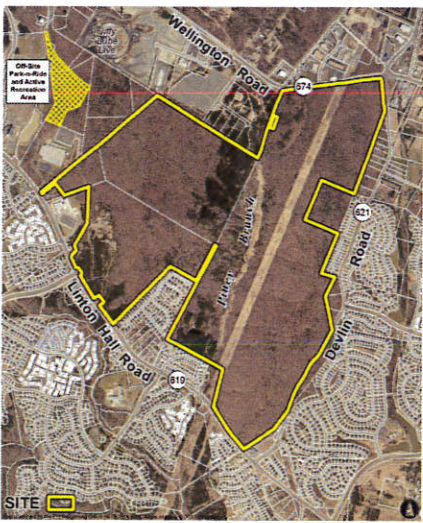
Prince William County Government  
Board of County Supervisors

**Stone Haven  
Comprehensive Plan Amendment  
#PLN2013-00186  
&  
Rezoning #PLN2014-00127**

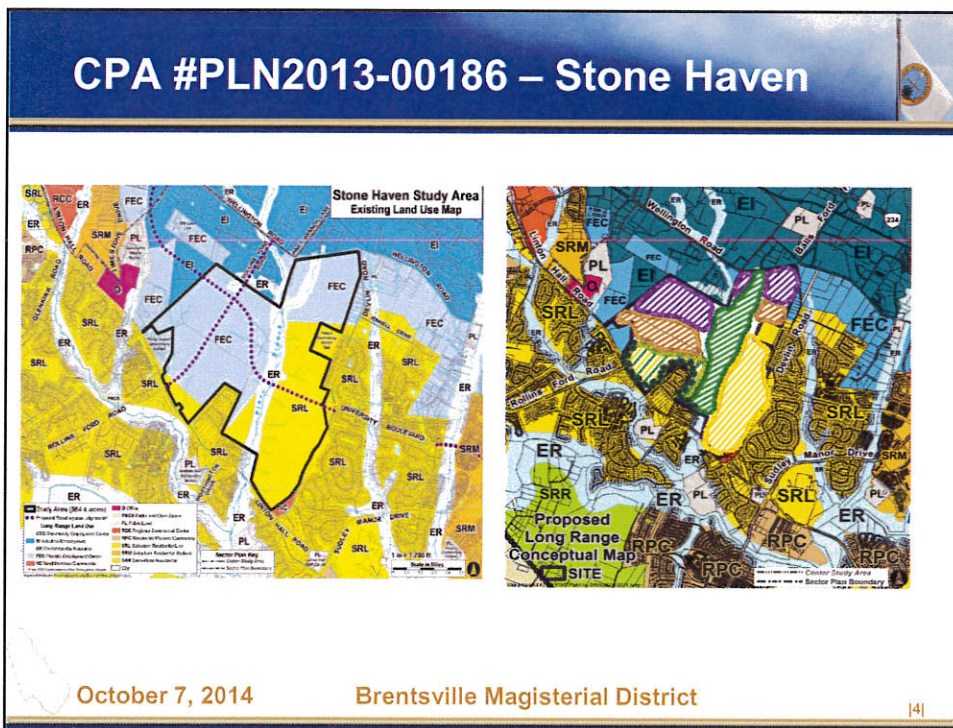
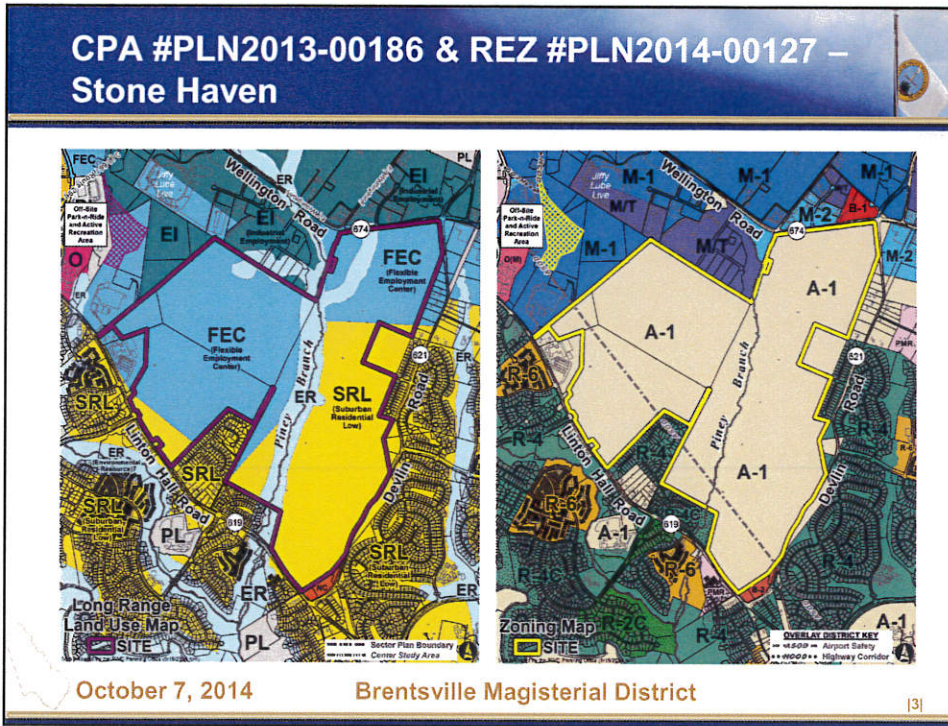
**Brentsville Magisterial District**  
*Stephen Donohoe – Current Planning  
Manager  
Planning Office*

**CPA #PLN2013-00186 & REZ #PLN2014-00127 –  
Stone Haven**

- **Request –**
  - ◆ Amend the Comprehensive Plan to adopt the Stone Haven Study Land Use Plan (map & text)
  - ◆ Rezone +/-864.2 acres from A-1, Agricultural, to PMR, Planned Mixed Residential and PBD, Planned Business District.
    - Allow up to 1,650 residential units consisting of single family detached (minimum 875 SFD) and townhouse units (maximum 775)
    - Allow 1,062,735 million sq. ft. of office/employment and commercial/retail development
- **Location –** On the south side of Wellington Rd., west of Devlin Rd., and north and east of Linton Hall Rd.
- **Recommendation –** Approval



**October 7, 2014**      **Brentsville Magisterial District**      [2]



## Comprehensive Plan Overview

- Applicant submitted request to amend Comprehensive Plan (2012)
- BOCS did not initiate request
- BOCS directed staff to work with applicant and community to discuss land use and infrastructure issues and alternatives
- Staff convened a series of informational meetings, workshops, public interest sessions, and solicited questions/comments through a project website
- Participants reviewed existing conditions, identified needs, and developed alternatives
- Results of the study were presented to BOCS in November 2012
- BOCS initiated CPA in March 2013

October 7, 2014

Brentsville Magisterial District

## Study Process & Common Themes

### Study Process:

- Staff and participants discussed existing conditions
- Participants identified a variety of land use scenarios which included areas for Office, Light Industrial, Low/Moderate Density Residential, Medium/High Density Residential, Retail, Parks/Open Space, and Public Lands
- Staff and participants discussed areas of consensus and areas of concern regarding land use & infrastructure

### Common Themes:

- SRL and FEC are incompatible land uses
- Little support for office, industrial or commercial development along Linton Hall Road
- Little support for residential development along Wellington Road

October 7, 2014

Brentsville Magisterial District

[6]

## Study Common Themes

- General support for Comprehensive Plan road infrastructure
- General consensus on additional infrastructure needs (e.g. school, active recreation, open space, community facilities, etc.)
- High level of support for the preservation of employment areas
- High level of support for significant contiguous open space throughout the property and preservation of environmental features
- High level of support for appropriate transitional uses (e.g. SRL adjacent to SRL, transitional land use zones and buffers between more intense uses, etc.)

October 7, 2014

Brentsville Magisterial District

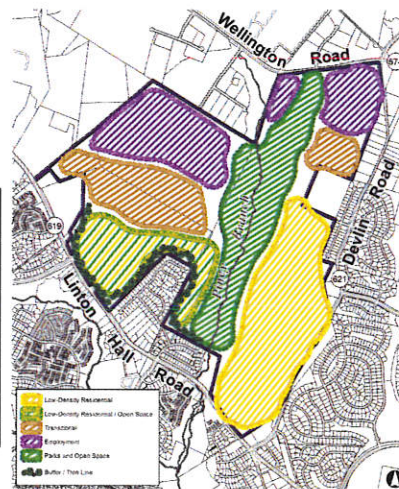
171

## CPA #PLN2013-00186 – Stone Haven

### Stone Haven Study Land Use Plan:

- CPA initiated by BOCS (March 12, 2013)
- CPA includes supportive policy guidance to further the themes & goals from the study
- Effect of CPA:

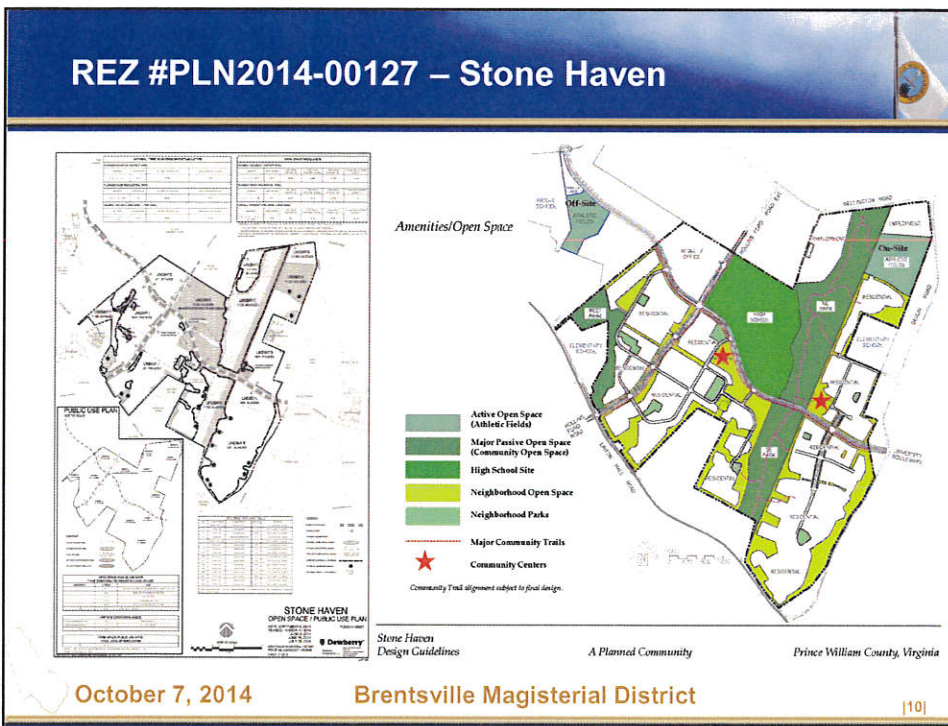
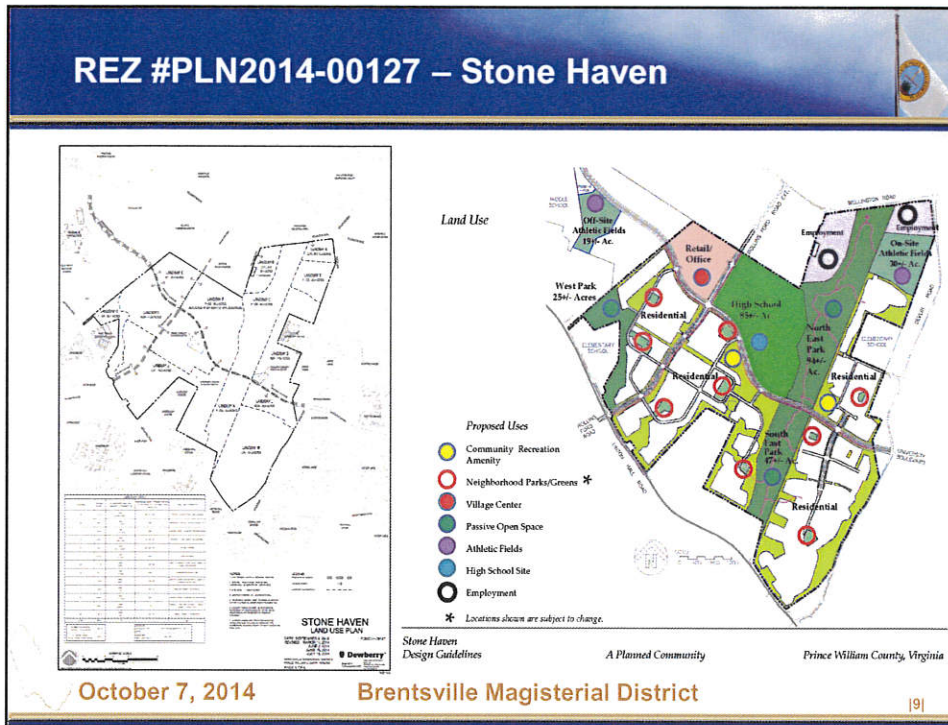
Long-Range Land Use/ Stone Haven Study Land Use Map Designation	Existing Area (±ac.)	Proposed Area (±ac.)
Suburban Residential Low (SRL)	308	
Flexible Use Employment Center (FEC)	458	
Environmental Resource (ER)	98	
Low Density Residential	0	335
Transitional		143
Employment		190
Open Space		196
<b>Total</b>	<b>864</b>	<b>864</b>



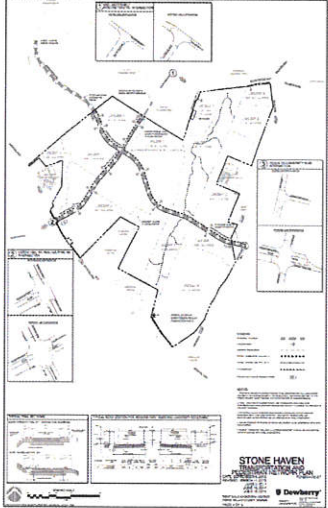
October 7, 2014

Brentsville Magisterial District

181



## REZ #PLN2014-00127 – Stone Haven



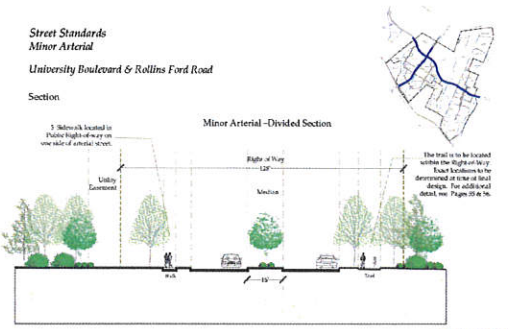
**STONE HAVEN**  
TRANSPORTATION PLAN

**Dewberry**

### Street Standards Minor Arterial University Boulevard & Rollins Ford Road

Section

Minor Arterial - Divided Section



3' Sidewalk located in Public Right-of-Way on one side of arterial street.

Utility Easement

Right of Way 125'

Median

The trail is to be located within the Right-of-Way. Exact location to be determined at time of final design. For additional detail, see Page 20 of 26.

Landscaping subject to VDOT approval.

Design combined on this page for illustration purposes.

Subject to Prince William County Transportation and/or VDOT Approval(s).

Stone Haven Design Guidelines      A Planned Community      Prince William County, Virginia

**October 7, 2014      Brentsville Magisterial District**

[11]

## REZ #PLN2014-00127 – Stone Haven

### Linton Hall Rd.



**October 7, 2014      Brentsville Magisterial District**

[12]

**REZ #PLN2014-00127 – Stone Haven**


Devlin Rd.



October 7, 2014      Brentsville Magisterial District      [13]

**REZ #PLN2014-00127 – Stone Haven**

Wellington Rd.



October 7, 2014      Brentsville Magisterial District      [14]



**CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven**

**RECOMMENDATION: Planning Commission recommends approval, with the following recommended changes;**

- The applicant is requesting to modify the performance standards of the PMR zoning district to allow a minimum sideyard setback of 5 ft. The Planning Commission expressed concern about this modification particularly in regards to fire safety, and recommended the applicant revise the proffers to eliminate proffer 66.f, thereby requiring a minimum 10 ft. side yard setback.
  - ◆ Applicant response – Applicant continues to request a modification to allow a 5 foot minimum sideyard setback; however, the applicant revised proffer 66.f to require noncombustible primary building materials (hardieplank/cement board, brick or stone) for units with modified setbacks.
- The applicant work to address sound mitigation, with respect to the property’s proximity to Jiffy Lube Live.
  - ◆ Applicant response – As of the date of this report, the Planning Commission’s recommendation remains unaddressed.

October 7, 2014      Brentsville Magisterial District      [15]

**CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven**

**Planning Commission recommendation - (cont’d.)**

- The applicant revise the proffers to include phasing language for the timing of construction of the two community recreation amenities.
  - ◆ Applicant response – Revised proffers to include triggers requiring completion of the primary facility by the 751<sup>st</sup> building permit and completion of the secondary facility by the 1,250<sup>th</sup> building permit.
- The applicant provide clarification that the open space provided with the project is in conformance with County standards.
  - ◆ The open space provided with the project is consistent with the definition of open space in the Zoning Ordinance, as follows:
 

*Open space shall mean the area within the boundaries of a development that is intended to provide light, air, view and/or a quality or general appearance of openness, and is designed for scenic, recreational, privacy, or environmental purposes. In general, open space shall be available for entry on and use by the residents of the development within which the open space is located, but may include areas designed to enhance aesthetic amenities, maintain property values and buffer incompatible uses by preserving natural features and providing landscaping or screening for the benefit of such residents or residents of neighboring areas. Open space may include, but shall not be limited to, lawns; decorative plantings; walkways and trails; active and passive recreation areas, such as tot lots, including permitted principal and accessory uses; undisturbed natural areas; wooded areas; natural creeks, streams, lakes and similar water features; manmade lakes designed to be an attractive development amenity but which may be used for storm water management; storm water management dry ponds which are landscaped or contain existing trees; and areas where buffering, landscaping or screening are required by this chapter.*

October 7, 2014      Brentsville Magisterial District      [16]

## CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven



### Staff Recommendation: Approval, of the CPA & REZ for the following reasons;

- The Stone Haven Study Land Use Plan is a result of a community planning process with representatives from residential communities, business owners, land owners, etc.
- The Stone Haven Master Zoning Plan is designed to implement the Stone Haven Study Land Use Map.
- Residential, retail/commercial, office, office/flex and open space areas are located on the property consistent with the Stone Haven Study Land Use Map.
- Eliminates existing incompatibility (FEC adjacent to SRL), provides appropriate transitional uses within the property, and provides uses consistent with existing adjacent uses.
- Compatible density with surrounding residential communities.
- Master planning of entire site allow for better integrated mix of uses, connectivity to public facilities and amenities, and promotes walkability.
- Construction of Comprehensive Plan roads. The construction of Rollins Ford Rd. and University Blvd. through the property will provide key links and connections within the area and for the region.

October 7, 2014

Brentsville Magisterial District

[17]

## CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven



### Staff Recommendation (cont'd)

- **Public Use Sites** – Proposal includes a land dedication of +/- 287 acres on-site and +/-23 acres off-site as public use sites.
  - +/-91 acre high school site will be dedicated as proffered, including infrastructure improvements. The proposed rezoning generates 1,009 students (297 high school students). The proposed high school site will accommodate 2,053 students.
  - Potential middle school site will be provided if requested by the School Board and approved through a public facility review.
  - Significant open space is dedicated throughout the project with +/-196 acres on-site for active and passive recreation.

October 7, 2014

Brentsville Magisterial District

[18]

**CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven**

**Staff Recommendation (cont'd)**

- The proffered Design Guidelines depict high quality architectural form and provide overall community design principles for the project.



October 7, 2014

Brentsville Magisterial District

[19]

**CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven – UPDATED PROJECT DETAILS**

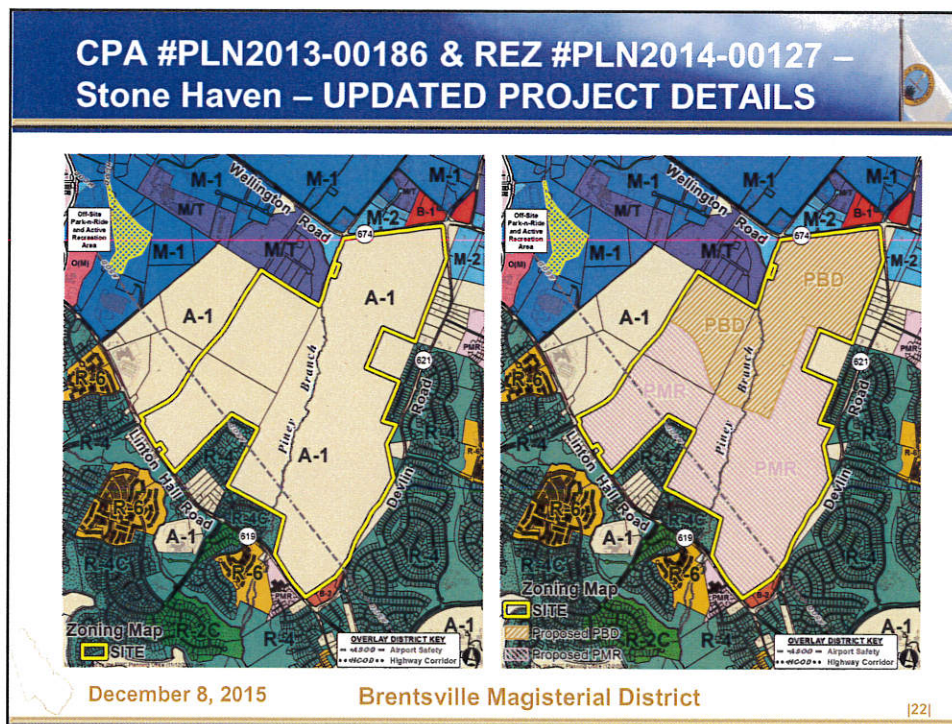
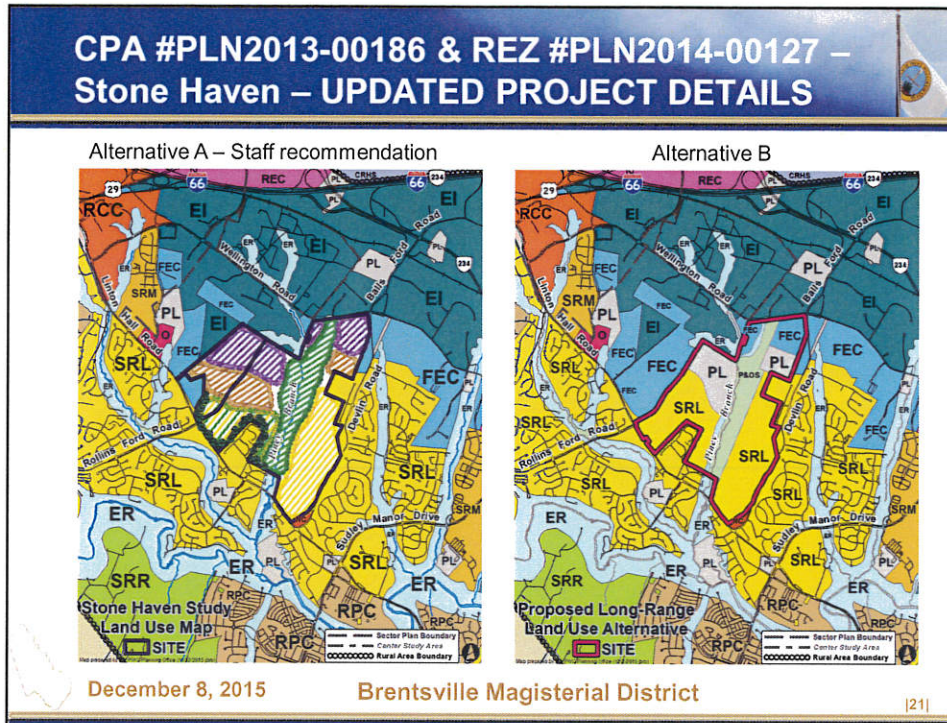
- **Request –**
  - ◆ Amend the Comprehensive Plan to adopt the Stone Haven Study Land Use Plan
  - ◆ Rezone +/-717.9 acres from A-1, Agricultural, to PMR, Planned Mixed Residential and PBD, Planned Business District.
    - Allow up to 1,006 residential units consisting of single family detached and townhouse units (maximum 301)
    - Allow 1,124,175 million sq. ft. of office/flex & light industrial development
- **Location –** On the south side of Wellington Rd., west of Devlin Rd., and north and east of Linton Hall Rd.
- **Recommendation – Approval**



December 8, 2015

Brentsville Magisterial District

[20]



## CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven – UPDATED PROJECT DETAILS

### Amended Project Details:

- Overall rezoning proposal area reduced from 864.2 acres to 717.9 acres. This reduction includes the removal of the following portions of the project:
  - ◆ Landbay E - +/-39.7 acre Village Center commercial/retail center
  - ◆ Landbay H – +/-25.4 acres designated as Parks and Open space
  - ◆ Landbay I (part) – +/-53.3 acres of landbay I designated for medium density residential development
  - ◆ Landbay J (part) – +/-27.6 acres of landbay J designated for low density residential
- Maximum number of units reduced from 1,650 to 1,006
- Overall residential density is reduced from 3.3 dwelling units per acre to 2.58 dwelling units per acre.
- Unit Types
  - ◆ Maximum number of townhouse units reduced from 775 to 301
  - ◆ Removed 164 2-over-2 townhouse multifamily units

December 8, 2015

Brentsville Magisterial District

[23]

## CPA #PLN2013-00186 & REZ #PLN2014-00127 – Stone Haven – UPDATED PROJECT DETAILS

- Applicant removed a 5 ft. side yard setback modification request
- Increased the area of nonresidential office/flex/light industrial uses in landbays along Wellington Rd. Resulted in an increase in the maximum gross floor area for nonresidential development from 1,062,735 SF to 1,124,175 SF
- Rollins Ford Rd. & University Blvd. – Based on residential unit reduction, the applicant reduced the road construction commitment to a half section (2-lanes)
- Improved pedestrian connectivity with Bristow Commons Retail Center
- Provided monetary contributions consistent with the 2014 proffer policy (previous contributions were based on 2006 policy guide)

Staff continues to recommend approval

December 8, 2015

Brentsville Magisterial District

[24]