



October 4, 2019

**TO:** Planning Commission

**FROM:** Scott F. Meyer  
Planning Office

**RE:** Proffer Amendment #REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
**Occoquan Magisterial District**

**I. Background** is as follows:

- A. Request: This is a request to amend the proffers associated with REZ #PLN2000-00041 to change the use designation in a portion of Land Bay I from OC-2 (now O(H), Office High Rise) to O(H), Office High Rise / B-1, General Business, to permit an assisted living facility, along with associated modifications, to include signage, building height, and floor area ratio (FAR) increase.

Uses / Features	Previously Approved per REZ #PLN2000-00041 (PMD zoning)	Proposed (PMD zoning); with Proffer Amendment
<b>Zoning</b>	OC-2 – as proffered now O(H), Office High Rise	O(H), Office High Rise / B-1, General Business
<b>Use(s)</b>	Land Bay I (±11.42 acres)  Office/Employment uses	Land Bay J (Newly created) (±5.41 acres)  Office/Employment/Assisted Living Facility uses
<b>Monument Sign Height</b>	10 feet	12 feet <i>(as modified)</i>
<b>Floor Area Ratio (FAR)</b>	1.25 in O(H); 0.40 in B-1	0.86 <i>(as modified)</i>
<b>Building Height</b>	Up to 100 feet, O(H) zoning Up to 45 feet, B-1 zoning	Up to 100 ft, O(H) zoning Up to 60 feet, B-1 zoning <i>(as modified)</i>

- B. Site Location: The subject ±5.41-acre site is located north of Prince William Parkway, west of Laurel Hills Drive, and south of the terminus of Effie Rose Place. The subject site is identified on County maps as GPIN 8193-31-4635 (portion), and is currently addressed as 4460 Prince William Parkway.

- C. Comprehensive Plan: The site is designated CEC, Community Employment Center, in the Comprehensive Plan, and is located within the Government Center Sector Plan special planning area.
- D. Zoning / Acreage: The ±5.41-acre site is zoned PMD, Planned Mixed Use District, and is located within the Prince William Parkway Highway Corridor Overlay District. It is currently located in Land Bay I (Office High-Rise), within the Reid's Prospect mixed use development.
- E. Surrounding Land Uses: The subject property is an existing, undeveloped land bay as a part of Reid's Prospect along westbound Prince William Parkway that is intended for Office/Employment and supporting commercial/retail uses. To the north is an undeveloped land bay that is designated for Live/Work units. South and across Prince William Parkway is undeveloped, vacant land and an existing single-family residential property, and the western portion of the Ridgewood Center office complex. To the east and across Laurel Hills Drive is undeveloped, vacant land. West of the site is an undeveloped land bay designated for Office/Employment uses.
- F. Background & Context: The Applicant (Hawthorn Development LLC) is the contract purchaser of a portion of the property identified as GPIN 8193-31-4635, consisting of ±5.41 acres. The Applicant is proposing to change the use designation in a portion of Land Bay I from OC-2 (now O(H), Office High Rise) to O(H), Office High Rise / B-1, General Business, to permit an assisted living facility, along with associated modifications, to include the following: signage, building height increase, and floor area ratio (FAR) increase. A new Land Bay "J" will be created to include the ±5.41 acres, which is subject to this proffer amendment.

The subject property is part of the mixed-use development known as Reid's Prospect; which is zoned PMD, Planned Mixed Use District. The area along the Prince William Parkway (Land Bay I) is planned for employment uses, subject to the proffers approved by the Board of County Supervisors with the approval of Rezoning #PLN2000-00041, on October 26, 2004. If the proffer amendment is approved, it will amend the proffers of REZ #PLN2000-00041 for the ±5.41-acre subject area.

This proposal was initially scheduled and advertised for Planning Commission public hearing on October 2, 2019. However, in order to allow more time to address staff concerns, the Applicant requested deferral to a date-certain of October 16, 2019. The Applicant's deferral letter is attached, along with the most recent Planning Commission resolution.

**II. Current Situation** is as follows:

- A. Planning Office Recommendation: Staff recommends approval of Proffer Amendment #REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect, subject to the proffers dated August 28, 2019, with the removal of Proffer #32 (modification to allow overhead utility lines and pole to remain aboveground), for the following reasons:
- The proffer amendment allows for the option of developing an assisted living facility in the newly created Land Bay J, while still retaining the previously-proffered allowable office/employment uses.
  - An assisted living facility is among the uses specifically shown in the Governmental Center Sector Plan for this general area of Reid's Prospect.
  - The proffer amendment retains all prior use mixture and design-related commitments for the Reid's Prospect development, including Design Guidelines.
  - As proffered, the new impacts associated with the assisted living facility will be adequately mitigated.
- B. Planning Commission Public Hearing: A public hearing before the Planning Commission has been advertised for October 16, 2019.

**III. Issues** in order of importance are as follows:

- A. Comprehensive Plan:
1. Long-Range Land Use: Is the proposed use consistent with those uses intended by the CEC, Community Employment Center, land-use designation?
  2. Level of Service (LOS): How does the proposal address the mitigation of impacts to existing levels of service?
- B. Strategic Plan:
1. Robust Economy: How does the proposal help to foster a diverse local economy that creates a culture of innovation and achieves more quality jobs, economic opportunities, and an expanded commercial tax base?
- C. Community Input: Have members of the community raised any issues?
- D. Other Jurisdictional Comments: Have other jurisdictions raised any issues?
- E. Legal Uses of the Property: What uses are allowed on the property? How are legal issues resulting from the Planning Commission's action addressed?

F. Timing: When must the Planning Commission take action on this application?

IV. **Alternatives** beginning with the staff recommendation are as follows:

A. Recommend approval of Proffer Amendment #REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect, subject to the proffers dated August 28, 2019, with the removal of Proffer #32 (modification to allow overhead utility lines and pole to remain aboveground).

1. Comprehensive Plan Consistency Analysis:

- a. Long Range Land Use: Although the use is not anticipated to be a significant employer, the proposed assisted living facility will add to the mixture of uses for the Reid's Prospect development within the PMD, Planned Mixed Use Development, zoning district. The previous employment/office use options are still being retained in the subject land bay.
- b. Level of Service (LOS): The LOS impacts for the request would be mitigated through monetary contributions by the proffers, as follows:

<b>Water Quality</b>	\$75 per acre	±5.41 acres	\$405.75
<b>Fire &amp; Rescue</b>	\$0.61 per SF of building area (FAR of 0.86)	Up to ±202,668 SF (new building)	\$123,627.48
<b>TOTAL</b>			<b>\$ 124,033.23</b>

2. Strategic Plan:

- a. Robust Economy: The proposed proffer amendment to allow for an assisted living facility expands the type of uses within Land Bay I, which is currently planned for Employment/Office uses. Since this type of assisted living facility land bay is more of a residential product, it deviates from the preferred uses, and will not promote many employment opportunities. However, the use and among the mixture of other uses in the area can still positively align with the Strategic Plan goal to increase the commercial tax base as a percentage of overall tax revenue to 35%.
3. Community Input: Due to the proposed height increase as part of this application, notice of the application has been transmitted to property owners within 1,320 feet of the site. As of the date of this staff report, the Planning Office has received two letters of opposition from the neighboring property owner to the north, dated April 10, 2019 and May 28, 2019. The primary concern referenced was the proposed layout that does not include



interparcel connection from the proposed live-work units through the office/commercial area and obstructs accessibility to Prince William Parkway. A letter of support from the Lake Ridge Occoquan Coles Civic Association (LOCCA) was received on April 2, 2019. LOCCA has indicated its full support of the proposal as an independent living facility, which will serve the surrounding community. During the review, LOCCA had requested, and the Applicant agrees, to a courtesy review for architecture, landscaping, and other design aspects by LOCCA and the adjacent Laurel Hills community.

4. Other Jurisdictional Comments: The subject site is located outside of the required notification area of any jurisdiction.
5. Legal Uses of the Property: If the rezoning is approved, the site could be developed as an assisted living facility with associated modifications, in addition to the other permissible uses in the PMD, Planned Mixed Use District, as proffered. Legal issues resulting from the Planning Commission's action are appropriately addressed by the County Attorney's Office.
6. Timing: The Planning Commission has until December 31, 2019, which is 90 days from the first public hearing date, to take action on a rezoning/proffer amendment application. A recommendation to approve the application would meet the 90-day requirement.

B. Recommend denial of Proffer Amendment #REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect.

1. Comprehensive Plan Consistency Analysis:
  - a. Long-Range Land Use: The subject property is designated CEC, Community Employment Center, in the Comprehensive Plan and is currently zoned PMD, Planned Mixed Use Development. As proposed, the assisted living facility does not create significant employment opportunities, which is a weakness of the application. The existing zoning directly implements the land use designation, while encouraging employment-based uses. If the proffers are not amended to allow for the assisted living facility, the site can still be developed in a manner consistent with the CEC use designation.
  - b. Level of Service: Denial would not have an adverse impact on the existing level of service.
2. Strategic Plan:
  - a. Robust Economy: If the proposed proffer amendment is denied, Employment/Office uses would continue to be required within Land Bay I. As currently proffered, the allowable uses positively align with the Strategic Plan goal to increase the commercial tax base as a

percentage of overall tax revenue to 35%. The office and supporting new commercial/retail uses are considered consistent with Strategic Plan objectives of promoting new employment opportunities and increasing the commercial tax base. Resulting commercial tax revenues and job opportunities will be consistent with the Strategic Plan goal to increase the commercial tax base to 35 percent.

3. Community Input: Due to the proposed height increase as part of this application, notice of the application has been transmitted to property owners within 1,320 feet of the site. As of the date of this staff report, the Planning Office has received two letters of opposition from the neighboring property owner to the north, dated April 10, 2019 and May 28, 2019. The primary concern referenced was the proposed layout that does not include interparcel connection from the proposed live-work units through the office/commercial area and obstructs accessibility to Prince William Parkway.

A letter of support from the Lake Ridge Occoquan Coles Civic Association (LOCCA) was received on April 2, 2019. LOCCA has indicated its full support of the proposal as an independent living facility, which will serve the surrounding community. During the review, LOCCA had requested, and the Applicant agrees, to a courtesy review for architecture, landscaping, and other design aspects by LOCCA and the adjacent Laurel Hills community.

4. Other Jurisdictional Comments: The subject site is located outside of the required notification area of any jurisdiction.
5. Legal Uses of the Property: If the proposed proffer amendment is denied, the site could still be developed with a variety of uses, including office and supporting commercial, as currently proffered with REZ #PLN2000-00041. Legal issues resulting from the Planning Commission's action are appropriately addressed by the County Attorney's Office.
6. Timing: The Planning Commission has until December 31, 2019, which is 90 days from the first public hearing date, to take action on a rezoning/proffer amendment application. A recommendation to deny the application would meet the 90-day requirement

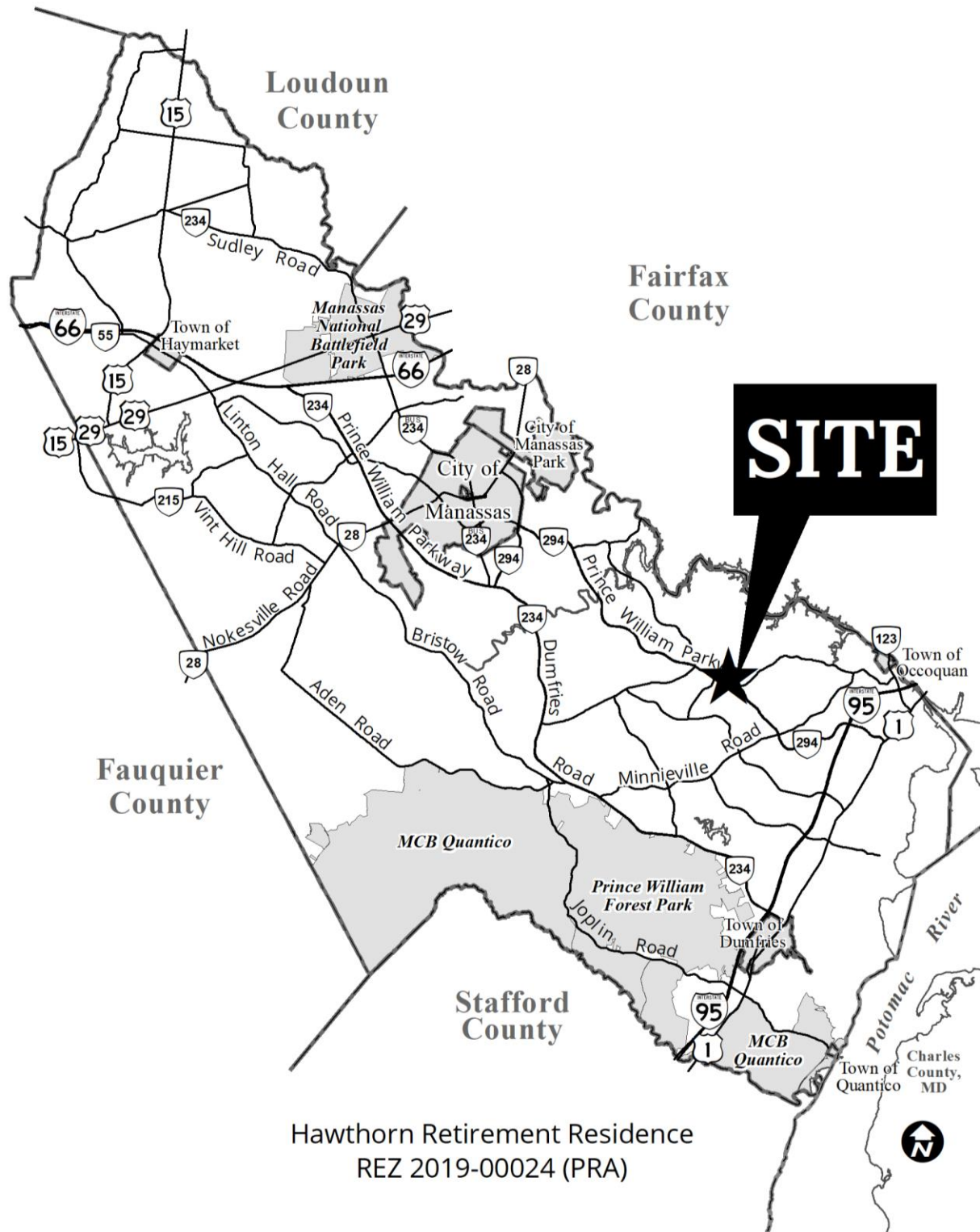
- V. **Recommendation** is that the Planning Commission accept Alternative A and recommend approval of Proffer Amendment #REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect, subject to the proffers dated August 28, 2019, with the removal of Proffer #32 (modification to allow overhead utility lines and pole to remain aboveground).

**Staff:** Scott F. Meyer, x 6876

## **Attachments**

Area Maps  
Staff Analysis  
Mark-up Proffers (showing all changes)  
Clean Proffers (proposed)  
Master Zoning Plan  
Illustrative Site Package  
Illustrative Line of Sight Exhibits (not proffered)  
Design Guidelines for Reid's Prospect  
Historical Commission Resolution  
Applicant Deferral Request Letter  
Planning Commission Resolution (for deferral)

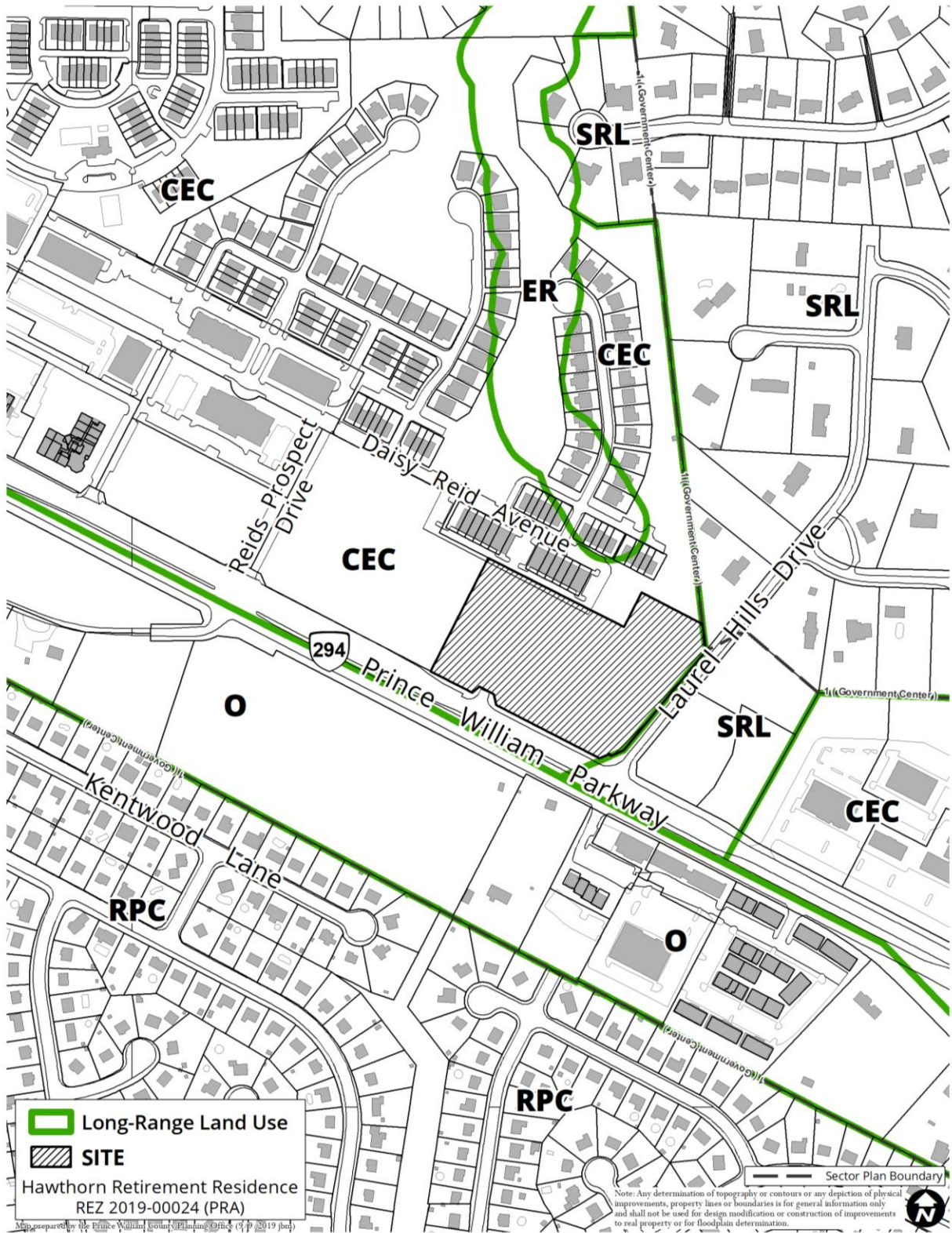
## Vicinity Map



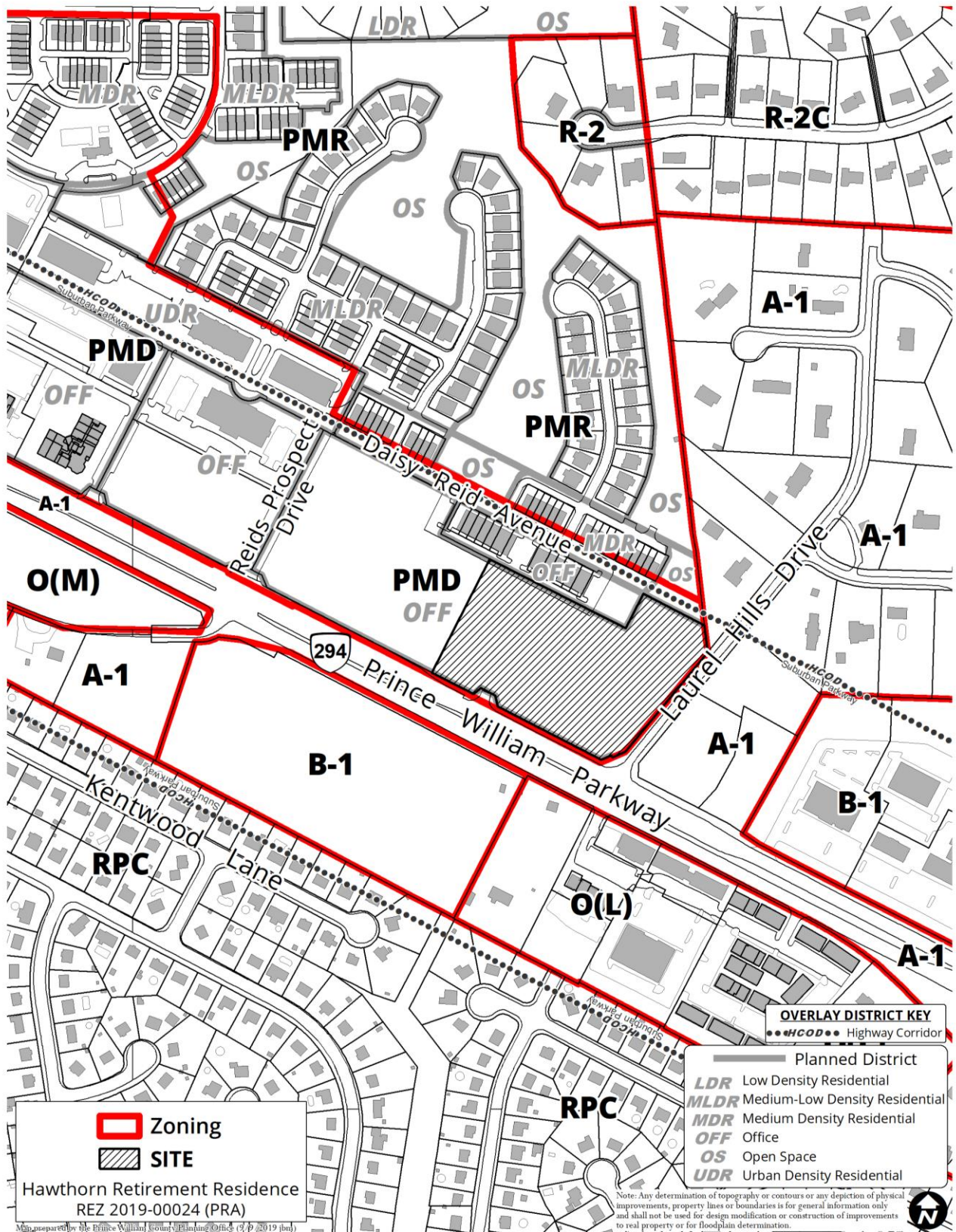






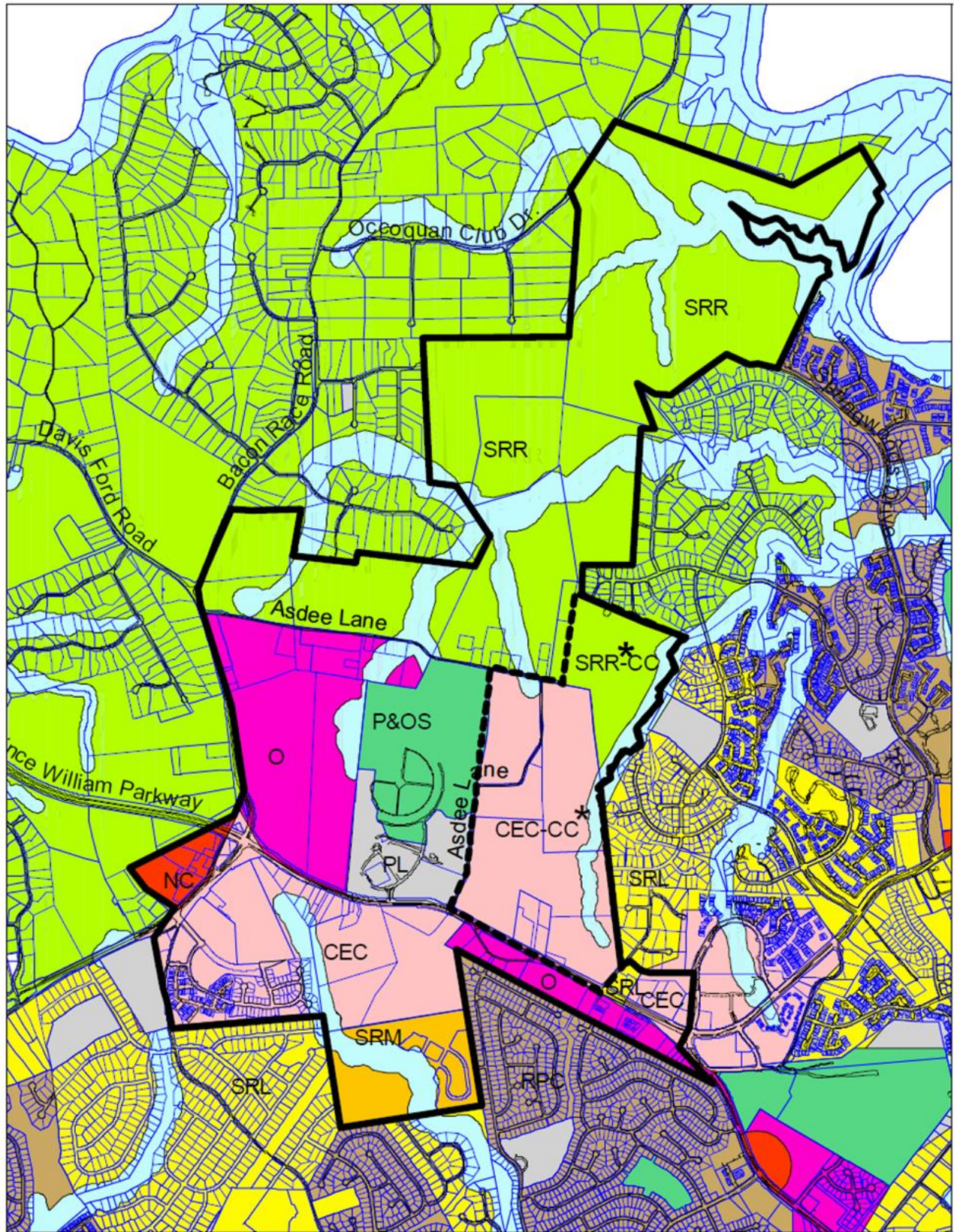






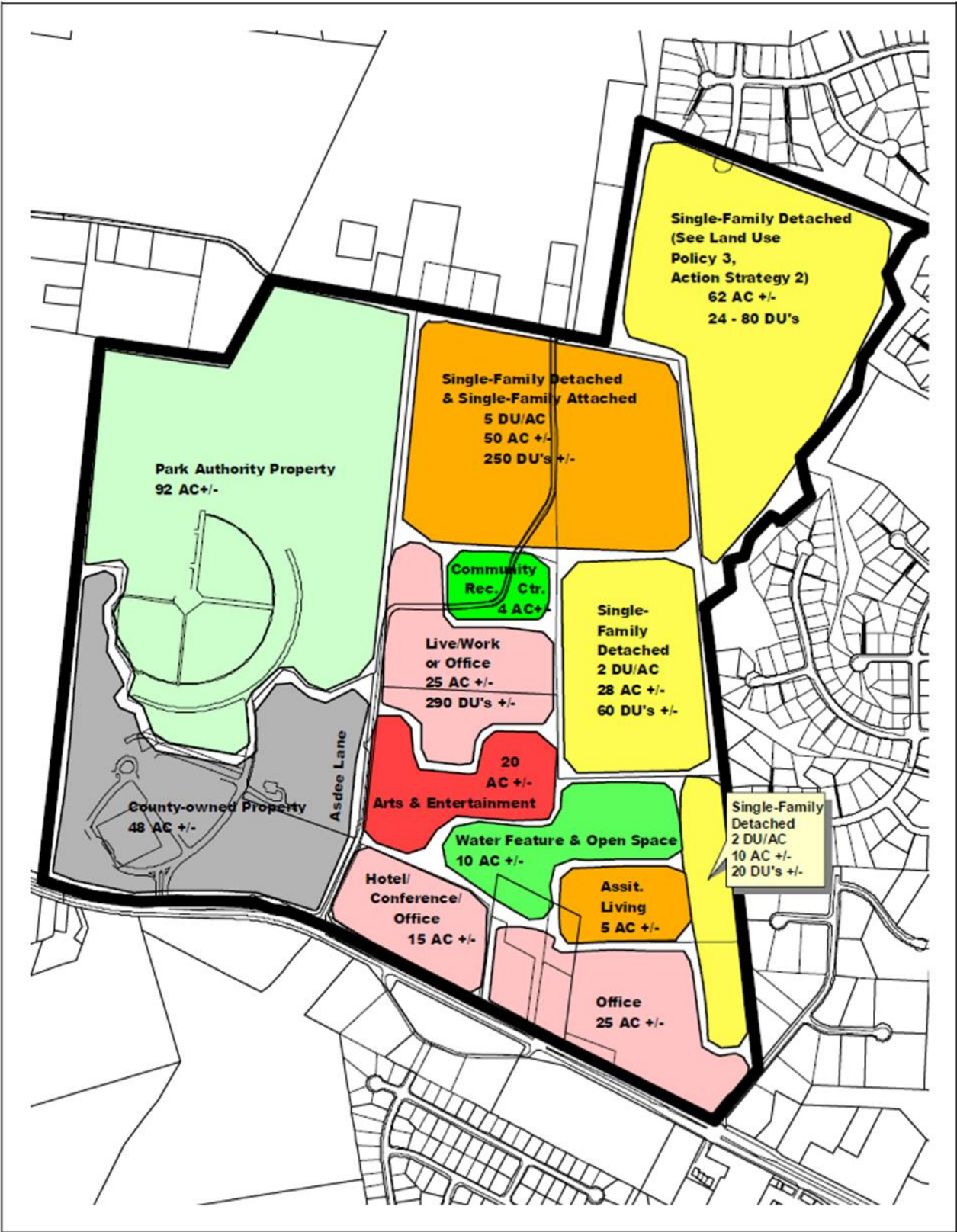


## Government Center Sector Plan - Long-Range Land Use Map



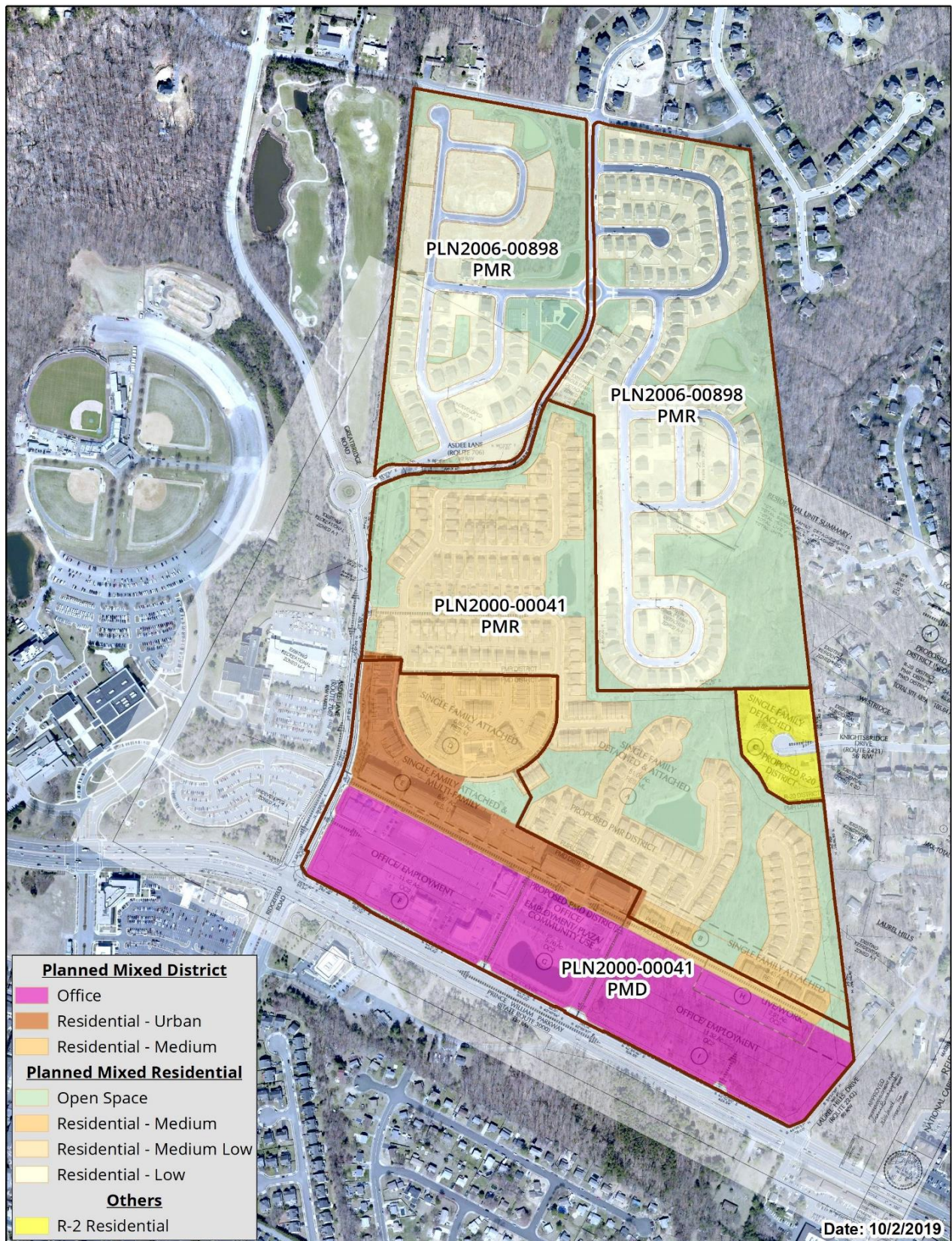


Government Center Sector Plan – Land Use and Density Concept Exhibit





**Master Zoning Plan – Development / Use Exhibit  
(by staff)**



## Part I. Summary of Comprehensive Plan Consistency

### **Staff Recommendation: APPROVAL**

This summary analysis is based on the relevant Comprehensive Plan action strategies, goals, and policies. A complete analysis is provided in Part II of this report.

<b>Comprehensive Plan Sections</b>	<b>Plan Consistency</b>
Long-Range Land Use	<b>No</b>
Community Design	Yes
Cultural Resources	Yes
Environment	Yes
Fire & Rescue	Yes
Police	Yes
Potable Water	Yes
Sanitary Sewer	Yes
Transportation	Yes

## Part II. Comprehensive Plan Consistency Analysis

The following table summarizes the area characteristics:

<b>Direction</b>	<b>Land Use</b>	<b>Long-Range Future Land Use Map Designation</b>	<b>Zoning</b>
North	Undeveloped land bay, designated for Live/Work units; 12 live/work units in townhouses (Reid's Prospect)	CEC	PMD (office; live/work); PMR (medium density residential / open space)
South	Undeveloped, vacant land; Existing single-family residential property; Western portion of Ridgewood Center office complex (County offices)	O	B-1; O(L)
East	Across Laurel Hills Drive; undeveloped, vacant land	SRL	A-1
West	Undeveloped land bay, designated for Office/Employment uses (Reid's Prospect)	CEC	PMD (office)



## Long-Range Land Use Plan Analysis

Through wise land use planning, the County ensures that landowners are provided a reasonable use of their land while the County is able to judiciously use its resources to provide the services for residents' and employers' needs. The Long-Range Land Use Plan sets out policies and action strategies that further the County's goal of concentrating on population, jobs, and infrastructure within vibrant, walkable, mixed-use centers serviced by transit. In addition to delineating land uses on the Long-Range Land Use Map, the Plan includes smart growth principles that promote a countywide pattern of land use that encourages fiscally sound development and achieves a high-quality living environment; promotes distinct centers of commerce and centers of community; complements and respects our cultural and natural resources, and preserves historic landscapes and site-specific cultural resources; provides adequate recreational, park, open space and trail amenities that contribute to a high quality of life for county residents; and revitalizes, protects, and preserves existing neighborhoods.

This site is located within the Development Area of the County, and is designated CEC, Community Employment Center, in the Comprehensive Plan. The following table summarizes the uses and densities intended within this designation:

Long-Range Land Use Map Designation	Intended Uses and Densities
<b>Community Employment Center (CEC)</b>	The purpose of the Community Employment Center classification is to provide for areas of low- to mid-rise offices (including government offices, particularly those for Prince William County agencies), research and development, lodging, and mixed-use projects planned and developed in a comprehensive, coordinated manner. CEC projects shall be located at or near the intersection of principal arterials and major collector roads, or at commuter rail stations. Residential uses shall be considered secondary uses and shall represent no greater than 25 percent of the total CEC gross floor area of the project. Drive-in/drive-through uses are discouraged. Single-family attached or multifamily housing including elderly housing is permitted, at a density of 6-12 units per gross acre, less the ER designated portion of a property. Development in CEC projects shall occur according to an infrastructure implementation plan submitted at the time of rezoning. The intent of this plan is to ensure that critical infrastructure for office, employment, and lodging uses is developed adequately for each phase of the project. Development shall also occur according to a phasing plan that must ensure that office, employment, and lodging uses are always the primary uses within the area rezoned. Office development in CEC areas is encouraged to be in accordance with the Illustrative Guidelines for Office Development, provided as a supplement to the Community Design Plan chapter of the Comprehensive Plan and available from the Planning Office. A minimum office building height of 3-5 stories is preferred.

### **Government Center Sector Plan**

This property is also located within the Government Center Sector Plan special planning area. According to the associated Long-Range Land Use Plan Map, the site is located within the CEC-CC land use classification, which calls for mostly office development and employment-based uses.

- **Purpose and Background:** The Government Center Sector Plan has been prepared to create an outstanding central focal point for the County that will firmly establish a center of activities and further the economic development goals of the County. This Plan is intended to provide opportunities for both expanding the County government and cultural activities, and to plan for the establishment of private commercial and residential uses within two proposed mixed-use communities, one on each side of Prince William Parkway in the vicinity of the existing County administration complex.

### **Community Employment Center - County Center (CEC-CC) Overlay**

The CEC-CC land use classification is expected to develop as one or a series of mixed-use projects with a large-scale, centralized orientation of buildings and activities associated with the administration of the County and Pfitzner Stadium. Drive-in/drive-through uses, in-line or strip shopping centers, other freestanding retail uses, self-storage centers, automotive related uses, and warehousing uses are prohibited. The density for the nonresidential uses is a minimum of 0.50 floor area ratio. Single-family detached, single-family attached, or multifamily housing, particularly age-restricted housing types are permitted at higher densities in the center of the CEC-CC area with a lowering of density as distance from the center increases.

The purpose of the CEC-CC land use classification is to provide for areas of low- to mid-rise office, lodging, and mixed-use projects planned and developed in a comprehensive, coordinated manner, focused on central open space areas. The CEC-CC includes properties north of Prince William Parkway, including those properties to the east of County, Park Authority, and Service Authority properties along the boundary of the Laurel Hills and Westridge subdivisions. Development in the CEC-CC shall occur in substantial accordance with the County Center Design Guidelines and Concept Plan described in more detail as a supplement to the Government Center Sector Plan.

- **LU-POLICY 3:** Maintain an overall objective of achieving higher intensity land uses in the core area (County center and Town center) and appropriate transitioning of development densities throughout the sector plan area.

#### **ACTION STRATEGIES:**

1. Ensure that the developments fronting on Prince William Parkway, extending from the Town Center and County Center areas to The Glen, contain a significant amount of office development. Also, ensure that the easternmost parcel along the north side of the Parkway is mostly office development. Allow some residential development in this parcel that is integrated with development on the adjoining properties.

The Applicant has provided the following description of the project. Below is an extracted portion of from the Applicant's project narrative:

*Hawthorn offers a unique assisted living facility that does not yet exist in Prince William County. Hawthorn's assisted living facilities are designed for those who are still ambulatory, but in need of some support. Typically, a majority of the residents are single and range in ages from late 70s and 80s. Private rooms provide the advantages of independence while the services included provide support, security, and friendship. There are two manager couples that live onsite and one of them is available 24 hours a day. All services and utilities (except for telephone services) are included in the rent (month to month rental, and not a "buy-in facility"). Furthermore, the services provided are one level of service and are the same for all residents.*

*Hawthorn's private suites range in size from studio, one and two bedrooms. The resident suites are accessed from internal corridors with some suites having exterior patios and decks. The two manager units can be accessed from their own private exterior entry doors as well as from the interior corridors. Access to the building requires a key pass and all external doors are locked in the evening. Each resident suite is equipped with emergency call systems (emergency pull cords and voice communication systems) in each bedroom and bathroom. Hawthorn provides three meals per day that are served restaurant style in a central dining hall.*

The Applicant has confirmed that this type of proposed assisted living facility will not be licensed, due to its alternative range of services and business operation model. The Zoning Ordinance does not have a licensing requirement for assisted living facilities.

There is a Zoning Determination that designates the proposed use as an assisted living facility. However, based on staff's understanding of the nature of this type of assisted living facility, the use is not anticipated to be a significant employment generator, and resembles a congregate care, independent senior living, or concierge senior living (residential product) – rather than a more typical assisted living facility (commercial product), which the County has seen. Although the proposed new use option is an assisted living facility, as previously mentioned in the above section, it will function more as an independent senior living facility – and less like an office/commercial facility. Based on staff's interpretation, this end-user will be introducing a residential-type use into an area of Reid's Prospect that is targeted for employment uses. Even though other employment use options are being retained, if this use proceeds, the "employment center" will essentially be converted to what will function as "multi-family residential". This is contrary to what has been envisioned for this specific land bay for Reid's Prospect.

In regard to employment and third-party provider information, the Applicant has provided the following, as extracted from an email correspondence:

- **Employees:** *This location will have approximately 35-40 employees with a various range of skills and pay. Some employees will be paid by the hour while other employees will have a salary. The range of annual pay and other compensation is between \$20,000 to \$120,000.*
- **Third Party Companies (Independent Providers):** *Hawthorn has a list of third-party medical companies that they work with frequently in the area and provide this list to its residents as referrals (please note that Hawthorne does not endorse these companies). If a resident hires a*

*person/company outside of this list that person/company is screened by Hawthorn prior to beginning any services to ensure that the company is licensed, bonded, etc. On average, approximately 10%-20% of the residents may contract with an independent provider for various reasons. Because the contract is between the independent provider and the resident we do not have cost estimates.*

### **Proposal's Strengths**

- Option for Employment Uses: As proffered, all previously-proffered employment uses in Land Bay J will still pertain, with the additional option to include an assisted living facility. This restriction shall not preclude first floor secondary retail uses in multi-story buildings, with the primary use being employment related.
- Compatible Use in Government Center Sector Plan: This proposal will deliver an assisted living facility, which is among the potential targeted uses for the Government Center Sector Plan. Also, the Land Use and Density Concept Exhibit indicates an assisted living facility for this general area. According to the Applicant, this proposed facility will have approximately 35 to 40 employees, and with a varied range of skills and compensation.

### **Proposal's Weaknesses**

- Incompatibility of B-1 Zoning with CEC Designation: As proposed, the use/zoning designation in a portion of the subject land bay is being changed from O(H) to O(H)/B-1 to allow an assisted living facility as a by-right use. A new Land Bay "J" will be created to include the area (±5.41 acres) that is subject to this proffer amendment. Staff notes that the B-1 zoning district is not a zoning district that appropriately implements the CEC use designation. Although the options for office/employment-type uses are still being retained, the introduction of the B-1 zoning district does not directly implement the envisioned uses for this area of the development.
- Displacement of Office: As prescribed in the Community Employment Center - County Center (CEC-CC) use designation overlay, in which this site is located, the policy guidance is to ensure that the easternmost parcel along the north side of the Parkway is mostly office development. Furthermore, staff notes that in the development of this portion of Reid's Prospect, the day care facility (Prestige) has maximized secondary uses in this area. Although a new assisted living facility will further add to the mixture of uses, it will not bring employment/office-oriented uses to this land bay along the Prince William Parkway. With an assisted living facility going into an area intended for office-type uses, it will reduce the overall employment potential of Reid's Prospect.

**On balance**, the application is found to be **inconsistent** with the relevant components of the Long-Range Land Use Plan.

## **Community Design Plan Analysis**

An attractive, well-designed County will attract quality development, instill civic pride, improve the visual character of the community and create a strong, positive image of Prince William County. The Community Design Plan sets out policies and action strategies that further the County's goals of providing quality development and a quality living environment for residents, businesses and visitors, and creating livable and attractive communities. The Plan includes recommendations relating to building design, site layout, circulation, signage, access to transit, landscaping and streetscaping, community open spaces, natural and cultural amenities, stormwater management, and the preservation of environmental features.

This subject proposal contains requests for the following three (3) design modifications: Signage; Height Increase; and Floor Area Ratio (FAR) Increase.

**Signage Modification:** Section 32-250.23 of the Zoning Ordinance allows the Board of County Supervisors to approve signage that is not consistent with the sign standards within the Zoning Ordinance as part of a rezoning/proffer amendment request.

- As a part of this proffer amendment/rezoning request, the Applicant is requesting the following signage modification: increase in monument sign height (10 feet to 12 feet).

**Height Modification:** Pursuant to Zoning Ordinance Sections 32-400.03.2 and 32-400.03.5, the Applicant is requesting the maximum height of any building to be constructed on the property, may be up to 60 feet. This deviates from the standard B-1 zoning requirements of 45 feet in height.

- As a part of this proffer amendment/rezoning request, the Applicant is requesting the following height modification: increase allowable height from 45 feet to 60 feet, to accommodate the proposed height for the assisted living facility in the B-1 zoning/designation for Land Bay J.

**Floor Area Ratio (FAR) Increase:** In accordance with Section 32-400.04.3 of the Zoning Ordinance, the Applicant requests modification of Section 32-401.14.4 to allow for a maximum FAR of 0.86 (from 0.40 in B-1 zoning).

Please refer to the "Waivers and Modifications" section at the end of this staff report for more explanation and analysis for each of the above-listed items.

## **Proposal's Strengths**

- **Design Guidelines:** As part of the original proffers, a Design Review Committee was established for Reid's Prospect that outlines building design, style, landscaping, architectural theme, etc. The proposal will comply with these Design Guidelines.
- **Architecture:** The Applicant proffers a coordinated architectural design theme in the development of the newly created Land Bay J. If approved, the exterior of all structures shall be composed primarily of brick, glass, architectural pre-cast concrete, hardi-type siding or panels, job-cast architectural concrete or stone. Other similar materials may be used as



approved by the Planning Director, or his designee, but in no event shall buildings with metal channel siding be allowed.

- Illustrative Layout/Design: The Applicant has provided an Illustrative Site Plan layout, should the property develop as an assisted living facility. As shown on the illustrative layout, over 50% of the property will have pervious area. Also, an illustrative building elevation for an assisted living facility has been proffered.
- Signage / Entrance Feature: The Applicant is providing signage/gateway details that integrate into the overall community design and architectural themes, which serve as periphery anchor points and focal points.
- Courtesy Review with LOCCA/PELT & Laurel Hills Community: The Applicant proffers a courtesy review prior to final site plan approval.

### **Proposal's Weaknesses**

- Reduced / Modified Landscaping: A 50-foot wide HCOD buffer is required along the frontage of Prince William Parkway. The original rezoning case reduced the buffer to 30-foot and showed an easement parallel and closest to the Parkway. Currently, an overhead electric utility easement runs in this area. The Applicant is proposing a variety of encroachments (utilities, easements, retaining walls, etc.) into the buffer, and is proceeding with a 30-foot buffer. As such, the proposal still does not meet minimum design standards. As proposed, there will be retaining walls, utilities, easements, the entrance signage feature, and variable landscaping, within landscaping buffers/areas that have already been modified from the original rezoning. Although there are onsite limitations due to topography, layout, and access improvements, there will be partial encroachment into buffers that have already been modified and/or reduced.
- Limited Interparcel Access: As proffered, there shall be a minimum of one (1) interparcel access connection for this land bay. This is located on the western side of the development, which will be for vehicular access. In the event that the surrounding development changes, or depending on how the new subject property (Land Bay J) is ultimately developed, there should be an additional full interparcel access to the north, and not just limited to pedestrian movement. The site contains one of the limited points of access from Reid's Prospect to Prince William Parkway.
- Integration with Adjacent Uses: The site is located in an area planned for mixed-use development. The grading, which relies on the use of retaining walls, and site design limit the proposal's integration with surrounding uses within Reid's Prospect.

**On balance**, this application is found to be consistent with the relevant components of the Community Design Plan.

### **Cultural Resources Plan Analysis**

Prince William County promotes the identification, evaluation, and protection of cultural resource sites throughout the County, as well as the tourism opportunities these sites present. The Cultural Resources Plan recommends identifying, preserving, and protecting Prince William County's significant historical, archaeological, architectural, and other cultural resources—including those significant to the County's minority communities—for the benefit of all of the County's citizens and visitors. To facilitate the identification and protection of known significant properties that have cultural resource values worthy of preservation, the land use classification County Registered Historic Site (CRHS) is used in the Comprehensive Plan. The Plan includes areas of potentially significant known but ill-defined or suspected pre-historic sites, Civil War sites, historic viewsheds, landscapes or areas of potential impact to important historic sites, and encourages the identification, preservation, protection, and maintenance of all cemeteries and/or gravesites located within the County.

Phase I archaeological studies are generally required at submission of rezoning and special use permit applications where significant prehistoric or historic sites and cemeteries are known or suspected. Phase II evaluations and treatment plans studies may also be required. Records research is required of all applicants for rezoning, special use permit, comprehensive plan amendment, and public facility review applications.

The Historical Commission initially reviewed this application during their regularly scheduled meeting on March 12, 2019. The Commission's review action was as follows: "Request details regarding disinterment and reinternment of the remains from the cemetery". The County Archaeologist concurred and requested further clarification of the cemetery extent/location.

Upon further review, the noted Marshall Cemetery is located in this general project area, but is not on the subject site. As requested, a copy of the court Final Order to relocate the graves at the Marshall Family Cemetery to the Clifton Cemetery, and the Certification of proof has been provided by the Applicant that all human remains have been relocated to another appropriate offsite location.

#### **Proposal's Strengths**

- **No Further Work:** The Historical Commission reviewed this proposal at its March 12, 2019 and June 11, 2019 meetings. After receiving clarifying information of the relocation of graves and further confirmation, it and determined that no further work was needed. The County Archaeologist concurs. The latest resolution is provided as an attachment at the end of this staff report.

#### **Proposal's Weaknesses**

- None identified.

**On balance,** this application is found to be consistent with the relevant components of the Cultural Resources Plan.

## Environment Plan Analysis

Prince William County has a diverse natural environment, extending from sea level to mountain crest. Sound environmental protection strategies will allow the natural environment to co-exist with a vibrant, growing economy. The Environment Plan sets out policies and action strategies that further the County's goal of preserving, protecting and enhancing significant environmental resources and features. The Plan includes recommendations relating to the incorporation of environmentally sensitive development techniques, improvement of air quality, identification of problematic soil issues, preservation of native vegetation, enhancement of surface and groundwater quality, limitations on impervious surfaces, and the protection of significant viewsheds.

The site is entirely wooded on with steep slopes on highly erodible soils. There is a potential jurisdictional wetland. There are no Resource Protection Area (RPA) or floodplain features. A conservation area and buffers exist along the eastern side of the site.

SUBWATERSHED:	Occoquan River subshed 432
TOTAL SITE AREA/ ER AREA:	5.4 acres / to be provided
TREE SAVE AREA:	Not provided
UNDISTURBED AREA:	Not provided
IMPERVIOUS/ PERVIOUS:	2.85 acres / 2.55 acres
AREA OF DISTURBANCE:	Not provided
RARE, THREATENED, AND ENDANGERED SPECIES:	No suitable habitat.

**SOILS:**

No.	Soils Name	Slope	Erodibility
10C	Buckhall Loam	7 - 15 %	Severe
23D	Gaila Sandy Loam	15 - 25 %	Severe
41B	Neabsco Loam	0 - 7 %	Moderate
44D	Occoquan Sandy Loam	7 - 25 %	Severe

This site has frontage on Prince William Parkway, which requires a minimum 50-foot wide Highway Corridor Overlay District buffer. The proffers for the existing Reid's Prospect development (#REZ2000-00041) allowed for the 50-foot buffer to be modified down to a minimum 30-foot wide buffer. This Applicant is proposing a variable width buffer a minimum of 30-foot in width. Within this 30-foot buffer, there are existing various utility (electric, telecommunication) easements parallel to and abutting the Prince William Parkway. In addition, due to the site topography and the extent of grading that will need to occur, retaining walls are being installed. Some of these will be placed at the edge portions of the perimeter buffer areas.

### Proposal's Strengths

- Monetary Contribution for Water Quality: A \$75 per acre (±5.41 acres) monetary contribution for water quality monitoring, stream restoration, and/or drainage improvements has been proffered.

- Preservation of Existing Conservation Areas: As proffered, within those portions of the Property identified as "Conservation Area" on the Open Space & Buffer Plan, vegetation shall be preserved, subject to disturbance for the following: installation and maintenance of water line crossings, sanitary sewer crossings, drainage crossings, other utility crossings and pedestrian trail(s); installation of fencing; installation of such additional landscaping as may be approved by the County; and removal of noxious vegetation.

### **Proposal's Weaknesses**

- Loss of Intact Tree Areas: Currently, the site is entirely wooded with steep slopes and highly erodible soils. With the proposed development, the entire site will change, due to the assisted living facility, parking, drive aisles, and other associated improvements. As a result, there will be a substantial increase in impervious area, loss of existing vegetation, and a need to manage/control new stormwater runoff. The Applicant is required to meet all current stormwater management regulations.

**On balance**, this application is found to be consistent with the relevant components of the Environment Plan.

### **Fire and Rescue Plan Analysis**

Quality fire and rescue services provide a measure of security and safety that both residents and businesses have come to expect from the County. The Fire and Rescue Plan sets out policies and action strategies that further the County's goal of protecting lives, property, and the environment through timely, professional, humanitarian services essential to the health, safety, and well-being of the community. The Plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility for fire and rescue facilities. The Plan also includes recommendations to supplement response time and reduce risk of injury or death to County residents, establishment of educational programs, such as cardio-pulmonary resuscitation (CPR) training, automatic external defibrillators (AED), and encourage installation of additional fire protection systems – such as sprinklers, smoke detectors, and other architectural modifications.

The first due fire/rescue station is for the subject site is Fire/Rescue Station #26 (Bacon Race). The subject property is inside the 4.0-minute travel time criteria for fire and basic life support and inside the 8.0-minute travel time criteria for advanced support services. Fire/Rescue Station 26 responded to 1,959 incidents in FY18, while the workload capacity is 2,200 incidents.

Staff has had initial concerns about the ability/ease of emergency vehicles to adequately access the site. With a median strip in the middle of this portion of the Prince William Parkway, tight U-turn spacing at the Parkway/Laurel Hills Drive intersection, and minimal interparcel connections, emergency access to the site is challenging. However, based on further analysis, it has been demonstrated that an emergency vehicle is able to make a U-turn at the intersection of Prince William Parkway and Laurel Hills Drive. By the nature of this type of use (assisted living facility), there can be higher levels of calls for assistance, when compared to other uses.

Fire lanes and interparcel connections will be reassessed at the time of site plan review.

### **Proposal's Strengths**

- Monetary Contribution: As proffered, the Applicant will make a monetary contribution of \$0.61 per square foot of new building area to be constructed prior to issuance of any building permit.
- Inside of 4.0-Minute Travel Time: The site is located within the recommended 4.0-minute travel time for fire suppression and basic life support.
- Inside of 8.0-Minute Travel Time: The site is located within the 8.0-minute travel time for advanced life support services.
- Station Workload: Based on the latest available data, station #25 responded to 1,959 incidents in FY18, while the workload capacity is 2,200 incidents. As such, it is operating within capacity.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Fire and Rescue Plan.

## **Police Plan Analysis**

Residents and businesses expect a high level of police service for their community. This service increases the sense of safety and protects community investments. The Police Plan is designed to promote Prince William County's public safety strategic goal to continue to be a safe community, reduce criminal activity, and prevent personal injury and loss of life and property, as well as to ensure effective and timely responses throughout the County. The Plan encourages funding and locating future police facilities to maximize public accessibility and police visibility as well as to permit effective, timely response to citizen needs and concerns. The Plan recommends educational initiatives, such as Neighborhood and Business Watch, and Crime Prevention through Environmental Design (CPTED), which encourages new development to be designed in a way that enhances crime prevention. The Plan also encourages effective and reliable public safety communications linking emergency responders in the field with the Public Safety Communications Center.

The Police Department does not feel that this proposal will have an overall significant impact on police services at this time. During the site development process, refer to the Crime Prevention Through Environmental Design (CTPED) Manual: "Crime Prevention Through Environmental Design: A guide to safe environments in Prince William County, Virginia", which can be found at: <http://www.pwcgov.org/government/dept/police/Pages/CPTED.aspx>.

The Applicant is encouraged to pay particular attention to the CPTED manual and apply design principles during the site development/construction and site plan review phase.

### **Proposal's Strengths**

- **No Significant Impact:** The Police Department has reviewed the proposal and does not believe it will result in a new significant impact on calls for Police service.

### **Proposal's Weaknesses**

- None identified.

**On balance,** this application is found to be consistent with the relevant components of the Police Plan.

## **Potable Water Plan Analysis**

A safe, dependable drinking water source is a reasonable expectation of County residents and businesses. The Potable Water Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound drinking water system. The Plan includes recommendations relating to system expansion, required connections to public water in the Development Area, and the use of private wells or public water in the Rural Area.

The subject property is within the Development Area of the County and is thereby required to utilize public water to develop. Public water is available onsite from an existing 8-inch stub-out and a 12-inch water main located along the northern property boundary and the northeast corner of the Property, respectively. The developer will be required to provide an onsite looped water main configuration by connecting these water mains for increased reliability and water quality. In addition, appropriate easements and stub-outs shall be provided to allow the future extension of water to the western portion of the site.

Depending on the final configuration of the on-site water mains, additional water main extensions may be required by the Service Authority to provide adequate fire protection or satisfy water quality requirements. The Applicant shall plan, design, and construct all onsite and offsite water utility improvements necessary to develop/utilize the subject property and satisfy requirements in accordance with all applicable Service Authority, County, and State requirements, standards, and regulations.

### **Proposal's Strengths**

- **Water Connection:** The Applicant is required to comply with Zoning Ordinance Section 32-250.74, which mandates connection of the site to public water service. As proffered, the site shall be connected to public water, with the Applicant bearing all costs associated with providing onsite and offsite facilities to meet the demand generated by its uses.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Potable Water Plan.

### **Sanitary Sewer Plan Analysis**

Appropriate wastewater and sanitary facilities provide needed public health and environmental protections. The Sanitary Sewer Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound sanitary and stormwater sewer system. The Plan includes recommendations relating to system expansion, required connections to public sewer in the Development Area, and the use of either private or public sewer systems in locations classified as Semi-Rural Residential (SRR), as well as the Rural Area.

The subject property is within the Development Area of the County and is thereby required to utilize public sewer to develop. Public sewer is available onsite from an existing 8-inch gravity main located along the northern property boundary.

Grinder pumps and grease traps in the sanitary sewer system may be required. The Applicant shall plan, design, and construct all onsite and offsite water utility improvements necessary to develop/utilize the subject property and satisfy requirements in accordance with all applicable Service Authority, County, and State requirements, standards, and regulations.

### **Proposal's Strengths**

- **Sewer Connection**: The Applicant is required to comply with Zoning Ordinance Section 32-250.75, which mandates connection of the site to public sewer service. As proffered, the Applicant shall connect to public sewer and is responsible for those onsite and offsite improvements, with the Applicant bearing all costs associated with providing onsite and offsite facilities to meet the demand generated by its uses.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Sanitary Sewer Plan.

### **Transportation Plan Analysis**

By providing a multi-modal approach to traffic circulation Prince William County promotes the safe and efficient movement of goods and people throughout the County and surrounding jurisdictions. The Transportation Plan sets out policies and action strategies that further the County's goal of creating and sustaining an environmentally friendly, multi-modal transportation system that meets the demands for intra- and inter-county trips, is integrated with existing and planned development, and provides a network of safe, efficient, and accessible modes of travel. The Plan includes recommendations addressing safety, minimizing conflicts with environmental and cultural resources, maximizing cost effectiveness, increasing accessibility of all travel modes, minimizing projected trip demand, and providing sufficient network capacity. Projects should include strategies that result in a level of service (LOS) of "D" or better on all roadway corridors and intersections, reduce traffic demand through transportation demand management strategies, dedicate planned rights-of-way, provide and/or fund transit infrastructure, pedestrian and bicycle pathways, and improved and coordinated access to transit facilities.

The following table provides information concerning the most current average daily trips (ADT) in vehicles per day (VPD) and levels of service (LOS) of roadways important to this development:

<b>Roadway Name</b>	<b>Number of Lanes</b>	<b>2018 VDOT Count</b>	<b>2015 Daily LOS</b>
Prince William Parkway (Route 294)	6	51,000 vehicles per day (VPD)	C

A Deferral of Traffic Impact Analysis (TIA) form was signed by County Transportation and is included with the rezoning/proffer amendment application. The proposal is to amend the existing proffers to allow the option to develop an assisted living facility, while retaining the previously-approved employment uses.

The Prince William Parkway/Black Forest Lane/Reids Circle signalized intersection will be impacted by a slight increase in traffic from this proposed development. This signal currently operates in flashing-yellow mode on Prince William Parkway, because VDOT warrants are not currently met for operation. The Applicant was requested to provide a traffic signal warrant study and any needed upgrades to the signal for it to be fully operational, subject to VDOT review and approval. In response, the Applicant's traffic consultant demonstrated that the small amount of traffic from the proposed use would not warrant switching the signal from flashing yellow to full signal operation at the Prince William Parkway/Black Forest Lane/Reid's Prospect Drive intersection.

The Applicant has coordinated with the owner, Plaza Land, to determine the appropriate location of the recommended interparcel connection. The Applicant received permission from Plaza Land approving the interparcel connection location. This is shown on the plan.

### **Proposal's Strengths**

- Site Access: As proffered, access will be provided by a right-in/right-out entrance configuration off of westbound Prince William Parkway.



- Contingency for Updated TIA: In the event a hotel use is located on the Property and if requested by the County, the Applicant shall provide an updated Traffic Impact Analysis (TIA) to determine impacts, if any, associated with such use and shall provide, in consultation with the County Transportation and/or VDOT, measures to mitigate such impacts.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Transportation Plan.

## **Strategic Plan**

This section of the report is intended to address the project's alignment with the outcomes provided within the County's Strategic Plan. The Strategic Plan posits that individuals, families and businesses prefer communities with a robust economy; easy access to jobs, services and activities; that support even the most vulnerable in the community; are safe and secure; and provide a quality education that assures lifelong learning and steady employment. From this analysis, the Strategic Plan Team developed five strategic goal areas to guide Board actions: "Robust Economy," "Mobility," "Wellbeing," "Safe and Secure Community," and "Quality Education and Workforce Development." It is important to note that no single area is viewed as more critical than another. Rather, each are interrelated and have direct impact on each other. Collectively, these goal areas impact the quality of life in all facets of the community issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The aspects of the proposal relative to the Strategic Plan are as follows:

### **Increase commercial tax base**

- Increase commercial tax base as a percentage of overall tax revenue to 35%.

### **Increase at-place employment**

- While employment in the assisted living facility may meets the Strategic Plan Goal of increasing at place employment, these jobs can be lower skilled and lower paying jobs. Despite the fact that all of the previously-proffered employment use options are being retained, with the targeted end user(assisted living facility), the potential office uses will be replaced with a more quasi-residential use.

The following table provides an estimated employment generation summary in "Office" planned uses as per the approved Master Zoning Plan. Since the subject site is planned as CEC and zoned PMD (Office/Employment planned uses), staff analyzed the Office scenario and provided for analytical comparison and are based on the maximum and requested Floor Area Ratio (FAR). In summary, it is anticipated that the proposal will yield substantially less employees than what is anticipated in typical Office-type developments.

Hawthorn Retirement – Employment Yield Analysis		
	Office – 0.7 and 0.86 FAR	
<b>Total Acres</b>	<b>5.41</b>	
<b>Residential Acres</b>	<b>0.00</b>	
<b>Employment Acres</b>	<b>5.41</b>	
<b>ER Acres</b>	<b>0.00</b>	
<b>FAR (max and requested)</b>	<b>0.70</b>	<b>0.86</b>
<b>Total Employees</b>	<b>575</b>	<b>708</b>
<b>Total Dwellings</b>	<b>0</b>	<b>0</b>
<b>Total GFA</b>	<b>164,962</b>	<b>202,667</b>
<b>Residents</b>	<b>0</b>	<b>0</b>
Office Employees	527	648
Retail Employees	18	22
Industrial Employees	0	0
Other Employees	30	38
Retail GFA	8,248	10,133
Office GFA	131,969	162,134
Industrial GFA	0	0
Other GFA	24,744	30,400
SFD Units	0	0
SFA Units	0	0
MFA Units	0	0

Based on an assessment of other assisted living/memory care facilities in the surrounding area, such facilities typically have between 75 to 100 employees. This particular facility, as proposed, will generate 35 to 40 permanent employment opportunities, according to the Applicant.

## **Waivers and Modifications**

Pursuant to Section 32-700.25 of the Zoning Ordinance, the following waivers/modifications are being requested through this Proffer Amendment:

- In accordance with Section 32-250.23 of the Zoning Ordinance, modification of Sections 32-250.24 Schedule B of the Zoning Ordinance to allow for a freestanding monument sign and entry feature as generally shown on Sheet 3 of the “Illustrative Site Package,” prepared by Lenity Architects dated July 8, 2019.
  - Staff Response
    - *The Applicant is intending for the L-style monument sign to also be the focal entry feature for the property along this portion of Reid’s Prospect. Also, due to the surrounding site grade, the Applicant is claiming the height of the sign needs to be greater than 10 feet. At an overall proposed height of 12 feet and given the fact that the signage will also serve as an entry/focal feature along this portion the Prince William Parkway. Staff is supportive of this request.*
- Modification of Sections 32-250.31, 32-250.32, 32-503.12 and 32-800.11 of the Zoning Ordinance and Sections 802.10, 802.11, 802.12, 802.13, 1003.01 and 1003.02 of the DCSM to waive and modify all internal buffers between uses on the Property, the perimeter buffers and buffers adjacent to roadways along Prince William Parkway and Laurel Hills Drive in accordance with the Design Guidelines and as more particularly described in the Open Space & Buffer Plan; and to modify the planting standards to allow existing vegetation to satisfy the planting standards and to allow utilities, easements, and retaining walls greater than three feet (3') within the buffer areas.
  - Staff Response
    - *This waiver was previously approved with REZ #PLN2000-00041, Reid’s Prospect, and will be a continuation of what was previously approved. The proposed streetscape includes an entry feature consistent with the architectural character of the building, 4 story building with 360-degree architecture oriented with the main building entry facing the Parkway, and parking areas and the proposed variable width buffer plantings. According to the Applicant, due to the grade of the site, the retaining wall (greater than 3 feet in height) must be located within the buffer area. The landscaping was modified with the previous rezoning, and the Applicant is proposing a variable width buffer with further encroachment into an already modified/reduced landscaping buffer along the Parkway. Staff is generally supportive of this request.*

- Waiver of Section 32-250.72 of the Zoning Ordinance and 601.04.I of the DCSM to waive vehicular interparcel connections with surrounding properties consistent with Proffer 3.b.
  - Staff Response
    - *This waiver was included and approved with REZ #PLN2004-00041. Due to the proposed grading of the site, the Applicant indicates that they are unable to provide more than one interparcel vehicular connection to the adjoining properties. However, the Applicant has provided a pedestrian connection to the property to the north. Staff feels that that Applicant should provide such interparcel access, especially to the north and west. For such an assisted living facility, it is important for residents to be able to walk and easier get from the subject site to other amenities and services within Reid's Prospect. Also, with an overall increased potential need for emergency services for this type of use, it is crucial that the site is well connected to the rest of the development. As proposed, there is only one (1) such vehicular interparcel connection to the west, and one (1) pedestrian access to the north. Staff would have preferred another full interparcel connection to the north as well.*
- In accordance with Section 32-300.03.2 of the Zoning Ordinance, modification of Section 32-401.14.5 of the Zoning Ordinance to permit a maximum height of 60 feet as outlined in Proffer 7.
  - Staff Response
    - *The original proffers contemplated a minimum 3-story building on the property. The Applicant is now proposing a 4-story building, with a maximum height of 60 feet. The maximum height permitted in the O(H) zoning district is 100 feet, while the maximum height permitted in the B-1 zoning district is 45 feet. The proposed height modification request is to allow a height greater than 45 feet, for the proposed assisted living assisted living facility which, if approved, would be allowed in the underlying zoning district of B-1. Staff is supportive of this request.*
- In accordance with Section 32-400.04.3 of the Zoning Ordinance, modification of Section 32-401.14.4 to allow for a maximum FAR of 0.86.
  - Staff Response
    - *The O(H) zoning category permits a maximum floor area ratio (FAR) of 1.25. However, B-1 zoning permits a maximum FAR of 0.40. The Applicant is seeking a greater FAR of up to 0.86 on the site, while reducing the pervious area from what was previously approved. Staff is generally supportive of this request.*

- Modification of Section 125.01.I.1 of the DCSM to allow the existing overhead utility lines and pole located at the intersection of Prince William Parkway and Laurel Hills Road to remain aboveground as outlined in Proffer 18.
  - Staff Response
    - *The utility lines along the frontage of the property were relocated above-ground as part of the construction of Prince William Parkway in accordance with the approved public improvement plan #SP06-00040R00S05. Due to the new development, existing overhead wire utilities along the frontage should be placed underground. The Planning Office recommends this waiver be deferred to site plan review, where a full and more detailed technical analysis can be considered by the Department of Development Services, as per standard review protocol. As such, staff does not support this waiver, as requested in the proffers.*

### **Materially Relevant Issues**

This section of the report is intended to identify issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The materially relevant issues in this case are as follows:

- Based on staff's understanding of the nature of this type of assisted living facility, it resembles a congregate care, independent senior living, or concierge senior living (residential product) – rather than a more typical assisted living facility (commercial product). The Applicant has confirmed that this type of facility will not require a licensing, which is unlike all other assisted living facilities through the County. Over the review of this application, the County's Area Agency on Aging has also expressed concerns with this subject facility not being licensed. Although it is acknowledged that the proposed use still meets the Zoning Ordinance definition of an assisted living facility, it does not specifically provide licensing requirements.
- This proposed "assisted living facility" is in relatively close proximity to two (2) other existing "assisted living and memory care" facilities:
  - Tribute at the Glen (±1,900 feet to the east)
  - Harbor Chase (±2.5 miles to the southeast)

**Agency Comments**

The following agencies have reviewed the proposal and their comments have been summarized in relevant comprehensive plan chapters of this report. Individual comments are in the case file in the Office of Planning:

- PWC Archaeologist
- PWC Area Agency on Aging
- PWC Economic Development
- PWC Fire Marshal Office
- PWC Historical Commission
- PWC Planning Office / Proffer & Zoning Administration
- PWC Police / Crime Prevention
- PWC Public Works – Watershed / Environmental / Arborist
- PWC Service Authority
- PWC Transportation
- Virginia Department of Transportation (VDOT)

## Mark-up Proffers (showing all changes)

### PROFFER STATEMENT

RE: ~~REZ #PLN2000-00041~~ REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Record Owner: ~~Stanley F. Reid, Letitia and Robert O. Estes, Agnes L. and Daniel R. Reid,~~  
~~Mary L. Pfitzner and~~ Plaza Land Holdings, L.P.  
Applicant: Lenity Architecture on behalf of Hawthorn Development LLC  
Contract Purchaser: ~~National Capital Land & Developer:~~ Hawthorn Development  
~~Company, Inc. LLC~~  
Property: G.P.I.N. 8193-31-4635 (part)  
  
Property: G.P.I.N.s 8193-31-5659, 8193-31-0737, 8193-22-7100, 8193-21-  
5792, 8193-21-8870, 8193-21-9297, 8193-22-8267, and 8193-23-  
4181  
~~Coles Occoquan Magisterial Districts~~ District  
Approximately ± 5.41 acres  
46.68 Acres A-1 to PMD  
54.51 Acres A-1 to PMR  
Zoned PMD, Planned Mixed Development  
  
3.85 Acres A-1 to R-20  
Date: ~~October 26~~ August 28, 2004 2019

The undersigned hereby proffers that the use and development of the subject Property shall be in strict conformance with the following conditions, which shall supersede all other proffers made prior hereto (including the proffers approved with Rezoning #PLN2000-00041, Reid's Prospect). In the event the above ~~referenced rezoning-referenced proffer amendment~~ is not granted as applied for by the Applicant, these proffers shall be withdrawn and are null and void and the proffers approved with REZ #PLN2000-00041 will remain in full force and effect.

The headings of the proffers set forth below have been prepared for convenience or reference only and shall not control or affect the meaning or be taken as an interpretation of any provision of the proffers. Any improvements proffered herein below shall be provided at the time of development of the portion of the site served by the improvement, unless otherwise specified. The terms "Applicant" and "Developer" shall include all future owners and successors in interest.

For purposes of reference in this Proffer Statement, references to plans and exhibits shall include the following:

1. ~~1.~~ "Master Zoning Plan for Reid's Prospect" prepared by ~~The Engineering Group~~ Timmons Group, Inc. and dated ~~November 6~~ July 8, 2003, last revised ~~September 30, 2004, 2019~~ consisting of the following sheets:

## Mark-up Proffers (showing all changes)

### PROFFER AMENDMENT STATEMENT

REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect

Plaza Land L.P.

August 28, 2019

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- a. Master Zoning Plan ("MZP")
- b. Transportation and Utilities Plan ("Transportation Plan")
- c. Open Space/ & Buffer Plan ("~~Open Space/Buffer Plan~~")<sup>2</sup>; "Design Guidelines – Reid's Prospect" dated September, 2004.
3. ~~"Private Street Standards" prepared by The Engineering Groupe, Inc. and dated July 28, 2003, last revised September 30, 2004 ("Private Street Standards").~~

### TRANSPORTATION

#### 1. ~~Prince William Parkway~~

- a. ~~In the event additional right of way is required and if requested by the County, the Applicant shall dedicate, at no cost to Prince William County or the Virginia Department of Transportation (VDOT), right of way up to a maximum of sixty feet (60') in width from the existing centerline of Prince William Parkway across the frontage of the Property plus additional right of way as required for the construction of turn lanes. Said dedication shall be made, if requested by Prince William County, at the time a site plan is filed for the public improvements set forth in proffers #1.b and #1.c below.~~
- b. ~~The Applicant shall construct, within existing right of way, or right of way to be dedicated pursuant to proffer #1.a above, modifications to the existing left turn lane on Prince William Parkway into the main entrance to the Property opposite Black Forest Drive on the Parkway. Any required improvements to the said left turn lane shall be provided at the time that the said entrance to the Property is constructed.~~
- c. ~~The Applicant shall construct, within existing right of way or right of way to be dedicated pursuant to proffer #1.a above, the following improvements to Prince William Parkway: 1) a full travel lane, 2) right turn/deceleration lanes at Asdee Lane and each entrance to the Property, 3) curb and gutter and 4) reconstruction of the existing 8' wide bike trail.~~

2. ~~Asdee Lane. The Applicant shall dedicate, at no cost to Prince William County or VDOT, right of way as required across the frontage of the Property and shall construct the Asdee Lane improvements as shown on the Transportation Plan.~~
2. "Design Guidelines – Reid's Prospect," dated September 2004;
3. "Illustrative Site Package," prepared by Lenity Architecture, dated July 8, 2019, consisting of the



## Mark-up Proffers (showing all changes)

### PROFFER AMENDMENT STATEMENT

REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect

Plaza Land L.P.

August 28, 2019

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following sheets:

- a. Illustrative Variable Width Buffer (Sheet 2)
- b. Illustrative Entry Feature (Sheet 3)
- c. Illustrative Building Perspectives (Sheets 4 through 7)

### TRANSPORTATION

#### 3. Signalization:

- a. ~~At the request of Prince William County or VDOT, the Applicant shall construct signalization at the entrance to the Property on the Prince William Parkway if warranted based on a traffic signal warrant study prepared by the Applicant and approved by VDOT during development of the Property. Said signalization shall include a controller suitable to synchronize the cycles with the signals located on the Parkway between and including Laurel Hills Drive and County Complex Court.~~
- b. ~~If approved by the County and VDOT, the Applicant shall provide pedestrian activated crossing controls on the traffic signals located at the intersection of Asdee Lane and Prince William Parkway.~~

#### 4. The Applicant shall provide painted pavement pedestrian crosswalks across Prince William Parkway and Asdee Lane at the intersection of said roads adjacent to the Property. Said painted crosswalks shall be provided at the time of and in conjunction with the improvements to said roads as set forth in proffers #1 and #2 above.

#### 4. 5. Site Access

- a. ~~a. The maximum number of entrances to the Property on the Prince William Parkway and locations of said entrances shall be generally as shown on the Transportation Plan, subject to modifications required at site plan based on final engineering.~~
- b. ~~Access to Land Bay C shall be provided from existing Knightsbridge Drive and there shall be no vehicular connection between Land Bay C and the balance of the Property.~~
- b. ~~c. In accordance with As depicted on the Transportation Plan, there shall be no interparcel connections between the Property and adjacent properties except for the connection as referenced in proffer #5.b above and as shown on the Transportation Plan a minimum of one (1) inter-parcel access on the Property.~~

## Mark-up Proffers (showing all changes)

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- ~~6. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$3,057 per multi family unit, \$4,624 per single family attached unit and live/work unit and \$5,264 per single family detached unit constructed on the Property to be used for transportation improvements. The proffered monetary contributions shall be applied to capital projects in the area of the subject rezoning that are identified in the Capital Improvement Program, 6-year road plan or other capital improvements projects adopted by the Board. The Board may also budget and appropriate these contributions or portion thereof to other specific capital projects. Said contribution shall be paid in a lump sum prior to and as a condition of the approval of the first Final Subdivision/Site Plan and shall be based on the total number and types of units approved on the Preliminary Plan. In the event the actual number of units constructed on the Property is different than the number approved on the Preliminary Plan and for which said contribution is paid, the County shall reimburse the Applicant in the amount of the contribution paid for units not constructed or the Applicant shall make an additional contribution to the County in accordance with the per unit amount set forth herein for any additional units ultimately constructed on the Property that were not reflected on the Preliminary Plan. Reconciliation of this contribution shall be provided at the time the last final plan for residential units is filed with the County.~~
- ~~7. If during the course of development of the Property, it is determined by the operator of the intra or inter County bus system that the Property is an appropriate location for a bus stop, the Applicant shall construct a bus shelter on the Property conforming to the applicable transit company standards at a location acceptable to the Applicant and to the bus system operator for the use of the patrons of the bus system. The Applicant shall contact a representative of the applicable transit company at the time a preliminary plan is filed to determine whether a bus shelter shall be located on the Property and, if so, the appropriate location shall be identified on the applicable final plan.~~
- ~~5. 8.~~In the event a hotel use is located on the Property and if requested by the Department of Public Works, the Applicant shall provide an updated Traffic Impact Analysis (TIA) to determine impacts, if any, associated with such use and shall provide, in consultation with the Department of Public Works, measures to mitigate such impacts.

### **USES AND SITE DEVELOPMENT**

- ~~6. 9.~~Development of the Property will be in substantial conformance with the Master Zoning Plan. The exact boundaries and acreage of each ~~Landbay~~ Land Bay within the respective zoning districts may be increased or decreased at the time of site plan/subdivision, not to

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exceed ten percent (10%) of the gross area of the larger Land Bay impacted by each such change.

10. ~~The maximum number of residential units constructed on the Property shall not exceed 532 units, inclusive of the live/work units.~~
11. ~~A minimum of twelve (12) live/work units shall be constructed on the Property, said units to be located in Land Bay II. For purposes of interpreting this proffer, the "live/work" units will have the following design and use characteristics:~~
  - a. ~~Units shall be a minimum of three (3) stories in height.~~
  - b. ~~Floors above the ground level shall be reserved for residential uses.~~
  - c. ~~At least 50% of the ground floor shall be reserved for nonresidential uses as described below; the balance of the ground floor may be used for residential purposes, including garage and stairwell serving the residential uses on the upper floors.~~
  - d. ~~Non-residential and residential access shall be separate from each other, but both entrances may be on the same side(s) of the building.~~
  - e. ~~The first floor will be constructed to standards necessary to accommodate the home occupation uses listed herein below.~~
  - f. ~~Permitted uses shall include any of the following:~~
    - (1) ~~Administrative offices of business and/or trade.~~
    - (2) ~~Arts and crafts activities.~~
    - (3) ~~Baking/catering (off premise service).~~
    - (4) ~~Beauty salon (no tanning or toning equipment).~~
    - (5) ~~Clerical/secretarial activities.~~
    - (6) ~~Day time adult care (no more than five (5) adults not residing in the home).~~
    - (7) ~~Diaper/laundry service.~~
    - (8) ~~Floral design.~~
    - (9) ~~Interior design/decorating.~~
    - (10) ~~Jewelry, watch, clock repair; engraving; locksmith; eyeglass; framing; dentures.~~
    - (11) ~~Maid services (off premise).~~
    - (12) ~~Nail sculpture, manicurist.~~
    - (13) ~~Offices of a physician, therapist (including psychological, physical, and/or massage), dentist, lawyer, accountant, engineer, architect, desktop publishing (or similar professional).~~
    - (14) ~~Pet grooming.~~
    - (15) ~~Photography.~~

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- ~~(16) Picture framing.~~
  - ~~(17) Scissors, saw, blade sharpening.~~
  - ~~(18) Seamstress, tailoring, upholstery activities.~~
  - ~~(19) Small electronics repair.~~
  - ~~(20) Tutoring, education or training (no more than five children or two adults at any one time).~~
7. ~~12. The uses located in Land Bays F and I shall be~~ The uses located in Land Bay J shall be limited to primarily employment and office uses. For purposes of this proffer, employment uses in Land Bay J shall include the following: assisted living, data and computer services; medical and dental offices or clinics; offices; brokerages; professional services such as lawyers, engineers, accountants; financial institutions, research and development (non-hazmat); business, professional and trade schools, colleges and university; trade or convention center, business equipment sales and servicing; packaging center; artist and photographer studios; art galleries; civic clubs; governmental agencies; and other uses as determined by the Planning Director and the Director of Economic Development to be bona fide employment uses and/or whose primary customers are businesses, consistent with the goals of the Economic Development Plan. This restriction shall not preclude first floor secondary retail uses in multi-story buildings, with the primary uses being employment related.
8. ~~13. Notwithstanding the use restrictions set forth in proffer #12~~ Proffer 7 above, the Applicant shall also have the right to construct a hotel and related ancillary and accessory uses and a maximum of two (2) freestanding full service restaurants in Land Bays ~~F and I~~.
14. ~~Phasing. The first phase of development of the Property shall include the uses, transportation improvements and amenities as set forth herein below.~~
- ~~a. Construction of the Prince William Parkway improvements as set forth in proffer #1.e above.~~
  - ~~b. Construction of Asdee Lane improvements as set forth in proffer #2 above.~~
  - ~~c. Construction of the loop entrance road from Prince William Parkway to the office building located at the northern end of Land Bay G.~~
  - ~~d. Construction of the park/plaza area, including landscaping and amenities substantially as shown in the Design Guidelines.~~
  - ~~e. Construction of the office building, or portion thereof, at the northern end of the park/plaza area (Land Bay G), as shown on the Illustrative Concept Plan. Said~~



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~~building shall contain a minimum of 30,000 square feet gross floor area (gfa) of office space. The Applicant shall have the right to construct additional office and employment uses as defined in these proffers and a hotel use on the Property at any time.~~

~~f. — For purposes of interpreting this proffer, final plans for the uses and improvements set forth in subparagraphs a-e above shall be submitted and processed prior to or simultaneously with plans for any residential uses on the Property. Construction of all of the uses and improvements identified in subparagraphs a-e above shall be completed prior to the issuance of a building permit for the 101<sup>st</sup> residential unit on the Property and construction of the uses and improvements identified in subparagraphs d and e above shall be completed prior to the issuance of a building permit for the 190<sup>th</sup> residential unit on the Property. Completion of construction shall be interpreted to mean a building under roof with the exterior building skin in place and, in the case of road improvements, said improvements shall be completed and open for public use subject to reasonable traffic control measures to accommodate ongoing development of the Property.~~

9. ~~15.~~ All buildings located in Land ~~Bays F and I~~ Bay J shall be a minimum of two (2) stories in height with the exception of any freestanding full service restaurant(s) located in said land bays. In addition, the buildings constructed in the corners of Land ~~Bays F and I~~ Bay J along the Prince William Parkway frontage of said Land ~~Bays~~ Bay shall be a minimum of three (3) stories in height, with a maximum height of 60 feet.

### **COMMUNITY DESIGN**

10. ~~16.~~ All development on ~~the PMR and PMD portions of~~ the Property shall be in substantial conformance with the design concepts and details set forth in the Design Guidelines. Modifications to the Concept Plan shall be permitted at the time of final engineering and design as required by the US Army Corp of Engineers (~~COE~~ "USACE") and Department of Environmental Quality (~~DEQ~~ "DEQ") in connection with the issuance of required permits by said agencies. Such changes shall be coordinated with the Planning Director, or his designee, to ensure that the integrity of the overall site design is not compromised. Compliance with ~~proffer #17 shall be demonstrated with the filing of the site plan for said park/plaza area. Compliance with the architectural, design and building material controls identified in proffers proffer #18 and #19-11 shall be demonstrated with the submission to the Planning Office of building elevations prior to the issuance of the building permit release letter by the Planning Office for the affected buildings.~~

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- ~~17. The park/plaza area located in Land Bay G shall be developed with a plaza area with specialty paving and seating, landscaping, a pond/water feature, and an amphitheater or other type of space/features suitable for community activities as approved by the Planning Director, all in substantial conformance with the design features as contained in the Design Guidelines. Notwithstanding, the pond/water feature may be enlarged in a manner that results in the elimination of the amphitheater.~~
11. ~~18.~~A coordinated architectural design theme shall be utilized in the development of Land Bays ~~F and I~~. The exterior of all structures shall be composed primarily of brick, glass, architectural pre-cast concrete, hardi-type siding or panels, job-cast architectural concrete or stone. Other similar materials may be used as approved by the Planning Director, or his designee, but in no event shall buildings with metal channel siding be allowed.
- a. ~~19.~~If the Property is developed for an assisted living use, as defined in the Prince William County Zoning Ordinance, the building shall be in substantial conformance with the building elevations shown on Illustrative Building Perspectives. Modifications shall be permitted to the building features such as, but not limited to, the number, location and dimensions of windows, doors, number of building stories and other architectural features and details provided the overall design concept is maintained. Significant changes to the architecture and/or materials must be approved by the Planning Director prior to the issuance of the building permit release letter. Compliance with this proffer shall be evidenced with the submission to the Planning Office of architectural construction plan drawings at least two weeks prior to the issuance of the building permit release letter.
12. In the event a hotel is constructed in Land Bay ~~F or I~~, such use shall utilize materials and a design characteristic of a hotel, however, the design shall incorporate common elements of design and features utilized in other buildings ~~in Land Bays F and I~~ within Reid's Prospect.
- ~~20. The Applicant shall create covenants, conditions and restrictions to coordinate development within the Property, which include such items as architectural controls, signage, building materials, lighting and landscaping. Further, the Applicant shall establish an association or multiple associations (residential and nonresidential) charged with responsibility to oversee the on-going management and maintenance of the Property, including landscaping and maintenance of common areas, community/public use space and private streets. Notwithstanding the above, Land Bay C shall not be subject to said covenants, conditions and restrictions or said association.~~
13. ~~21.~~A uniform sign program shall be implemented for the Property and shall be in substantial conformance with the parameters set forth in the Design Guidelines and as set forth below. Comprehensive sign plans for the residential and non-residential components of the project

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shall be submitted to the County with the first final plan for each such use.

- a. ~~All freestanding signs shall be monument type and have a style and color compatible with the architectural design of the overall development. Said signs shall not exceed ten feet (10') in height.~~
  - a. In the event an assisted living facility is constructed on the Property, the freestanding sign shall be in general conformance with signage shown on the Illustrative Entry Feature. Said sign shall not exceed twelve feet (12') in height.
  - b. Project identification signs, which include the commercial and residential development, may be incorporated into a landscape/entrance feature at the entrances to the Property on Prince William Parkway ~~and Asdee Lane.~~
14. ~~22.~~ Applicant shall provide a pedestrian network linking the residential uses with the nonresidential uses constructed on the Property in ~~substantial general~~ conformance with the pedestrian network as shown on the ~~Green Space and Amenities Plan in the Design Guidelines~~ Transportation Plan. The pedestrian connections may vary in size but shall be a minimum of four feet in width. All pedestrian links shall consist of materials appropriate to serve their function and the character of the area, and shall be designed and shown on the final site plan for each phase or section, and shall be constructed at the time the respective land bay is developed.
15. ~~23.~~ The Applicant shall provide a streetscape along the Prince William Parkway frontage of the Property, said streetscape to be in ~~substantial general~~ conformance with the ~~streetscape/buffer planting scheme set forth in the Design Guidelines, which shall be implemented at the time of development of the adjacent land bays~~ Open Space & Buffer Plan. The streetscape shall be shown on the final site plan for ~~each portion of the Property adjacent to the Parkway as it is developed.~~
- a. ~~24.~~ In the event an assisted living facility is constructed on the Property, landscaping shall be in general conformance with the Illustrative Variable Width Buffer exhibit.
16. Landscaping provided on the Property shall ~~include emphasize,~~ but not be limited to, ~~native~~ and indigenous species appropriate to the location and climate of the area.
17. ~~25.~~ All freestanding parking lot lights located in Land ~~Bays F, G, H and I Bay J~~ shall have a maximum height of twenty-four feet (24') and shall have fixtures which direct light downward and inward, all such lighting to be shown on final plans. In addition, all building-mounted

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lighting, if any, shall be directed or shielded in such a manner to prevent glare from projecting onto adjacent properties or public rights of way.

- ~~26. All freestanding parking lot lights located in Land Bays A-E shall have a maximum height of sixteen feet (16') and shall have fixtures which direct light downward and inward, all such lighting to be shown on final plans. In addition, all building-mounted lighting, if any, shall be directed or shielded in such a manner to prevent glare from projecting onto adjacent properties or public rights of way.~~
- ~~27. If permitted by the Department of Public Works, all required intersection lighting at all entrances to the Property on Asdee Lane shall be an acorn style fixture as shown on page 34 of the Design Guidelines.~~
- ~~28. The residential units constructed in Land Bay C shall be of a similar design and size as the residential dwellings located in the adjoining section of Westridge. Compliance with this proffer shall be demonstrated with the submission to the Planning Office of building elevations prior to the issuance of the building permit release letter by the Planning Office for Land Bay C.~~
18. 29. All existing and new utilities on the Property, including the existing overhead utilities within the right-of-way of Prince William Parkway along the frontage of the Property, if any, shall be placed underground. However, the utility pole closest to the intersection of Prince William Parkway and Laurel Hills Drive shall remain above ground.
19. 30. The Applicant shall construct an eight foot (8') high board on board fence within the 75' ft. buffer area located along the eastern property boundary adjacent to the Laurel Hills residential uses. Said fence shall be constructed generally at the limits of clearing as said limits of clearing are shown on the Open Space/Buffer Plan in the general area as shown on the MZP.
- ~~31. The Applicant shall continue the brick pier and metal fence treatment provided along the Prince William Parkway frontage of the Property and as shown on page 32 of the Design Guidelines along the Asdee Lane frontage of the Property extending from the intersection of Asdee Lane and Prince William Parkway to the northernmost entrance to the Property. Said wall/fence treatment shall be located within the perimeter buffer along the Asdee Lane frontage of the Property.~~
- ~~32. The fifty-foot (50') wide buffer located along the Asdee Lane frontage between the 2<sup>nd</sup> and 3<sup>rd</sup> entrances to the Property shall be planted in accordance with the Type C buffer planting standard.~~



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33. ~~The rear façade of all single family attached units that face directly onto Asdee Lane shall include at a minimum the following architectural features:~~
- a. ~~All rear facades and side facades of end units shall be brick~~
  - b. ~~Shutter treatments shall be provided on windows above the first floor~~
  - c. ~~1" x 10" wide fascia boards with dental molding shall be provided along the roof line~~
34. ~~The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$30,000 to be used for median plantings along the Prince William Parkway between Old Bridge Road and Headly Road. Said contribution shall be paid by March 1, 2005.~~

### **PARKS AND RECREATION**

35. ~~The Applicant shall provide on-site recreational amenities for the residential development consisting at a minimum of a 25-meter swimming pool with bathhouse, a multi-purpose and/or tennis court and one (1) tot lot. The swimming pool and bathhouse shall be located in the general location as shown on the Concept Plan in the Design Guidelines. The location of the tennis/multi-purpose court and tot lot shall be determined at the time of Preliminary Plan. The bathhouse shall be constructed as a two-story building with community meeting space or other amenities provided in the second floor space.~~
36. ~~The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$1,657 per multi-family unit, \$2,441 per single-family attached unit and live/work unit and \$2,756 per single-family detached unit to be used for parks and recreation facilities. Said contribution shall be paid prior to and as a condition of the issuance of a building permit for each said unit constructed on the Property.~~
37. ~~The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$800,000 to be used for the construction of the plaza improvements at the Government Center expansion. Said contribution shall be made prior to and as a condition of the issuance of the building permit release letter for the first residential unit constructed on the Property.~~
38. ~~The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$200,000 to be used for park and recreation purposes. Said contribution shall be paid by April 15, 2005.~~

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### ENVIRONMENTAL

- ~~20.~~ 39. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$75.00 per acre for water quality studies. Said contribution shall be paid prior to and as a condition of the approval of each final site/subdivision plan and shall be based on the acreage reflected on each such approved plan.
- ~~21.~~ 40. Conservation Areas. Within those portions of the Property identified as "Conservation Area" on the Open Space/ & Buffer Plan, vegetation shall be preserved, subject to disturbance for: (a) the installation and maintenance of water line crossings, sanitary sewer crossings, drainage crossings, other utility crossings and pedestrian trail(s); (b) the installation of fencing; (c) the installation of such additional landscaping as may be approved by the County; and (ed) the removal of noxious vegetation, such as poison ivy, poison oak, etc., as well as dead, dying, or hazardous trees or dead or dying shrubbery, at the option of the landowners. ~~Said conservation areas may be located on lots, provided that covenants are recorded against any such lots prohibiting the removal of any trees within said conservation area.~~
- ~~41.~~ The Applicant shall preserve the specimen trees in the locations shown on the Open Space/Buffer Plan, to the greatest extent feasible, provided, however, that the Applicant shall not be required to preserve the tree if a retaining wall higher than 4 feet is required. The Applicant shall take appropriate protective measures during development of the Property to help ensure preservation of said trees. By way of example and not limitation, such protective measures may include the services of a professional arborist, installation of protective fencing at the drip line of the tree and trimming/pruning of the tree. Said tree and associated save area may be located on a lot, provided that covenants are recorded against any such lots prohibiting the removal of said tree. This proffer shall not prohibit the removal of said tree if it should die or become damaged or hazardous or threaten surrounding residences. Details of applicable tree preservation measures shall be shown on the final site/subdivision plans for those portions of the Property where specimen trees are located.
- ~~42.~~ The Applicant shall provide a wet pond for stormwater management/BMP purposes in the general location as shown as "Water Feature" on the Open Space/Buffer Plan. The landscaping for such pond shall utilize wetland benches for emergent vegetation, shrubs, ornamental trees and shade trees.

### LIBRARIES

- ~~43.~~ The Applicant shall make a monetary contribution to the Prince William Board of County

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~~Supervisors in the amount of \$224 per multi-family unit, \$330 per single-family attached unit and live/work unit and \$375 per single-family detached unit to be used for library facilities. Said contribution shall be paid prior to and as a condition of the issuance of a building permit for each said unit constructed on the Property.~~

### **FIRE & RESCUE**

22. ~~44. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$346 per multi-family unit, \$509 per single-family attached unit and live/work unit and \$578 per single-family detached unit to be used for fire and rescue services and facilities. Said contribution shall be paid prior to and as a condition of the issuance of a building permit for each said residential unit constructed on the Property.~~ ~~45. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$0.38-0.61 per square foot of gross floor area of nonresidential space constructed on the Property to be used for fire and rescue services and facilities. Said contribution shall be paid prior to and as a condition of the issuance of a building permit for nonresidential uses constructed on the Property.~~

- ~~46. In the event any single-family detached residential units are constructed with a building separation of less than twenty feet (20'), said residential units shall incorporate a one-hour fire-rated exterior wall in one of the two-facing buildings or alternative fire suppression measure as approved by the Fire Marshal.~~

### **SCHOOLS**

- ~~47. Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$3,492 per multi-family unit \$7,973 per single-family attached unit and live/work unit and \$8,287 per single-family detached unit to be used for school purposes. Said contribution shall be made on a per-unit basis prior to and as a condition of the issuance of a building permit for each said unit constructed on the Property.~~

### **AFFORDABLE HOUSING**

- ~~48. Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$250 per residential unit for the Housing Preservation and Development Fund. Said contribution shall be made on a per-unit basis prior to and as a condition of the issuance of a building permit for each unit constructed on the Property.~~

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### **WATER AND SEWER**

23. ~~49.~~ The Property shall be served by public sanitary sewer and water and the Applicant shall be responsible for the costs and construction of those on and off-site improvements required in order to provide such service for the demand generated by the development on the Property.
24. ~~50.~~ Acceptance and approval of this rezoning application by the Board of County Supervisors authorizes the location and provision of those public uses and facilities specifically referenced on the Master Plan, Transportation Plan, in this proffer statement, and the extension and construction of water and sewer lines and facilities and roads necessary to serve this property pursuant to the Virginia Code Section 15.2-2232 and the Prince William County Code Section 32-201.13.1. The general area of location of these uses and facilities are as shown on the Transportation Plan with the exact locations to be determined based on final engineering and as approved by Prince William County.

### **CULTURAL RESOURCES**

- ~~51. In the event the existing cemetery on the Property is not relocated, said cemetery shall be protected with a fence and twenty five foot (25') wide buffer around the perimeter of said cemetery. Pedestrian access shall be provided to said cemetery.~~
- ~~52. The Applicant shall retain a qualified professional archeologist to perform a Phase I cultural resource investigation as defined by the Virginia Division of Historic Landmarks for the Property. A report documenting the results of the survey shall be submitted to the Planning Director no later than with the submission of the preliminary plan for development on the Property. In the event the findings of the Phase I study indicate that sufficient further investigation is warranted to justify a Phase II or Phase III investigation with reference to specific locations and/or resources on the Property, the Applicant shall conduct such Phase II and/or Phase III investigation in connection with such sites and resources to the extent that they are located on the Property prior to and as a condition of final plan approval for the affected areas.~~

### **MISCELLANEOUS**

- ~~53. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$100,000 to be used for the construction and maintenance of the memorial for the Prince William County victims of September 11, 2001 (Liberty~~



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~~Memorial). Said contribution shall be paid six (6) months after Final Rezoning of the Property by the Board of County Supervisors as requested by the Applicant. "Final Rezoning", as the term is used herein, shall be defined as that zoning which is in effect on the day following the last day upon which the Prince William Board of County Supervisors' decision granting the rezoning may be contested in the appropriate court or, if contested, the day following entry of a final court order affirming the decision of the Board of Supervisors which has not been appealed, or if appealed, the day following which the decision has been affirmed on appeal.~~

25. ~~54.~~ In the event the monetary contributions set forth in ~~the this~~ Proffer Amendment Statement are paid to the Prince William County Board of County Supervisors ("Board") within eighteen (18) months of the approval of this rezoning, as applied for by the Applicant, said contributions shall be in the amounts as stated herein. Any monetary contributions set forth in this Proffer Statement which are paid to the Board after eighteen (18) months following the approval of this rezoning shall be adjusted in accordance with the Urban Consumer Price Index ("CPI-U") published by the United States Department of Labor, such that at the time contributions are paid they shall be adjusted by the percentage change in the CPI-U from that date eighteen (18) months after the approval of this rezoning to the most recently available CPI-U to the date the contributions are paid, subject to a cap of 6 percent (6%) per year, noncompounded.

### WAIVERS/MODIFICATIONS

- ~~55. Waiver of the applicable requirements set forth in the Zoning Ordinance and Sections 601.04.C and 602.13 of the DCSM in order to allow a private road network for the Property. Said private road system shall be designed and constructed to County and VDOT standards as modified by the Private Street Standards to allow the design concept of the project as set forth in the Design Guidelines, or as may be dictated by the Department of Public Works or Fire Marshal's office to satisfy minimum safety requirements relative to turning radii and sight distance.~~
- ~~56. Waiver of Sections 602.06A and 602.06I of the DCSM to reduce the spacing between entrances/access to the Property on Prince William Parkway and Asdee Lane as generally shown on the Transportation Plan.~~
26. ~~57.~~ In the event an assisted living facility is constructed on the Property, the Applicant shall notify the Lake Ridge Occoquan Coles Civic Association/Planning, Environment, Land-Use and Transportation Committee (LOCCA/PELT) and Laurel Hills Community (those residents that live off of Laurel Hills Drive) in writing and make itself or a representative available for a joint meeting, in connection with the site plan review. Said meeting shall be for courtesy review purposes only and copies of the correspondence offering to meet and/or the agenda shall be provided to the County prior to site plan approval to evidence compliance with this proffer.

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### WAIVERS/MODIFICATIONS

27. In accordance with Section 32-250.23 of the Zoning Ordinance, modification of Sections 32-250.24 Schedule B of the Zoning Ordinance to allow for a freestanding monument sign and entry feature as generally shown on Sheet 3 of the "Illustrative Site Package," prepared by Lenity Architects dated July 8, 2019.
28. Modification of Sections 32-250.31, 250.3332-250.32, 280.14, 280.21 (7) and 306.12(4) 32-503.12 and 32-800.11 of the Zoning Ordinance and Sections 802.10, 802.11 and, 802.12, 802.13, 1003.01 and 1003.02 of the DCSM to waive and modify all internal buffers between uses on the Property, to modify the perimeter buffers and buffers adjacent to roadways along Prince William Parkway, and Laurel Hills Drive and the portion of Asdee Lane adjacent to the commercial uses in accordance with the Open Space/Buffer Plan Design Guidelines and as more particularly described in the Design Guidelines Open Space & Buffer Plan; and to modify the perimeter buffer planting standard along the common boundary with Land Bay C standards to allow existing vegetation to satisfy the planting standard standards and to allow utilities, easements, and retaining walls greater than three feet (3') within the buffer areas.
29. Waiver of Section 32-250.72 of the Zoning Ordinance and 601.04.I of the DCSM to waive vehicular interparcel connections with surrounding properties consistent with Proffer 3.b.
30. In accordance with Section 32-300.03.2 of the Zoning Ordinance, modification of Section 32-401.14.5 of the Zoning Ordinance to permit a maximum height of 60 feet as outlined in Proffer 7.
31. In accordance with Section 32-400.04.3 of the Zoning Ordinance, modification of Section 32-401.14.4 to allow for a maximum FAR of .86.
32. Modification of Section 125.01.I.1 of the DCSM to allow the existing overhead utility lines and pole located at the intersection of Prince William Parkway and Laurel Hills Road to remain aboveground as outlined in Proffer 18.
58. Waiver of the secondary use requirement in the PMR district in light of the immediately adjacent commercial/office uses included in this application on the adjoining PMD-zoned portion of the Property.
59. Modification of Section 32-306.12 of the Zoning Ordinance to allow the modified housing types and associated development standards as set forth in the Design Guidelines.

**PROFFER STATEMENT**

RE: REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Record Owner: Plaza Land Holdings L.P.  
Applicant: Lenity Architecture on behalf of Hawthorn Development LLC  
Developer: Hawthorn Development LLC  
Property: G.P.I.N. 8193-31-4635 (part)  
Ococoquan Magisterial District  
Approximately ± 5.41 acres  
Zoned PMD, Planned Mixed Development

Date: August 28, 2019

The undersigned hereby proffers that the use and development of the subject Property shall be in strict conformance with the following conditions, which shall supersede all other proffers made prior hereto (including the proffers approved with Rezoning #PLN2000-00041, Reid's Prospect). In the event the above-referenced proffer amendment is not granted as applied for by the Applicant, these proffers shall be withdrawn and are null and void and the proffers approved with REZ #PLN2000-00041 will remain in full force and effect.

The headings of the proffers set forth below have been prepared for convenience or reference only and shall not control or affect the meaning or be taken as an interpretation of any provision of the proffers. Any improvements proffered herein below shall be provided at the time of development of the portion of the site served by the improvement, unless otherwise specified. The terms "Applicant" and "Developer" shall include all future owners and successors in interest.

For purposes of reference in this Proffer Statement, references to plans and exhibits shall include the following:

1. "Master Zoning Plan for Reid's Prospect" prepared by Timmons Group, Inc. and dated July 8, 2019 consisting of the following sheets:
  - a. Master Zoning Plan ("MZP")
  - b. Transportation and Utilities Plan ("Transportation Plan")
  - c. Open Space & Buffer Plan "Design Guidelines – Reid's Prospect" dated September, 2004.
2. "Design Guidelines – Reid's Prospect," dated September 2004;
3. "Illustrative Site Package," prepared by Lenity Architecture, dated July 8, 2019, consisting of the following sheets:

PROFFER AMENDMENT STATEMENT  
REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Plaza Land L.P.  
August 28, 2019  
Page 2 of 7

- a. Illustrative Variable Width Buffer (Sheet 2)
- b. Illustrative Entry Feature (Sheet 3)
- c. Illustrative Building Perspectives (Sheets 4 through 7)

**TRANSPORTATION**

- 4. Site Access
  - a. The maximum number of entrances to the Property on the Prince William Parkway and locations of said entrances shall be generally as shown on the Transportation Plan, subject to modifications required at site plan based on final engineering.
  - b. As depicted on the Transportation Plan, there shall be a minimum of one (1) inter-parcel access on the Property.
- 5. In the event a hotel use is located on the Property and if requested by the Department of Public Works, the Applicant shall provide an updated Traffic Impact Analysis (TIA) to determine impacts, if any, associated with such use and shall provide, in consultation with the Department of Public Works, measures to mitigate such impacts.

**USES AND SITE DEVELOPMENT**

- 6. Development of the Property will be in substantial conformance with the Master Zoning Plan. The exact boundaries and acreage of each Land Bay within the respective zoning districts may be increased or decreased at the time of site plan/subdivision, not to exceed ten percent (10%) of the gross area of the larger Land Bay impacted by each such change.
- 7. The uses located in Land Bay J shall be limited to primarily employment and office uses. For purposes of this proffer, employment uses in Land Bay J shall include the following: assisted living, data and computer services; medical and dental offices or clinics; offices; brokerages; professional services such as lawyers, engineers, accountants; financial institutions, research and development (non-hazmat); business, professional and trade schools, colleges and university; trade or convention center, business equipment sales and servicing; packaging center; artist and photographer studios; art galleries; civic clubs; governmental agencies; and other uses as determined by the Planning Director and the Director of Economic Development to be bona fide employment uses and/or whose primary customers are businesses, consistent with the goals of the Economic Development Plan. This restriction shall not preclude first floor secondary retail uses in multi-story buildings, with the primary uses being employment related.



## Clean Proffers (proposed)

### PROFFER AMENDMENT STATEMENT

REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Plaza Land L.P.  
August 28, 2019  
Page 3 of 7

8. Notwithstanding the use restrictions set forth in Proffer 7 above, the Applicant shall also have the right to construct a hotel and related ancillary and accessory uses and a maximum of two (2) freestanding full service restaurants in Land Bays J.
9. All buildings located in Land Bay J shall be a minimum of two (2) stories in height with the exception of any freestanding full service restaurant(s) located in said land bays. In addition, the buildings constructed in the corners of Land Bay J along the Prince William Parkway frontage of said Land Bay shall be a minimum of three (3) stories in height, with a maximum height of 60 feet.

### COMMUNITY DESIGN

10. All development on the Property shall be in substantial conformance with the design concepts and details set forth in the Design Guidelines. Modifications to the Concept Plan shall be permitted at the time of final engineering and design as required by the US Army Corp of Engineers ("USACE") and Department of Environmental Quality ("DEQ") in connection with the issuance of required permits by said agencies. Such changes shall be coordinated with the Planning Director, or his designee, to ensure that the integrity of the overall site design is not compromised. Compliance with the architectural, design and building material controls identified in proffer #11 shall be demonstrated with the submission to the Planning Office of building elevations prior to the issuance of the building permit release letter by the Planning Office for the affected buildings.
11. A coordinated architectural design theme shall be utilized in the development of Land Bays J. The exterior of all structures shall be composed primarily of brick, glass, architectural pre-cast concrete, hardi-type siding or panels, job-cast architectural concrete or stone. Other similar materials may be used as approved by the Planning Director, or his designee, but in no event shall buildings with metal channel siding be allowed.
  - a. If the Property is developed for an assisted living use, as defined in the Prince William County Zoning Ordinance, the building shall be in substantial conformance with the building elevations shown on Illustrative Building Perspectives. Modifications shall be permitted to the building features such as, but not limited to, the number, location and dimensions of windows, doors, number of building stories and other architectural features and details provided the overall design concept is maintained. Significant changes to the architecture and/or materials must be approved by the Planning Director prior to the issuance of the building permit release letter. Compliance with this proffer shall be evidenced with the submission to the Planning Office of

## Clean Proffers (proposed)

PROFFER AMENDMENT STATEMENT  
REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Plaza Land L.P.  
August 28, 2019  
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architectural construction plan drawings at least two weeks prior to the issuance of the building permit release letter.

12. In the event a hotel is constructed in Land Bay J, such use shall utilize materials and a design characteristic of a hotel, however, the design shall incorporate common elements of design and features utilized in other buildings within Reid's Prospect.
13. A uniform sign program shall be implemented for the Property and shall be in substantial conformance with the parameters set forth in the Design Guidelines and as set forth below. Comprehensive sign plans for the residential and non-residential components of the project shall be submitted to the County with the first final plan for each such use.
  - a. In the event an assisted living facility is constructed on the Property, the freestanding sign shall be in general conformance with signage shown on the Illustrative Entry Feature. Said sign shall not exceed twelve feet (12') in height.
  - b. Project identification signs, which include the commercial and residential development, may be incorporated into a landscape/entrance feature at the entrances to the Property on Prince William Parkway.
14. Applicant shall provide a pedestrian network linking the residential uses with the nonresidential uses constructed on the Property in general conformance with the pedestrian network as shown on the Transportation Plan. The pedestrian connections may vary in size but shall be a minimum of four feet in width. All pedestrian links shall consist of materials appropriate to serve their function and the character of the area, and shall be designed and shown on the final site plan for each phase or section, and shall be constructed at the time the respective land bay is developed.
15. The Applicant shall provide a streetscape along the Prince William Parkway frontage of the Property, said streetscape to be in general conformance with the Open Space & Buffer Plan. The streetscape shall be shown on the final site plan for the Property.
  - a. In the event an assisted living facility is constructed on the Property, landscaping shall be in general conformance with the Illustrative Variable Width Buffer exhibit.
16. Landscaping provided on the Property shall emphasize, but not be limited to, native and indigenous species appropriate to the location and climate of the area.
17. All freestanding parking lot lights located in Land Bay J shall have a maximum height of twenty-

PROFFER AMENDMENT STATEMENT  
REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Plaza Land L.P.  
August 28, 2019  
Page 5 of 7

four feet (24") and shall have fixtures which direct light downward and inward, all such lighting to be shown on final plans. In addition, all building-mounted lighting, if any, shall be directed or shielded in such a manner to prevent glare from projecting onto adjacent properties or public rights of way.

18. All existing and new utilities on the Property, including the existing overhead utilities within the right-of-way of Prince William Parkway along the frontage of the Property, if any, shall be placed underground. However, the utility pole closest to the intersection of Prince William Parkway and Laurel Hills Drive shall remain above ground.
19. The Applicant shall construct an eight foot (8') high board on board fence within the 75 ft. buffer area located along the eastern boundary adjacent to the Laurel Hills residential uses. Said fence shall be constructed in the general area as shown on the MZP.

**ENVIRONMENTAL**

20. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$75.00 per acre for water quality studies. Said contribution shall be paid prior to and as a condition of the approval of each final site/subdivision plan and shall be based on the acreage reflected on each such approved plan.
21. Conservation Areas. Within those portions of the Property identified as "Conservation Area" on the Open Space & Buffer Plan, vegetation shall be preserved, subject to disturbance for: (a) the installation and maintenance of water line crossings, sanitary sewer crossings, drainage crossings, other utility crossings and pedestrian trail(s); (b) the installation of fencing; (c) the installation of such additional landscaping as may be approved by the County; and (d) the removal of noxious vegetation, such as poison ivy, poison oak, etc., as well as dead, dying, or hazardous trees or dead or dying shrubbery, at the option of the landowners.

**FIRE & RESCUE**

22. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$0.61 per square foot of gross floor area of nonresidential space constructed on the Property to be used for fire and rescue services and facilities. Said contribution shall be paid prior to and as a condition of the issuance of a building permit for nonresidential uses constructed on the Property.

PROFFER AMENDMENT STATEMENT  
REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Plaza Land L.P.  
August 28, 2019  
Page 6 of 7

**WATER AND SEWER**

23. The Property shall be served by public sanitary sewer and water and the Applicant shall be responsible for the costs and construction of those on and off-site improvements required in order to provide such service for the demand generated by the development on the Property.
24. Acceptance and approval of this rezoning application by the Board of County Supervisors authorizes the location and provision of those public uses and facilities specifically referenced on the Master Plan, Transportation Plan, in this proffer statement, and the extension and construction of water and sewer lines and facilities and roads necessary to serve this property pursuant to the Virginia Code Section 15.2-2232 and the Prince William County Code Section 32-201.13.1. The general area of location of these uses and facilities are as shown on the Transportation Plan with the exact locations to be determined based on final engineering and as approved by Prince William County.

**MISCELLANEOUS**

25. In the event the monetary contributions set forth in this Proffer Amendment Statement are paid to the Prince William County Board of County Supervisors ("Board") within eighteen (18) months of the approval of this rezoning, as applied for by the Applicant, said contributions shall be in the amounts as stated herein. Any monetary contributions set forth in this Proffer Statement which are paid to the Board after eighteen (18) months following the approval of this rezoning shall be adjusted in accordance with the Urban Consumer Price Index ("CPI-U") published by the United States Department of Labor, such that at the time contributions are paid they shall be adjusted by the percentage change in the CPI-U from that date eighteen (18) months after the approval of this rezoning to the most recently available CPI-U to the date the contributions are paid, subject to a cap of 6 percent (6%) per year, noncompounded.
26. In the event an assisted living facility is constructed on the Property, the Applicant shall notify the Lake Ridge Occoquan Coles Civic Association/Planning, Environment, Land-Use and Transportation Committee (LOCCA/PELT) and Laurel Hills Community (those residents that live off of Laurel Hills Drive) in writing and make itself or a representative available for a joint meeting, in connection with the site plan review. Said meeting shall be for courtesy review purposes only and copies of the correspondence offering to meet and/or the agenda shall be provided to the County prior to site plan approval to evidence compliance with this proffer.

PROFFER AMENDMENT STATEMENT  
REZ2019-00024, Hawthorn Retirement Residence at Reid's Prospect  
Plaza Land L.P.  
August 28, 2019  
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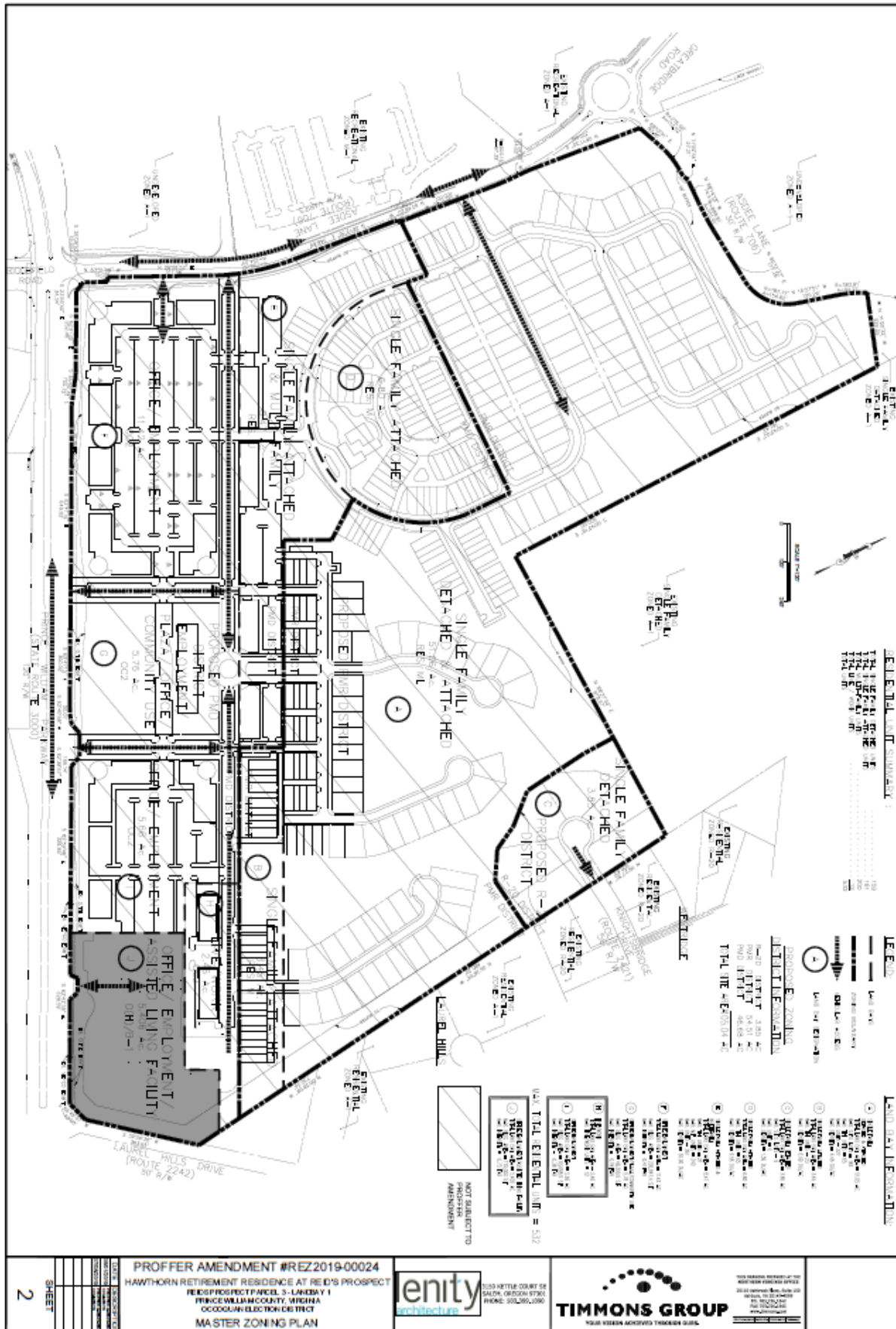
**WAIVERS/MODIFICATIONS**

27. In accordance with Section 32-250.23 of the Zoning Ordinance, modification of Sections 32-250.24 Schedule B of the Zoning Ordinance to allow for a freestanding monument sign and entry feature as generally shown on Sheet 3 of the "Illustrative Site Package," prepared by Lenity Architects dated July 8, 2019.
28. Modification of Sections 32-250.31, 32-250.32, 32-503.12 and 32-800.11 of the Zoning Ordinance and Sections 802.10, 802.11, 802.12, 802.13, 1003.01 and 1003.02 of the DCSM to waive and modify all internal buffers between uses on the Property, the perimeter buffers and buffers adjacent to roadways along Prince William Parkway and Laurel Hills Drive in accordance with the Design Guidelines and as more particularly described in the Open Space & Buffer Plan; and to modify the planting standards to allow existing vegetation to satisfy the planting standards and to allow utilities, easements, and retaining walls greater than three feet (3') within the buffer areas.
29. Waiver of Section 32-250.72 of the Zoning Ordinance and 601.04.I of the DCSM to waive vehicular interparcel connections with surrounding properties consistent with Proffer 3.b.
30. In accordance with Section 32-300.03.2 of the Zoning Ordinance, modification of Section 32-401.14.5 of the Zoning Ordinance to permit a maximum height of 60 feet as outlined in Proffer 7.
31. In accordance with Section 32-400.04.3 of the Zoning Ordinance, modification of Section 32-401.14.4 to allow for a maximum FAR of .86.
32. Modification of Section 125.01.I.1 of the DCSM to allow the existing overhead utility lines and pole located at the intersection of Prince William Parkway and Laurel Hills Road to remain aboveground as outlined in Proffer 18.

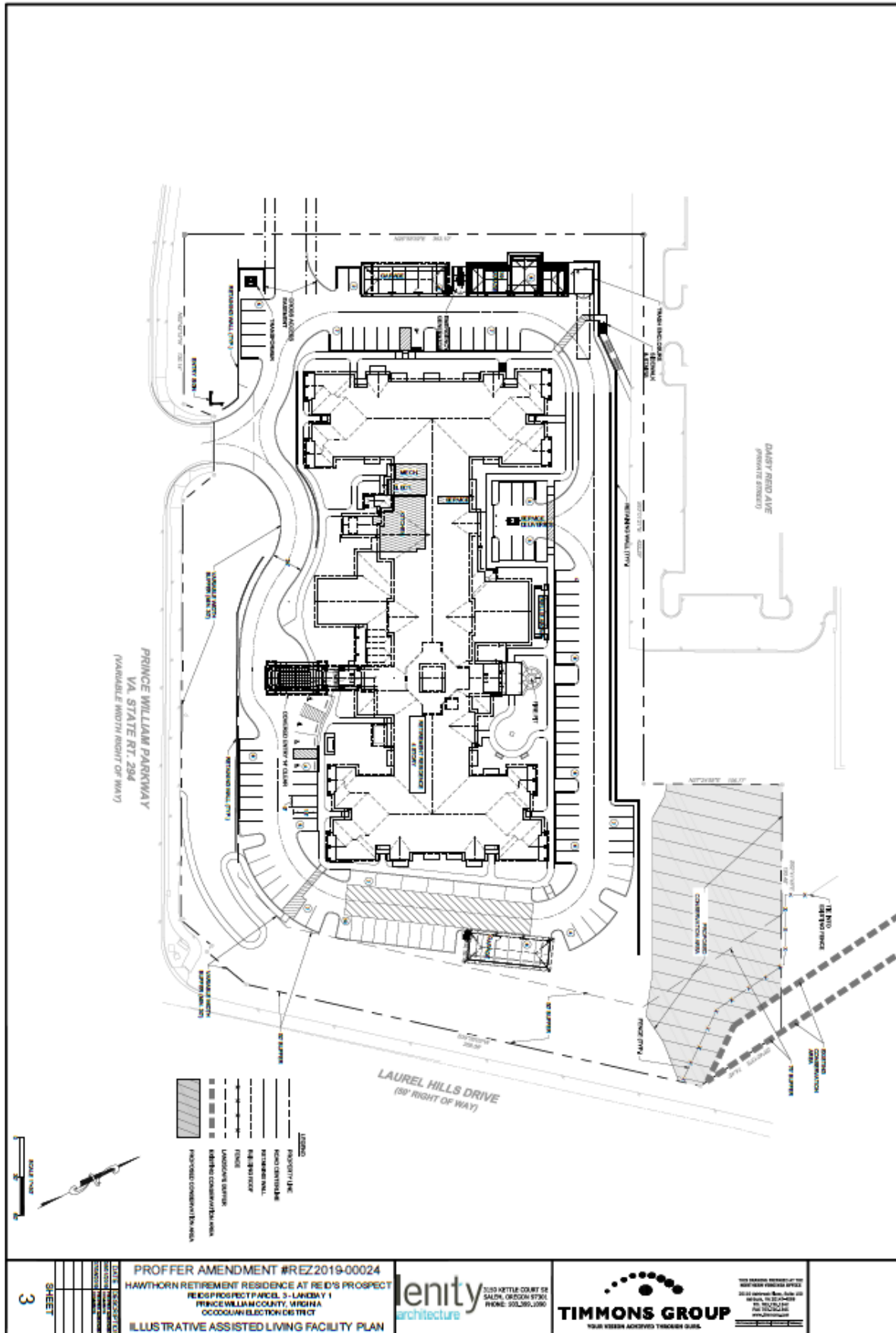
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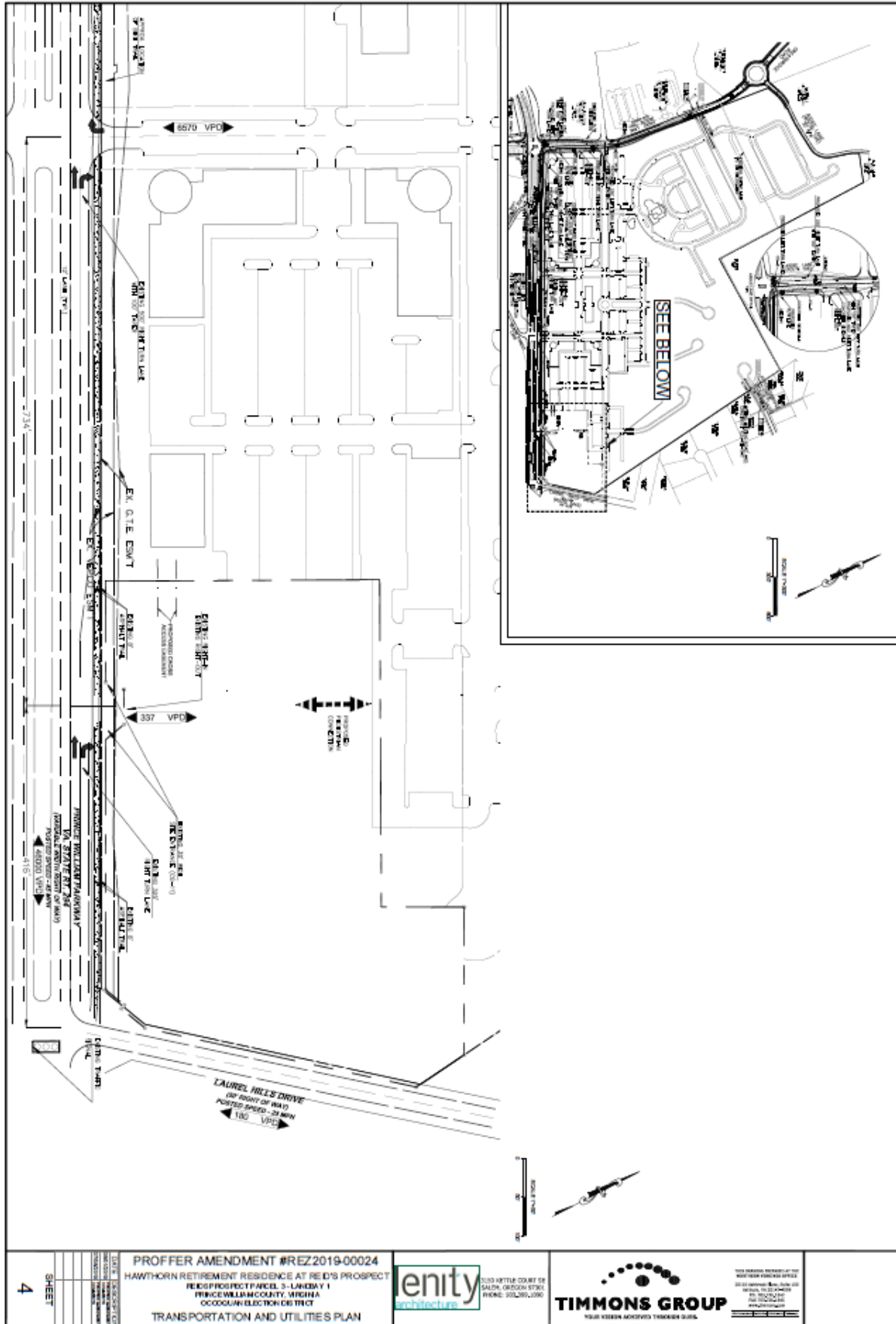
## Master Rezoning Plan

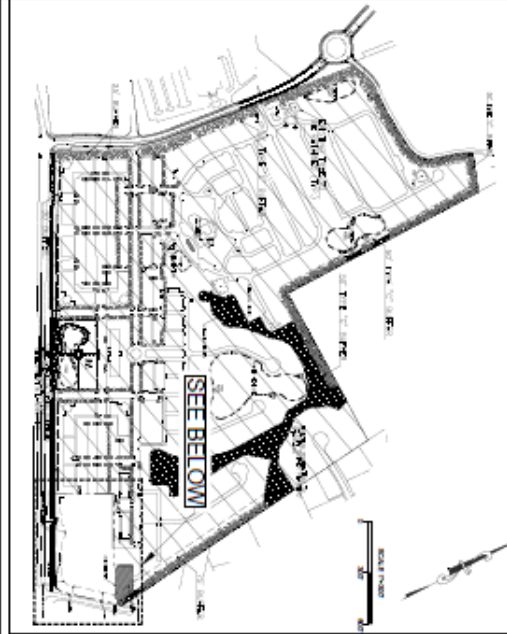














**lenty**  
architecture, inc.  
3300 KINGS CROWN ST. SUITE 200  
WOODBRIDGE, VA 22191  
703.399.5900 703.399.5905  
www.lentyarch.com

**Illustrative Site Package**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

**HAWTHORN**  
RETIREMENT GROUP  
9313 NE VANDERBILT BLVD., SUITE 200  
VANDERBILT, VA 22090-8210  
(703) 713-1000 FAX (703) 713-1040

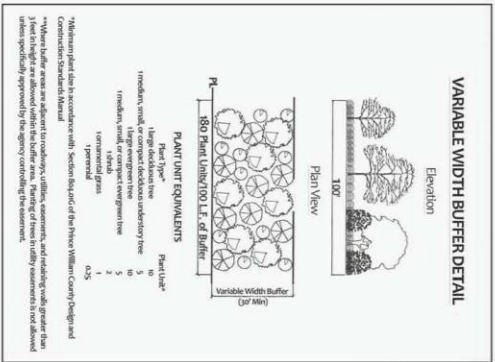
Illustrative Site Plan  
July 8, 2019  
Sheet 1 of 7



LEGEND

SYMBOL	GENERAL PLANT CATEGORY
	LARGE DECIDUOUS SHADE TREE
	LARGE EVERGREEN TREE
	COMPACT UNDERSTORY TREE
	DECIDUOUS & EVERGREEN ORNAMENTAL SHRUB
	HERBACEOUS PLANTS AND ORNAMENTAL GRASSES

VARIABLE WIDTH BUFFER DETAIL



Variable Width Buffer Calculations

Minimum Buffer Width: 30 feet  
Maximum Buffer Width: varies  
Linear Feet of Buffer Area: 576 linear feet (less 30' driveway)  
Plant Units Required: 180 plant units x 5.46 (546 LF/100 LF) = 983 plant units required

Plant Type	Proposed	Plant Units
Large Deciduous Trees	10	100
Large Evergreen Trees	1	10
Deciduous understory trees	13	65
Shrubs	350	700
Ornamental Grasses	65	65
Perennials	194	46
<b>Total Plant Units:</b>		<b>986</b>

NOTE:  
FINAL PLANT TYPES, PLANT LOCATIONS,  
BUFFER WIDTHS AND UNIT COUNT TO BE  
DETERMINED DURING SITE PLAN REVIEW

Planting is proposed near the top of retaining walls. Retaining wall geogrid and tree plantings will be coordinated so that trees and geogrid are not placed so as to create a conflict between the two.

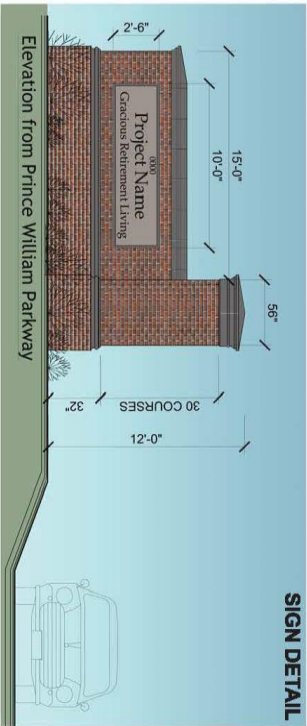
**lenity**  
architecture inc.  
300 Main Street SE, Salem, Oregon 97302  
503.599.5500 503.599.0455 www.lenityarch.com

**Illustrative Site Package**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

**HAWTHORN**  
RETIREMENT GROUP  
10000 Woodbridge Avenue, Suite 200  
Woodbridge, VA 22191  
(703) 773-5500 Fax: (703) 773-5500

**Illustrative Variable**  
**Width Buffer**  
July 8, 2019  
**Sheet 2 of 6**





Illustrative
Entry Feature
July 8, 2019
Sheet 3 of 7

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3500 KINGS COUNTRY ST., SUITE 200  
WOODBRIDGE, VA 22191  
703.399.0562 www.lentyarch.com

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Woodbridge, Virginia

**HAWTHORN**  
RETIREMENT GROUP  
3500 KINGS COUNTRY ST., SUITE 200  
WOODBRIDGE, VA 22191  
703.399.0562





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architecture, inc.  
3500 KINGS COURT SE, SUITE 200  
#403 399 5950 #503 399 0565 [www.lentyarch.com](http://www.lentyarch.com)

**Illustrative Site Package**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

**Illustrative Building**  
**Front Perspective**  
July 8, 2019  
Sheet 4 of 7

**HAWTHORN**  
RETIREMENT GROUP  
3701 N. VICTORIAN AVE. SUITE 200  
WOODBRIDGE, VA 22192-2610  
703.713.1800 FAX 703.713.1840



**lenity**  
ARCHITECTURE, INC.  
7025 W. 10TH AVE. SUITE 200  
DENVER, CO 80202  
P: 303.557.1048 W: www.lenityarch.com

**Illustrative Site Package**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

**HAWTHORN**  
RETIREMENT GROUP  
5015 NE VANDERBILT AVE. SUITE 200  
DENVER, CO 80202  
P: 303.557.1048 W: www.hawthornretirement.com

**Illustrative Building**  
**Right Perspective**  
July 8, 2019  
Sheet 5 of 7





**lenty**  
architecture, inc.  
3000 Kellen Court, Suite 200  
Woodbridge, Virginia 22191  
410.513.3993  
www.lentyarch.com

**Illustrative Site Package**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

**HAWTHORN**  
RETIREMENT GROUP  
10000 NE 13th Avenue, Suite 200  
Miami, FL 33158  
Phone: 305.455.1540  
Fax: 305.455.1540

<b>Illustrative Building</b>
<b>Back Perspective</b>
July 8, 2019
Sheet 6 of 7



**lenity**  
architecture, inc.  
3500 KINGS CROWN ST., SUITE 200  
#403 399 5950 #503 399 0468 [www.lenityinc.com](http://www.lenityinc.com)

**Illustrative Site Package**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

**Illustrative Building**  
**Left Perspective**  
July 8, 2019  
Sheet 7 of 7

**HAWTHORN**  
RETIREMENT GROUP  
3515 W. VICTORIA AVE. SUITE 200  
VIRGINIA BEACH, VA 23462-2810  
(757) 213-1500 Fax (757) 213-1540



# Illustrative Line of Sight Exhibits (not proffered)



**lenity**  
ARCHITECTS, P.C.  
1000 Lenity Court, Suite 200, Chesapeake, VA 20762  
410.339.8000 lenityarchitects.com

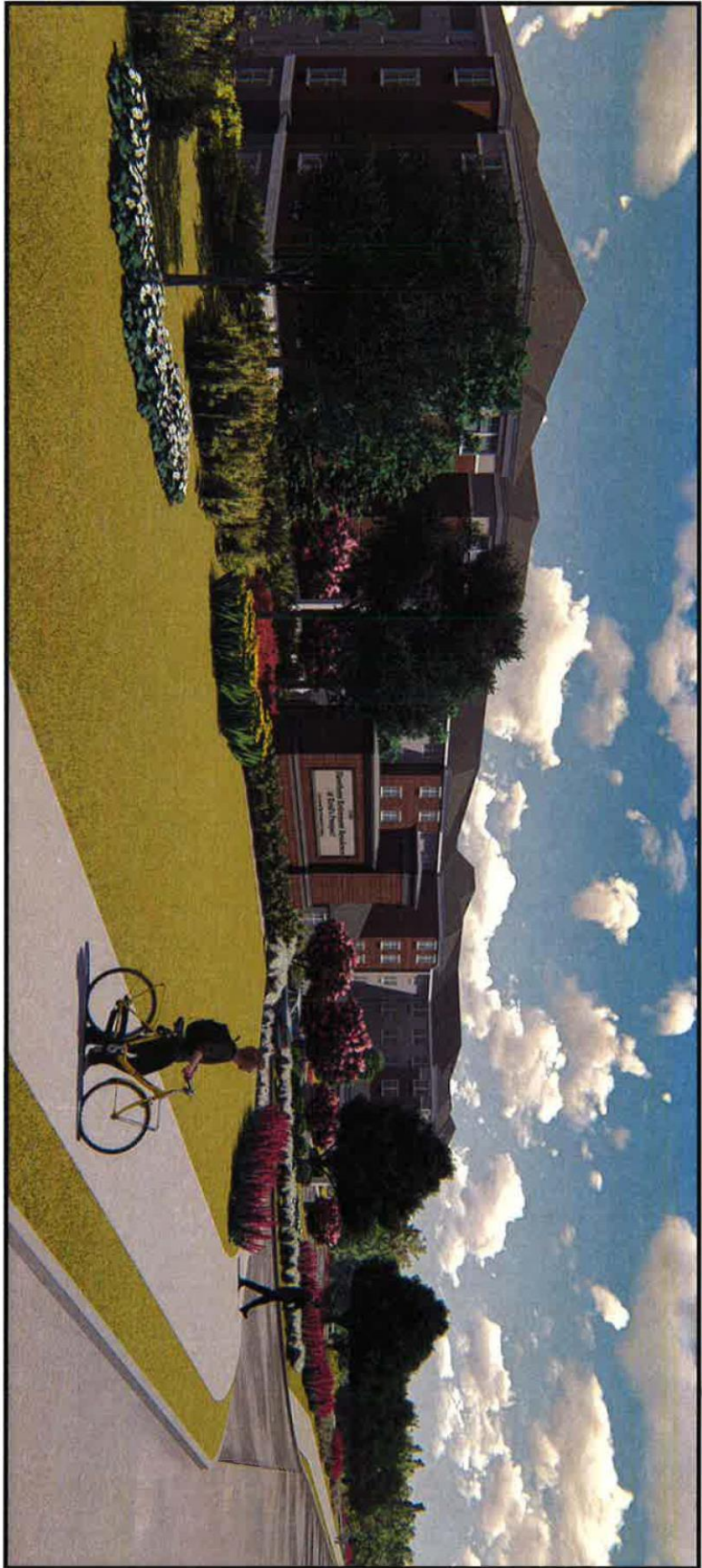
**Illustrative Line of Sight Exhibit**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

LOOKING WEST @
PRINCE WILLIAM PARKWAY
August 28, 2019
Sheet 3 of 3

**HAWTHORN**  
RETIREMENT GROUP



# Illustrative Line of Sight Exhibits (not proffered)



**lenity**  
ARCHITECTURE, INC.  
7000 KINGS CROSS BL, SUITE 200, CHESAPEAKE, VA 23020  
410.393.0260 FAX: 410.393.0265 lenityarchitect.com

**Illustrative Line of Sight Exhibit**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

LOOKING EAST @
PRINCE WILLIAM PARKWAY
August 28, 2019
Sheet 2 of 3

**HAWTHORN**  
RETIREMENT GROUP

Illustrative Line of Sight Exhibits (not proffered)



**Ienity**  
3110 WILSON BLVD., SUITE 100  
FACILITY 1000  
FACILITY 1000  
FACILITY 1000  
FACILITY 1000

**Illustrative Line of Sight Exhibit**  
**Hawthorn Retirement Residence**  
**at Reid's Prospect**  
Woodbridge, Virginia

LOOKING TO DRIVE @  
PRINCE WILLIAM PARKWAY  
August 28, 2019  
Sheet 1 of 3

**HAWTHORN**  
RETIREMENT GROUP





APPROVED

PROFESSIONAL DEVELOPMENT PLAN  
*James Burroughs*  
Signed

10/26/2004  
Date

OFFICE OF PLANNING

P-# PLU-2000-0004  
REVISED SUBMISSION  
RECEIVED

OCT 15 2004

(72)

DEVELOPER:

National Capital Land and Development Co  
13662 Office Place, Suite 201B  
Woodbridge, VA 22192  
Voice: (703) 580-8419  
Fax: (703) 580-8230

DESIGN GUIDELINES

ARCHITECT / LANDSCAPE ARCHITECT:

Lesard Architectural Group  
8603 Westwood Center Drive  
Suite 400  
Vienna, Virginia 22182  
Voice: (703) 760-9344

PRINCE WILLIAM COUNTY, VIRGINIA

# REID'S PROSPECT

ENGINEER:

The Engineering Group, Inc.  
Village Square  
13625 Office Place, Suite 101  
Woodbridge, VA 22192  
Voice: (703) 670-0985  
Fax: (703) 670-7769

ATTORNEY:

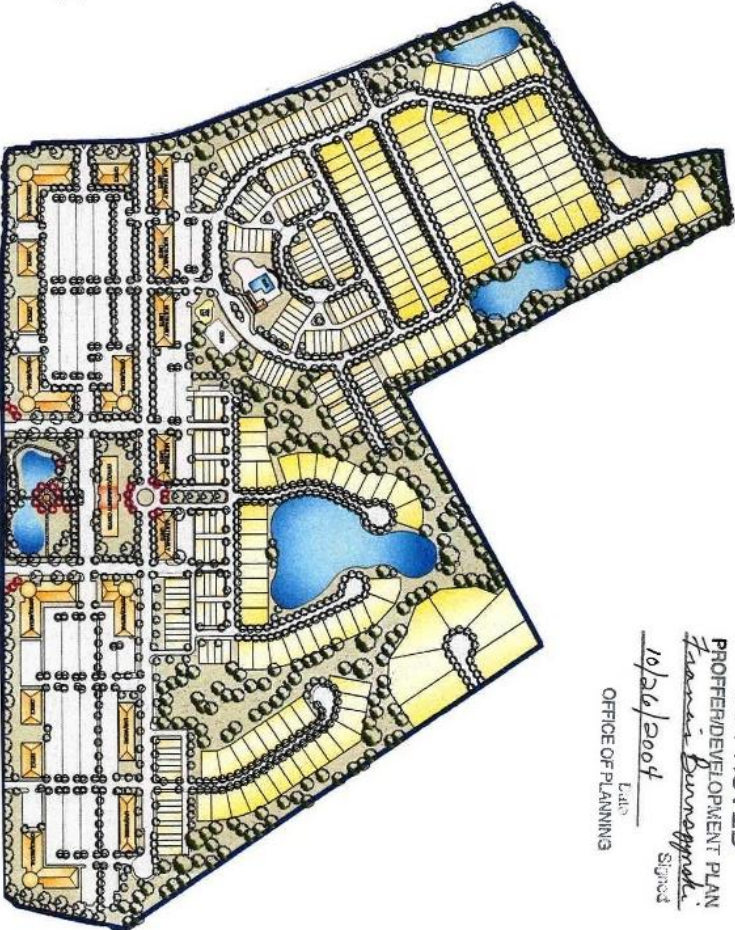
Walsh, Colucci, Lubley, Emrich & Terpak PC  
Glen Park I  
4310 Prince William Parkway  
Prince William, Virginia 22192-4216  
Voice: (703) 680-4664  
Fax: (703) 680-6067

August 2004

Revised : September 2004

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**APPROVED**  
PROFESSIONAL DEVELOPMENT PLAN  
*James Burroughs*  
10/26/2007  
L.D.B.  
OFFICE OF PLANNING  
Signed





Reid's Prospect  
Pineville, Virginia

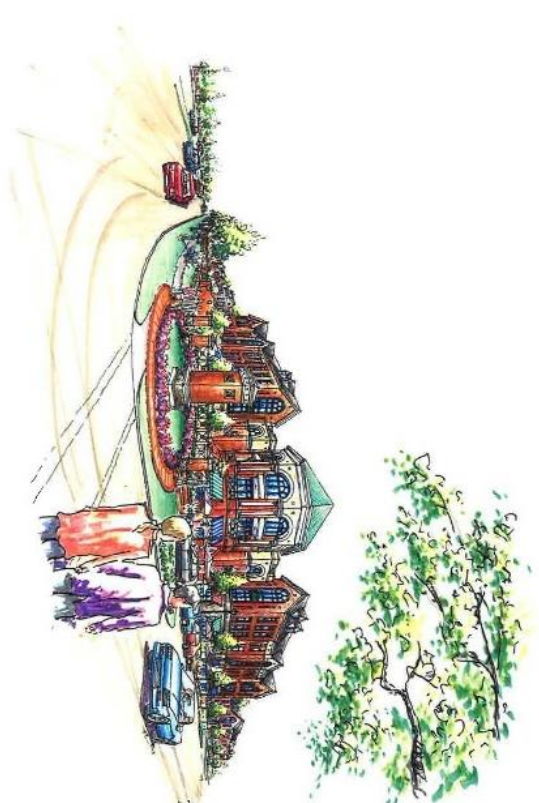
■ Submission Document ■ 2



NCL	<div data-bbox="313 333 354 596">Introduction</div>	<div data-bbox="302 1843 370 1927">Reid's Prospect Prince William Virginia</div>
<div data-bbox="574 615 591 737">INTRODUCTION:</div> <div data-bbox="443 615 553 1547"><p>National Capital Land and Development Company is the contract purchaser of a significant and unique assemblage of eight (8) parcels of land, consisting of approximately 105 acres, located adjacent to the Prince William Government Center along Prince William Parkway. Reid's Prospect's location &amp; size lend itself to becoming a vibrant part of the community. The Property currently has a long-range land use plan classification of Community Employment Center - County Center (CEC-CC), which includes, but is not limited to, uses such as residential, lodging, community/public space, 1st floor retail in support of employment services, cafes, and offices.</p></div> <div data-bbox="646 667 1328 1516"></div> <div data-bbox="440 1608 602 1890"><div data-bbox="574 1667 599 1822">APPROVED</div><div data-bbox="550 1608 568 1885">PROFFER/DEVELOPMENT PLAN</div><div data-bbox="518 1608 550 1885"><i>Tamara Burroughs</i></div><div data-bbox="477 1608 509 1755">10/26/2004</div><div data-bbox="461 1755 477 1793">Date</div><div data-bbox="440 1663 456 1829">OFFICE OF PLANNING</div><div data-bbox="501 1822 518 1877">Signed</div></div>		



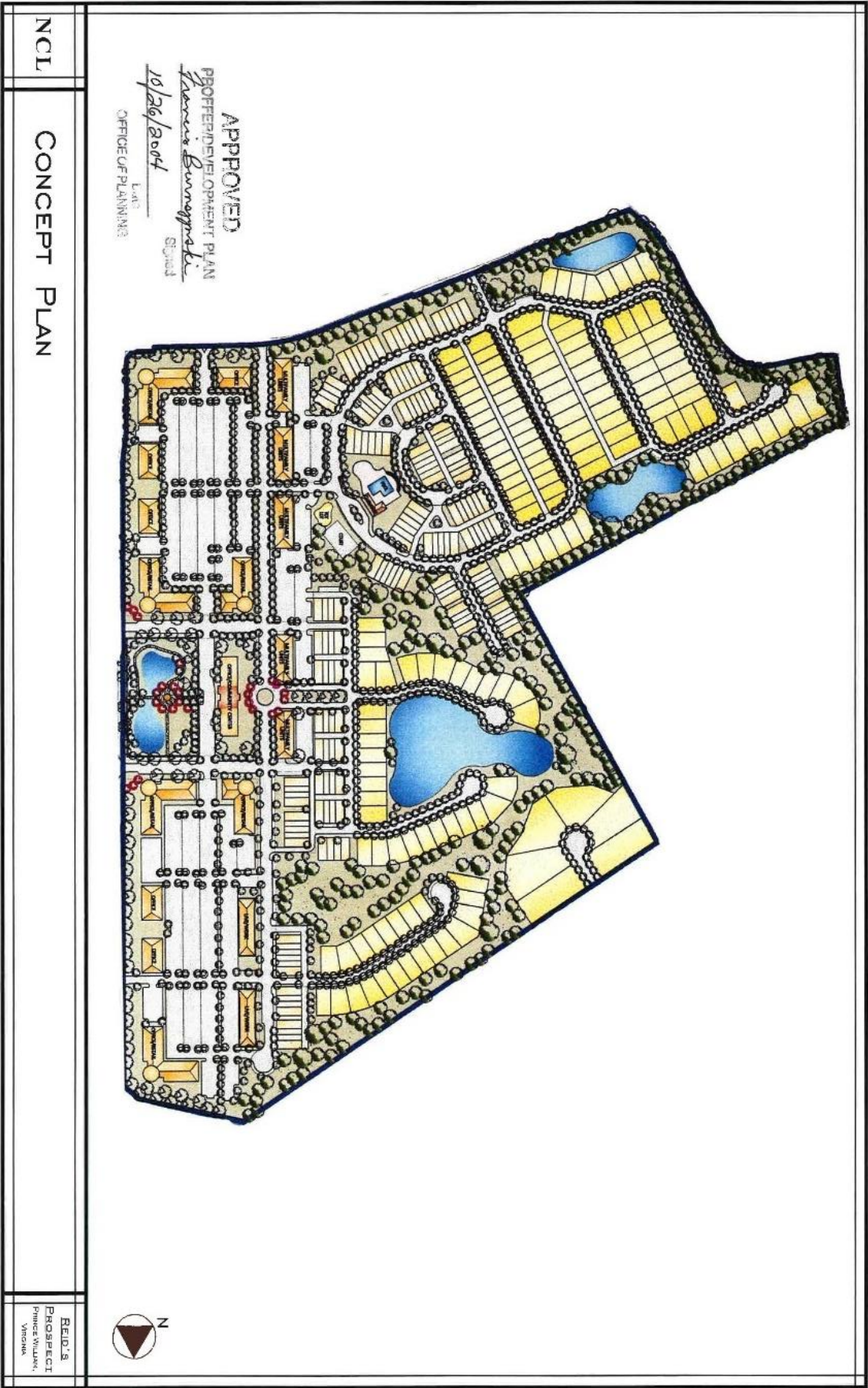
<p>Project Location Overview</p>	<p>Prince William County is ideally located in the Washington Metropolitan area in northern Virginia. The County is bordered by the Potomac River to the east, Fairfax and Loudoun Counties to the north, Fauquier County to the west and southwest, and Stafford County to the south. Reid's Prospect is located approximately 4 miles west of Interstate 95, 12 miles south of Interstate 66, and approximately 2.5 miles south of Washington D.C. The project is immediately bordered by the Prince William County Government Center to the west, a planned golf course and residential community to north, and established residential neighborhoods on the east and south, including the Prince William County Center mixed-use site (office/employment, commercial, residential, community open space, parks, and plazas). Reid's Prospect is being planned at the intersection of Prince William Parkway and Asdec Lane. The project parallels the concepts integrated into the Prince William County Center master-planned community across Prince William Parkway. Reid's Prospect contains employment, support retail, service, commercial and residential throughout the plan, thereby blending seamlessly into the existing and planned urban fabric.</p>
<p>The planning and design concept principles found within Reid's Prospect include human scaled streets and spaces, a well-developed pedestrian network, coordinated urban design features, strong architectural design themes, and most importantly, a mixed-use livable community. Reid's Prospect offers a new, well defined sense of place for Prince William County.</p>	
<p>APPROVED PRINCE WILLIAM COUNTY 10/26/2004 OFFICE OF PLANNING</p>	

Community Design		<p>Reid's Prospect is an approximately 105-acre "gateway" project that combines traditional neighborhood design (TND) principles with architectural concepts reminiscent of colonial architectural styles. Envisioned to be a true mixed-use village, Reid's Prospect is carefully and thoughtfully conceived and planned to provide a quality environment. This includes residential, retail and office uses typical of a traditional mixed-use village. It will be a place where one can live, work, shop and be entertained in both style and comfort.</p> <p>Reid's Prospect's traditional neighborhood concept relies on a mix of uses in order to create a vibrant and successful community. A multi-family component located along a main boulevard creates the essence of an old village. The use of a minimal front yard setback enables buildings to be held close to the organizing main street that runs through the property on an east-west axis. The residential component is designed to offer residents the choice of either multifamily or single-family style homes in proximity to the community clubhouse/amenity space. Architectural details for all use types will be similar in style, which creates a distinct sense of place for the project. The execution of these details is very important as they can be included in not only buildings, but also parks, streetscapes, pedestrian pathways, water features, and trail networks.</p> <p>The long-term plan along Prince William Parkway is envisioned to have a mix of uses, including government, residential, retail, and office. With the appropriate mix of uses, a constant energy of activity will be found. By day there will be office users/visitors, and by evening there will be residents of the community. To accomplish this goal, the plan provides for a mix of residential levels and unit types. The multi-family units allow for a mix of incomes across the site and near the center of the project. These moderate affordable options create housing for singles, upwardly mobile couples, or active adults. Comfortable yet affordable living is a strong component of the layout of Reid's Prospect.</p> <p>Envisioned uses will create an exciting and active pedestrian-friendly streetscape while concealing the parking behind the buildings. Neighborhood and specialty shops are designed to give activity throughout the day and into the night. Retail and commercial opportunities are foreseen to include: quality support services within office buildings, boutique and specialty shops, and professional/medical employment uses. The office and retail uses may offer a wide variety of market responsive commercial space in this important Prince William County sector.</p>
APPROVED PROFFER/DEVELOPMENT PLAN <i>Francis Burnhampeck</i> 10/26/2004 L-013 OFFICE OF PLANNING		<p>The focal point of the project is a proposed park along Prince William Parkway. Reid's Park, to include a pond, will create a centralized park for gathering, walking, &amp; relaxing. The centrally located park creates a visually inviting relief along Prince William Parkway. This park will serve as the center of this community's retail and office core and will be organized around a landscaped plaza, and an amenity area, including a water feature. These will all serve the greater community and employers of the Government Center as well as the Reid's Prospect community.</p> <p>The land uses have been carefully positioned to provide the appropriate and necessary variety of uses on-site while remaining sensitive to the existing land uses on adjacent properties. The residential neighborhood is sited to provide an important transition from the surrounding residential land use designation on adjoining parcels along the northern and eastern boundaries of the project. As one moves closer to the main roads, the land uses evolve from lower density residential to higher density residential, live/work, and office; property associated with their location next to the main road network. This design creates an easy transition across the property.</p> 
NCL	Goals and Objectives	Reid's PROSPECT 17 acres 90 ft. min. width



General Architectural Guidelines	The following principles address critical urban design issues, which will guide the design of Reid's Prospect:
Buildings must exhibit a commitment to quality of design and materials while respecting the natural environment. Each building shall be designed to complement the character of this neighborhood and be sensitive to their materials, color and scale. Careful design and material considerations will help develop a distinctive overall community. The purpose is to develop standards which recognize the importance of the collective impression.	<b>Multiple Uses:</b> Within Reid's Prospect, multiple uses will reduce dependency on the automobile, and provide extended hours of activity. Mixing uses within land parcels and, where appropriate, within buildings adds a sense of vitality and interest to the larger community.
<b>Architectural Massing:</b> Buildings shall exhibit variety in their massing, height, projections and recessions. Where appropriate, asymmetry in design is encouraged, to provide visual vitality to the community setting. Reid's Prospect seeks to achieve an urban design that suggests multiple settings but also reflects participation in a single over-arching theme.	<b>Lot Size and Configuration:</b> Lot sizes and shapes are designed to encourage an efficient use of land.
<b>Roof Massing:</b> An important part of the impression architecture can provide is roof massing. Roof forms enhance the sense of scale and interest, as well as providing a screen for mechanical equipment. Interruptions and changes to roof forms will provide visual variety and can create a sense of openness toward the sky.	<b>Setbacks:</b> Minimum building front yard setback dimensions are reduced from typical county standards to increase the sense of enclosure and urban community. Setback dimensions will provide adequate room for sidewalks, streetscape improvements and, where appropriate, private landscape improvements.
<b>Facades:</b> Building facades shall provide incremental setback variations with a variety of facade designs, such as balconies, porches and bay windows, to create shadows and visual interest.	<b>Corner Elevations:</b> Elevations of buildings facing corner streets shall receive the same architectural treatments, design, materials, and colors compatible to the front facade. Corner elevations shall also have window openings.
<b>Side and Rear Elevations:</b> Exposed side elevations shall incorporate the same design elements and materials as the street facade.	<b>Building Orientation:</b> Building orientation will be perpendicular to and face directly onto the street. Buildings shall be finished on all elevations.
<b>Urban Design and Architectural Guidelines:</b> Building locations close to streets and roadways define the public realm, strengthen the pedestrian environment and create a sense of place.	<b>Building Materials:</b> The use of a variety of architectural materials and colors is encouraged, but must reflect a single, over-arching design concept for the community.
The Architectural style and integrity as depicted on the illustrations contained herein shall be maintained through the development of Reid's Prospect. Modifications may be made to accommodate differing number of floors for the structures depicted within the authorized height limits and site considerations.	<b>Color:</b> Black or appliance white shall not be used as a predominant exterior color. Garish or fluorescent colors shall not be used. Accent colors may be used to complement the building color and may be applied to window mullions, cornices and other architectural elements.
APPROVED	<b>Building Entrances:</b> Primary building entrances will normally face the street, with necessary secondary entrances serving the side and rear elevations, parking and rear yards.
PROPOSED DEVELOPMENT PLAN <i>Reid's Prospect</i> 10/26/2004 L.A.S. OFFICE OF PLANNING	<b>Window Openings:</b> Window openings help to create a friendly environment and are critical in establishing a building's architectural character and proportions. Windows shall be encouraged on all elevations, including those facing parking and service areas, when feasible.
NCL	<b>Glazing:</b> All street level exterior windows shall use clear glass, and highly reflective glass will not be used.
General Architectural Guidelines	
Reid's Prospect Prince William Virginia	

NCL	General Architectural Guidelines		
		<p><b>General Single Family Guidelines</b></p> <p>Cohesive architectural design shall be achieved by incorporating the following elements:</p> <ul style="list-style-type: none"> <li>All sides of buildings shall be aesthetically pleasing with attention given to exposed end wall and rear elevations.</li> <li>House styles shall reflect a diverse theme with unity, imbued with a sense of tradition.</li> <li>Building design shall be harmonious with the character of adjacent buildings through form, scale, color, materials, and proportions.</li> <li>Unit size will be appropriately scaled to fit lot size for all homes with minimum and maximum sizes specified.</li> <li>No house shall be sited on a corner lot at an angle at any major intersection. Corner lot sitings at secondary intersections may be angled if consistent with good land planning. Two adjacent, diagonal, or opposite buildings may be similar but not of the same elevation and/or color scheme.</li> </ul>	
		<p><b>Frontage Road Guidelines</b></p> <p>Special care must be taken at the entrances, since the first impression sets the tone for the entire development. A lot which shares a property line with, or is visible from, any through-road or the main entrance roads must follow these guidelines:</p> <ul style="list-style-type: none"> <li>Exposed foundations shall be brick or stone, or be siding to within 8" of grade.</li> <li>Brick or stone front elevations shall feature at least a 12" return on all sides.</li> <li>All exterior chimneys must have the appropriate masonry (stone, stucco or brick) on outside wall. Masonry shall not be required through interior walls or through the roof in rear of buildings, or where wood or simulated wood would be traditionally the preferred material.</li> <li>All visible elevations must be landscaped with the same care as the front elevations.</li> <li>Where architecturally appropriate, shutters shall be used.</li> </ul>	
		<p><b>Exterior Wall Guidelines</b></p> <ul style="list-style-type: none"> <li>Wood, clapboard, brick, natural stone, (cultured stone is subject to review and approval), smooth finish stucco, or other various appropriate synthetic sidings and wall coverings may all be used for exterior walls, subject to architectural review.</li> <li>Any builder in a section shall build at least fifty percent of the homes with masonry fronts. The remaining fifty percent are to have strong elements, such as porches or porticos.</li> <li>The exterior color palette must be in accordance with approved development plans or site plans. Color changes or elevation changes require a separate approval. The builder may submit a standard color package along with elevations and house types for approval on a section by section basis.</li> <li>All siding, whether wood, aluminum, vinyl or composition, must have a minimum six-inch (6") lap or course; twin four-inch (4") siding and twin five-inch (5") are not acceptable.</li> <li>Where the water table treatment is required, exposed foundations shall be brick, stone, or "brick form" that is painted to match the predominant siding material. Exposed foundations on the front elevation may not exceed 24" in height and must be screened with sufficient landscaping.</li> <li>Acreways and wingwall materials shall be consistent with the architecture and shall be screened with landscaping.</li> <li>Front windows shall have a minimum of 1" x 4" trim or shutters.</li> <li>Columns at front porches or porticos shall be a minimum of 8" in diameter for round columns or 8" square for box columns with moldings at top and bottom.</li> <li>Awnings shall be permitted in the rear of houses.</li> </ul>	
		<p><b>APPROVED</b></p> <p>PROFESSIONAL DEVELOPMENT PLAN</p> <p><i>James Cunningham</i></p> <p>10/26/2004</p> <p>L.A.D.</p> <p>OFFICE OF PLANNING</p>	
		<p>Reid's Prospect Version</p>	





NCL	<p>Overall District Patterns    all District Patterns</p>	Reid's Prospect Pavane Williams Virginia
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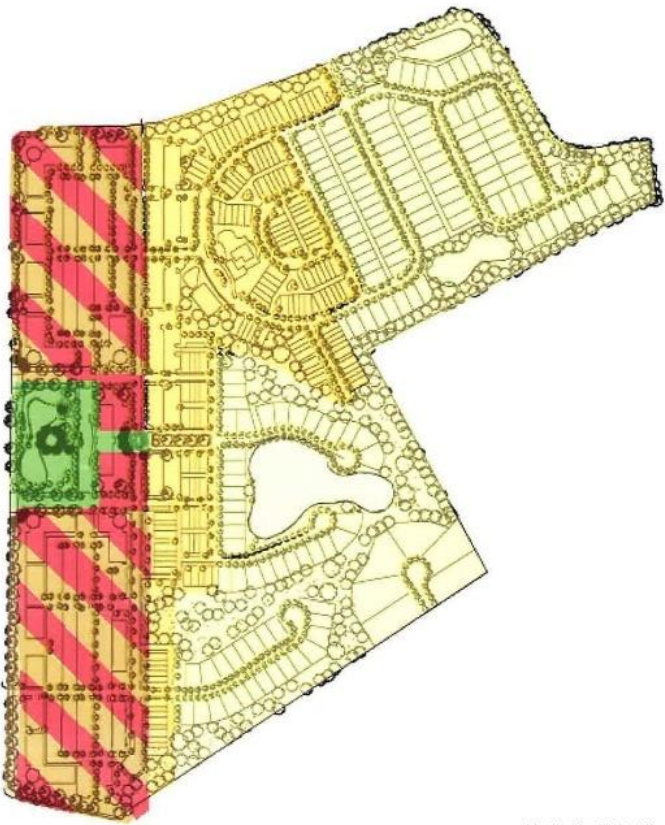
Overall District Patterns

This drawing illustrates the variety and location of the different housing types as well as the different uses proposed within the development. Each lot has a series of yard setback lines within which the elements of the particular residence may be placed, and this determines the character of each street.

Each building footprint shall be placed inside the front, side, and rear yard setbacks determined by the development parameters set forth in these Design Guidelines for each use. The front yard is open space between the front line of the building and the front lot or street line, and extending across the full width of the lot. The rear yard is open space on the same lot as the house between the rear lot line of the principal building and the rear line of the lot, and extending across the full width of the lot. The side yard is open space on the same lot as the house and the side lot line of the lot, and extending from the front yard line to the rear yard line.

Proposed Uses

- Single Family Detached - "R-20"
- Single Family Detached
- Single Family Attached
- Multi-Family Residential
- Office / Retail / Employment / Live/Work
- Green Space /

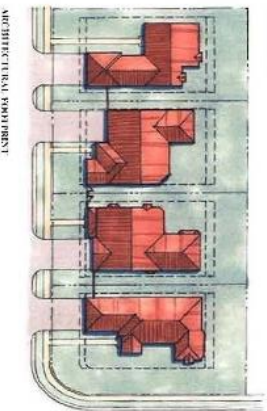
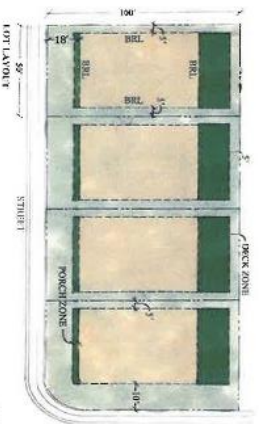


APPROVED  
PROFESSIONAL DEVELOPMENT PLAN  
*James Cunningham*  
10/26/2004  
OFFICE OF PLANNING  
L.A.D.

**SINGLE FAMILY DETACHED - FRONT LOAD**

This dwelling type consists of a detached dwelling unit.

Minimum Lot Area	5,000 sq. ft.
Minimum Lot Width	50 ft
Maximum Building Height	40 ft
Min. Front Yard Setback from Lot Line	18 ft
Minimum Rear Yard	20 ft
Minimum Side Yard, Corner Unit	10 ft
Minimum Side Yard	5 ft



Decks may encroach up to 15' into the rear yard.

Architectural features (such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers) may project up to three feet into any required yard, setback, or buffer.

For Single Family homes only, front porches or stoops can encroach 4' into the front yard setback.

**APPROVED**  
PROFFER/DEVELOPMENT PLAN  
*James Bumgarner*  
10/26/2004  
OFFICE OF PLANNING

NCL

LOT TYPES - GENERAL CONDITIONS

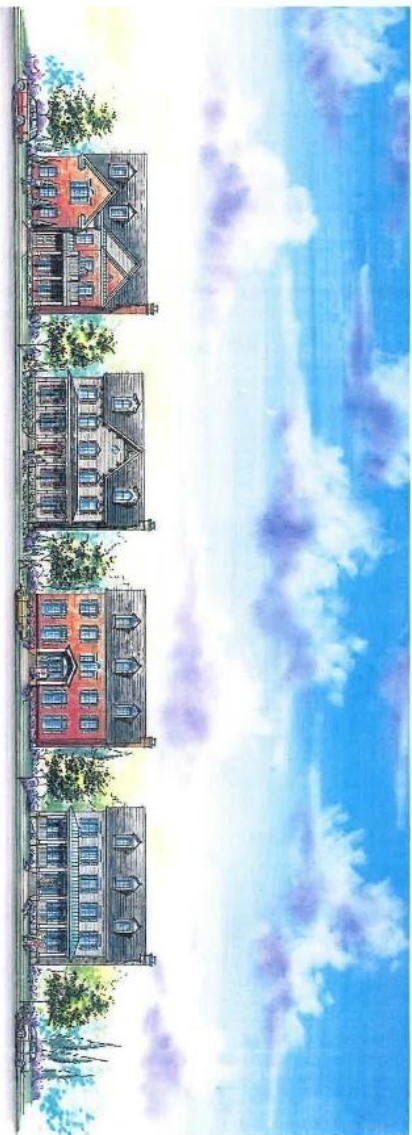
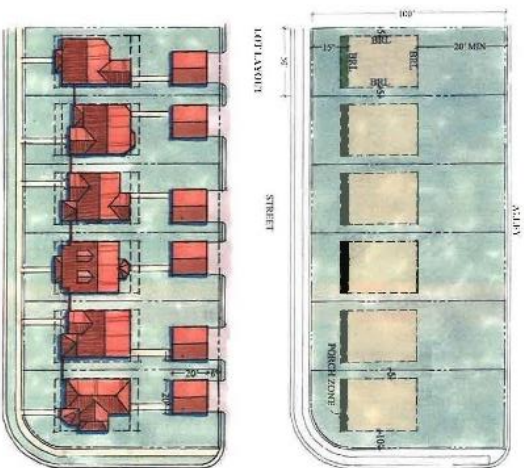
Reid's  
PROSPECT  
PRINCE WILLIAM,  
VIRGINIA



## SINGLE FAMILY DETACHED - 50' REAR LOAD

This dwelling type consists of a detached dwelling unit.

Minimum Lot Area	5,000 sq. ft.
Minimum Lot Width	50 ft
Maximum Building Height	40 ft
Minimum Front Yard Setback	15 ft
Minimum Rear Yard	46 ft
Min. Rear Lot Line to Detached Garage	6 ft
Minimum Side Yard, Corner Unit	10 ft
Minimum Side Yard	5 ft



Decks may encroach up to 1'5" into the rear yard.

Architectural features (such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers) may project up to three feet into any required yard, setback, or buffer.

For Single Family homes only, front porches or stoops can encroach 4' into the front yard setback.

APPROVED  
PROFFER/DEVELOPMENT PLAN  
Reid's Prospect  
10/26/2004  
OFFICE OF PLANNING

NCL

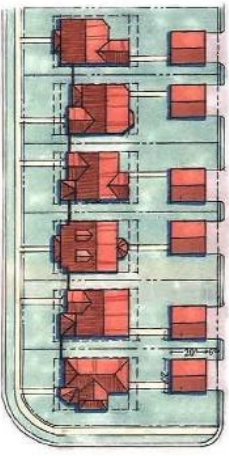
LOT TYPES - GENERAL CONDITIONS

REID'S  
PROSPECT  
THOMAS WILLIAMS,  
VIRGINIA

**SINGLE FAMILY DETACHED - 40' REAR LOAD**

This dwelling type consists of a detached dwelling unit.

Minimum Lot Area	4,000 sq. ft.
Minimum Lot Width	40 ft
Maximum Building Height	40 ft
Minimum Front Yard Setback	15 ft
Minimum Rear Yard	46 ft
Min. Rear Lot Line to Detached Garage	6 ft
Minimum Side Yard, Corner Unit	10 ft
Minimum Side Yard	5 ft



Decks may encroach up to 15' into the rear yard.

Architectural features (such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers) may project up to three feet into any required yard, setback, or buffer.

For Single Family homes only, front porches or stoops can encroach 4' into the front yard setback.

**APPROVED**  
PROFESSIONAL REVIEW  
FOR REID'S PROSPECT  
10/26/2004  
[Signature]

NCL

LOT TYPES - GENERAL CONDITIONS

REID'S PROSPECT  
THOMAS WILSON  
VIRGINIA



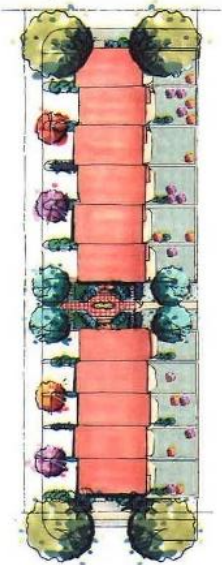
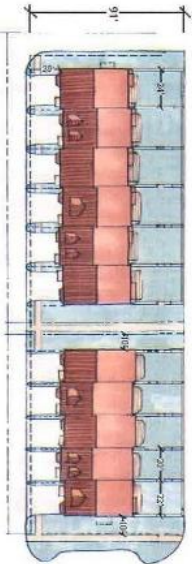
SINGLE FAMILY ATTACHED - FRONT LOAD

<sup>T</sup>  
This dwelling type consists of a single-family attached unit, with individual outside access. Rows of attached townhouses shall contain no more than six dwelling units.

Minimum Building Footprint	720 sq. ft.
Minimum Lot Width	20 ft.
Minimum Open Space Required	30 %
Maximum Building Height	40 ft.
Minimum Front Yard Setback (w/ front load garage parking)	20 ft.
Min. Setback from public R.O. W.	30 ft.
Min. Side Yard (end unit)	10 ft.
Minimum Rear Yard	20 ft.

Note:

- 1) Setbacks shall be varied at least two feet for all townhouse units within a group, except that two abutting units may have the same setback, provided no more than four units in the same group have the same setback.
- 2) Front yard setback is measured from the face of Roadway curb.
- 3) Architectural treatment shall vary so that no more than two abutting units are substantially the same, and so that no more than four units in any group are substantially the same.
- 4) Unroofed decks may encroach up to 12 feet into the required rear yard setback of 20 feet.
- 5) For an individual section or phase of a multi-phase project, one-half of the required open space, or 15%, shall be provided within that phase or section. The remaining 15% may be provided on a project wide basis.
- 6) There are no minimum distances required between dwelling units and associated parking spaces.
- 7) Architectural features (such as windows, sills, chimneys, cornices, eaves and gutters, but excluding canilevers) may project up to three feet into any required yard, setback, or buffer.



APPROVED  
PROFESSIONAL DEVELOPMENT PLAN  
James Burroughs  
10/26/2007


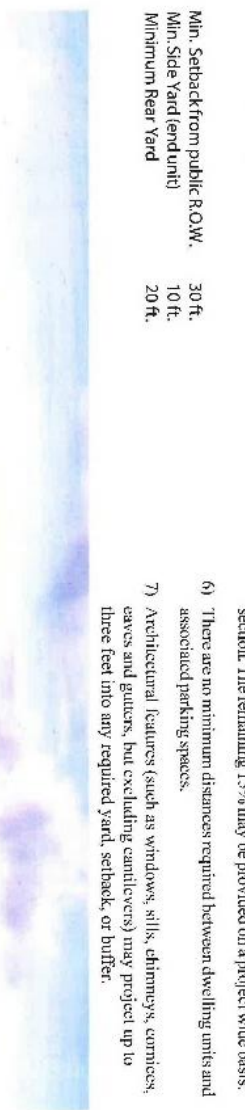

OFFICE OF PLANNING

13

NCL LOT TYPES - GENERAL CONDITIONS

REID'S PROSPECT  
PROFESSIONAL DEVELOPMENT PLAN  
VOLUME

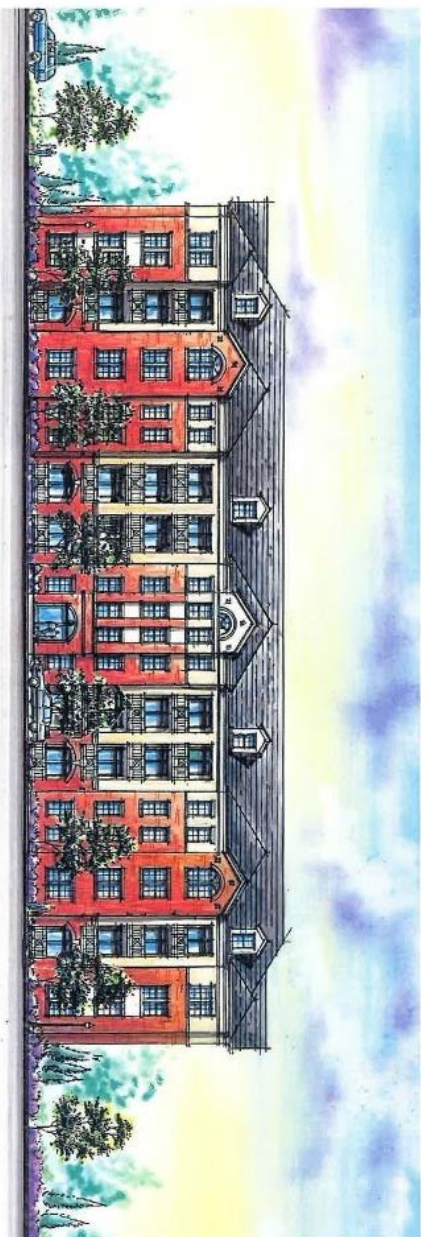
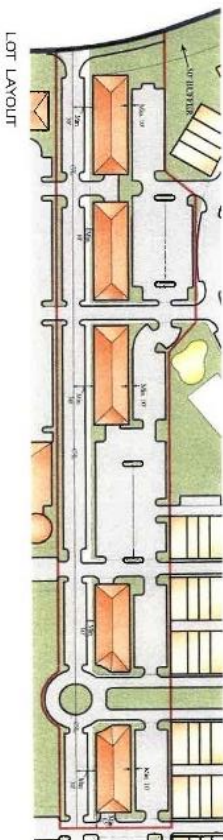
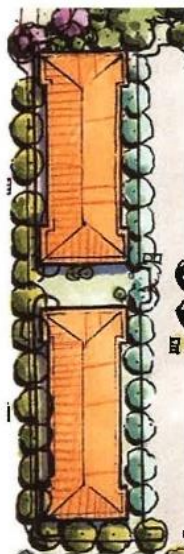


<b>SINGLE FAMILY ATTACHED - REAR LOAD</b>		<b>Note:</b>																	
This dwelling type consists of a single-family attached unit, with individual outside access. Rows of attached townhouses shall contain no more than six dwelling units.		<div>1) Setbacks shall be varied at least two feet for all townhouse units within a group, except that two abutting units may have the same setback, provided no more than four units in the same group have the same setback.</div> <div>2) Front yard setback is measured from the face of roadway curb.</div> <div>3) Architectural treatment shall vary so that no more than two abutting units are substantially the same, and so that no more than four units in any group are substantially the same.</div> <div>4) Unroofed decks may encroach up to 12 feet into the required rear yard setback of 20 feet.</div> <div>5) For an individual section or phase of a multi-phase project, one-half of the required open space, or 15%, shall be provided within that phase or section. The remaining 15% may be provided on a project wide basis.</div> <div>6) There are no minimum distances required between dwelling units and associated parking spaces.</div> <div>7) Architectural features (such as windows, sills, chimneys, cornices, eaves and gutters, but excluding cantilevers) may project up to three feet into any required yard, setback, or buffer.</div>																	
<table><tr><td>Minimum Building Footprint</td><td>720 sq. ft.</td></tr><tr><td>Minimum Lot Width</td><td>20 ft.</td></tr><tr><td>Minimum Open Space Required</td><td>30%</td></tr><tr><td>Maximum Building Height</td><td>40 ft.</td></tr><tr><td>Minimum Front Yard Setback (w/on street parking)</td><td>10 ft.</td></tr><tr><td>Min. Setback from public R.O.W.</td><td>30 ft.</td></tr><tr><td>Min. Side Yard (end unit)</td><td>10 ft.</td></tr><tr><td>Minimum Rear Yard</td><td>20 ft.</td></tr></table>		Minimum Building Footprint	720 sq. ft.	Minimum Lot Width	20 ft.	Minimum Open Space Required	30%	Maximum Building Height	40 ft.	Minimum Front Yard Setback (w/on street parking)	10 ft.	Min. Setback from public R.O.W.	30 ft.	Min. Side Yard (end unit)	10 ft.	Minimum Rear Yard	20 ft.		
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Minimum Rear Yard	20 ft.																		
																			

**MULTI-FAMILY RESIDENTIAL**

- Minimum Lot Area (4 story) 1175 s.f.
- Maximum Lot Coverage .75
- Maximum Building Height 60 ft.
- Minimum Building Setbacks/Yards (C/L) of access easement 30 ft.
- Front Setback (from centerline) 15 ft.
- Rear Yard 15 ft.
- Side Yard 15 ft.
- Parking Lot to Dwelling 10 ft.

Architectural features (such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers) may project up to three feet in to any required yard, setback, or buffer.  
Developer shall have the option to incorporate structured parking, below or at grade.



**APPROVED**

PROFESSIONAL ARCHITECT  
*James B. Bunn, Jr.*  
10/26/2007

NCL

LOT TYPES - GENERAL CONDITIONS

OFFICE OF PLANNING

REID'S  
PROSPECT  
PRINCE WILLIAM,  
VIRGINIA



Office / Retail

Guiding Principles for Building Architecture

- Building architecture shall be of Colonial Village architectural styling and shall maintain a neighborhood proportion. This will be accomplished by making use of familiar architectural details such as an entrance and portico entry features.
- Examples of facade features for a multi-story building are reflected on the building elevation (below). Elements such as balustrade railings and pedimented dormer windows within the gabled or mansard roof system shall be used throughout the office/retail buildings.
- Building skin shall avoid exterior reflective materials and mirrored glass.
- Building massing and landscaping shall relate strongly to adjoining blocks/land trays.
- Building facades shall be varied and articulated for pedestrian visual interest with one or two additional materials (e.g. metal) as accents. Appropriate exterior building materials shall provide architectural detailing and variation to avoid a flat facade.
- Buildings shall be a minimum of two stories and of a design consistent with that shown hereon.



- The design shall incorporate either a pitched roof or a parapet element above each multi-story building to screen equipment. This equipment will be screened from view from the abutting streets by extended parapet walls or by use of vertical roof features (gable, mansard, etc.) that are an integral part of the overall building design. Freestanding mechanical screen walls that contradict the overall building design shall be prohibited.
- Architectural features (such as windows, sills, chimneys, cornices, eaves, and gutters, but excluding cantilevers) may project up to three feet in to any required yard, setback, or buffer.

Mix of Uses

- This designation is primarily intended for professional office and commercial activities. Retail and/or restaurant uses are permitted and encouraged on the first floor.

Parking Accommodations

- Surface Parking
- On-street parallel parking within private street easements

APPROVED

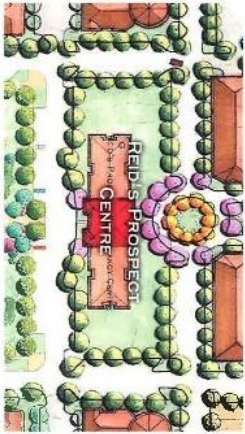
NCL

Office Buildings - General Conditions

PROPOSED SUBMITTER  
*James Cunningham*  
10/26/2004  
City of

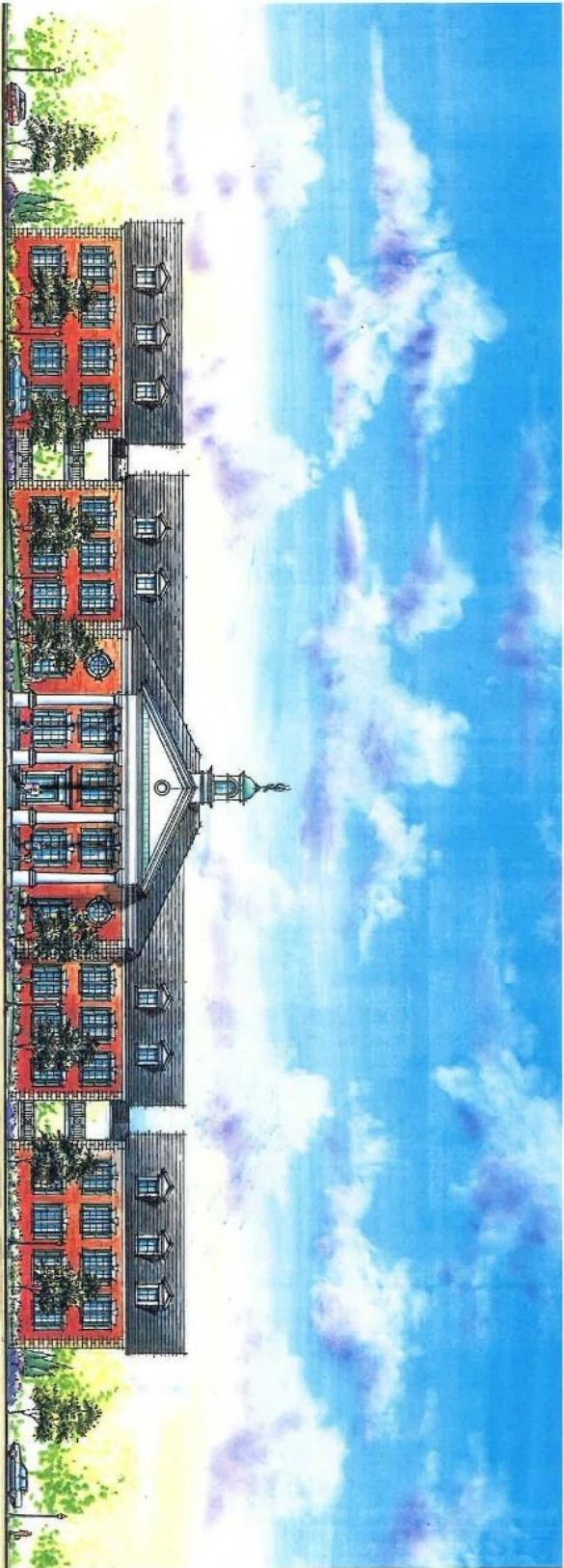
OFFICE OF PLANNING

Reid's  
Prospect  
Office Building  
Maple



Reid's Prospect Centre

The Centre, located directly adjacent to Reid's Park, will be the signature office building for the development and shall be built with the first phase of construction.



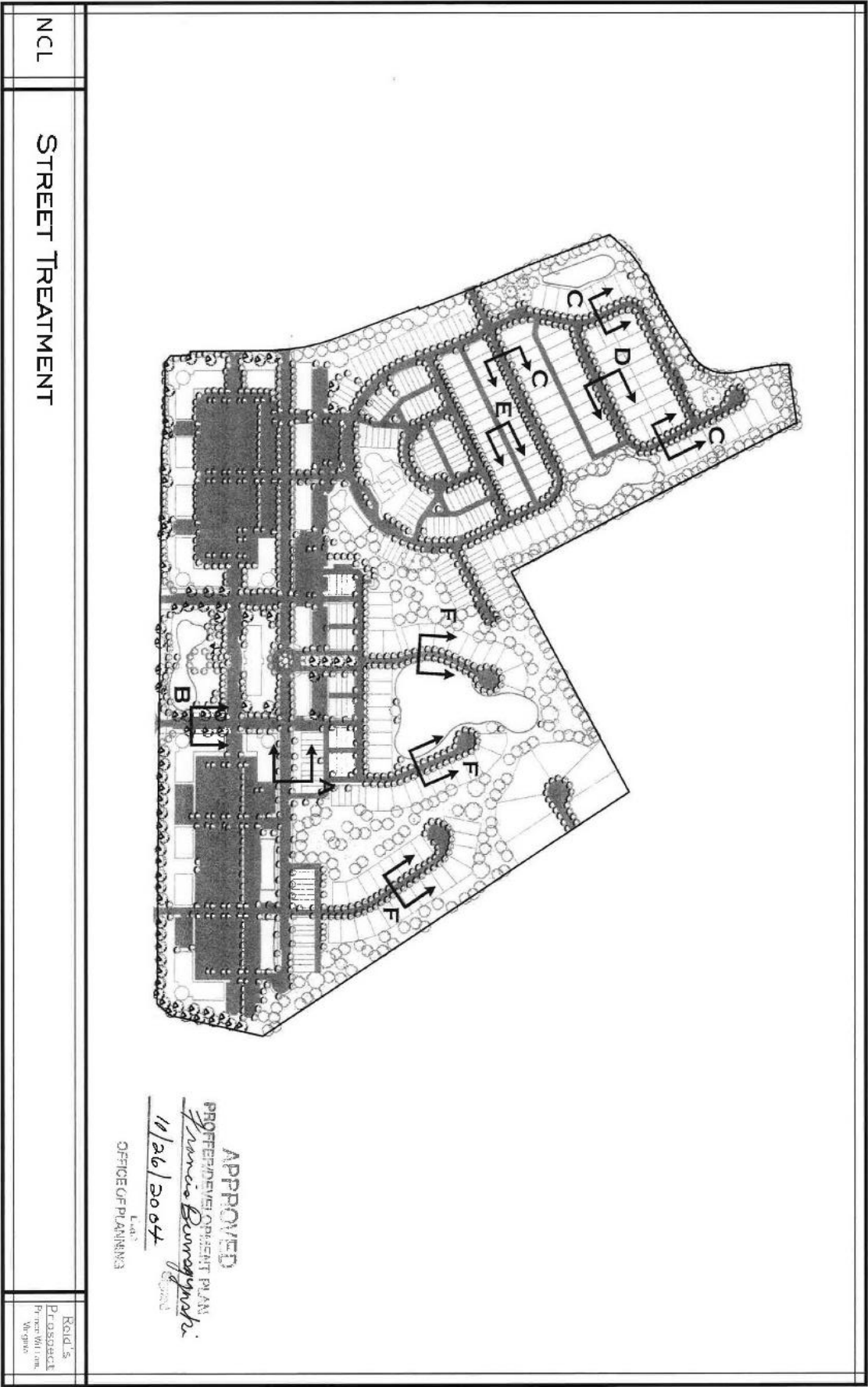
APPROVED

FOR THE OFFICE OF PLANNING  
*Jamesi Burroughs*  
Signed

10/26/2004

OFFICE OF PLANNING



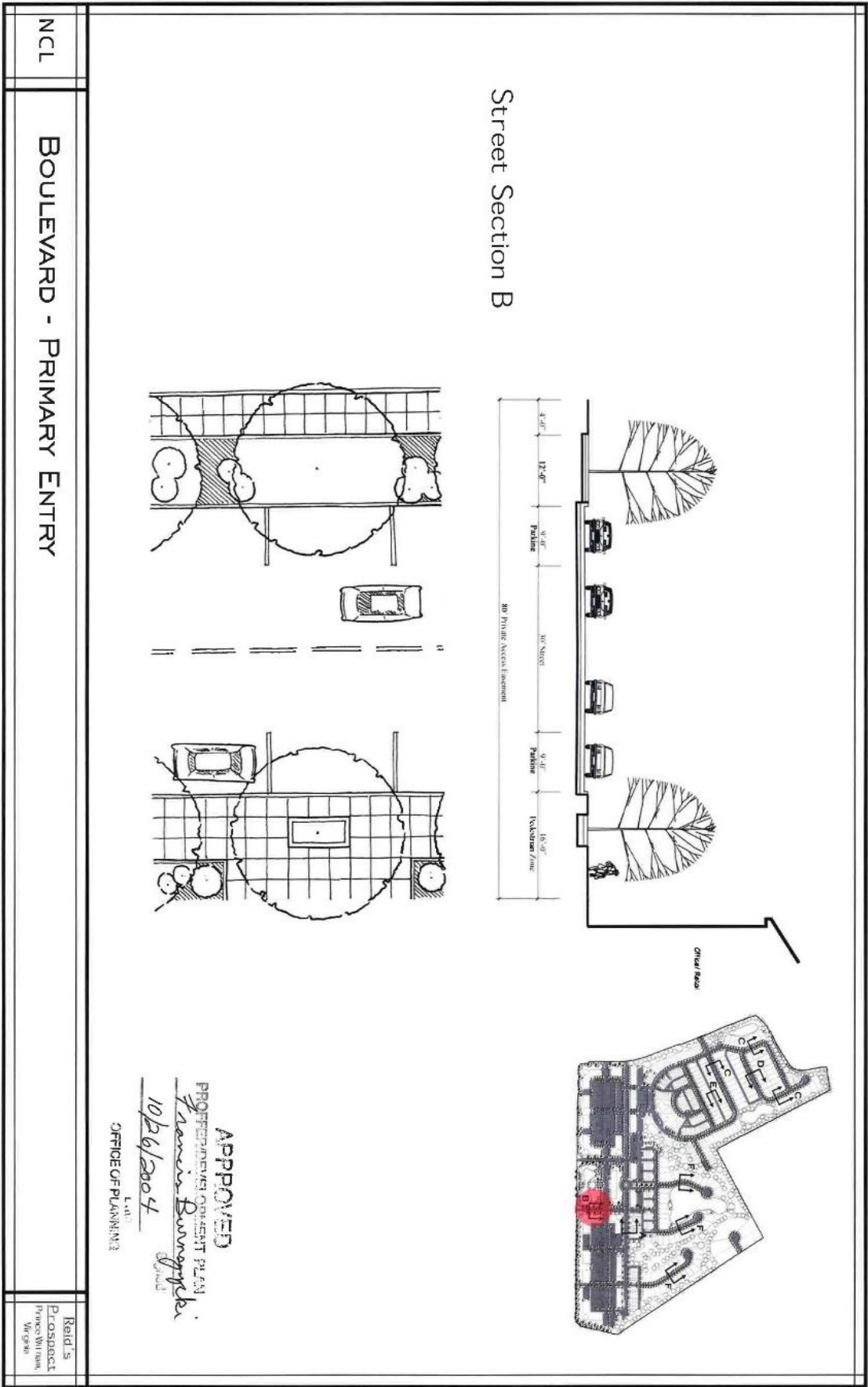


<b>Street Standards</b>	<p>Reid's Prospect will be a pedestrian-oriented community, with smaller street sections that induce traffic calming. Reid's Prospect's street framework will support a wide range of land uses, and create a public infrastructure that encourages pedestrian activity, street life, and a sense of community and place.</p>	<b>Utilities</b>	<p>All utility lines shall be underground. An extra conduit for future communication service will be provided with the initial implementation. Additional information on individual utilities and their location within Reid's Prospect will be developed during final engineering.</p>
<b>Overview</b>	<p>Streets will be arranged to distribute traffic evenly throughout the community, while being modified in areas where environmental features dictate alternative layouts. They will be organized into a private street system, which will be built and maintained by the owner's association(s) of Reid's Prospect. Primary entrances are private roadways that interconnect into a "loop" through the community. Streets, alleys and parking lots are private.</p>	<b>Parking Lots</b>	<p>Parking and its design treatment are planned to reduce the visual impact of parking for both the community and visitors passing through.</p>
<b>Curb Cuts</b>	<p>Curb cuts are the entrances and driveways that interrupt the street curb line. Reid's Prospect's master plan minimizes curb cuts through the use of shared entrances and rear load product that separate driveway traffic from normal street traffic. Minimizing curb cuts also improves traffic safety.</p>	<b>Lighting</b>	<p>Parking lot lighting shall provide adequate illumination for security. The pole and fixture shall be coordinated with the design and color chosen for pedestrian fixtures.</p> <ul style="list-style-type: none"> <li>- Residential Light Height Max: 16'</li> <li>- Commercial Light Height Max: 24'</li> </ul>
<b>On-Street Parking</b>	<p>Located throughout the community, on-street parking will help reduce parking lot size and create a traffic calming effect by minimizing speed. On-street parking enhances the sidewalk environment by providing a buffer between pedestrians and moving cars.</p>	<b>Paving</b>	<p>Either bituminous or concrete pavement is required for all drives and parking lots. Masonry pavers are an optional, decorative opportunity. Dirt, gravel, and other unpaved surfaces are inappropriate.</p>
<b>Turn Radii</b>	<p>Intersection and entrance drive radii dimensions will be kept to minimum sizes to reduce traffic speed and make pedestrian crossings less daunting. All turn radii will be subject to fire/rescue requirements for safety.</p>	<b>Striping</b>	<p>Striping will be required to identify all parking spaces.</p>
<b>Road Sections</b>	<p>Descriptive street standards represent the different road sections to be utilized within Reid's Prospect. The following pages discuss the road sections.</p>	<b>Screening</b>	<p>Parking lots adjacent to streets will have required screening. Buildings will frame the parking and streets where possible. A low wall or evergreen hedge (maximum 30" height, where shown) will screen bumpers, wheels, and parking, while allowing for surveillance. Screening could also be effectively used between parking lots and buildings.</p>
<b>Off Street Auxiliary Parking</b>	<p>The residential component will contain a number of strategically placed parking spaces.</p>	<p>OFFICE OF PLANNING</p>	
<b>NCL</b>	<b>Road Network</b>	<p>Reid's Prospect Princess Margaret Virginia</p>	

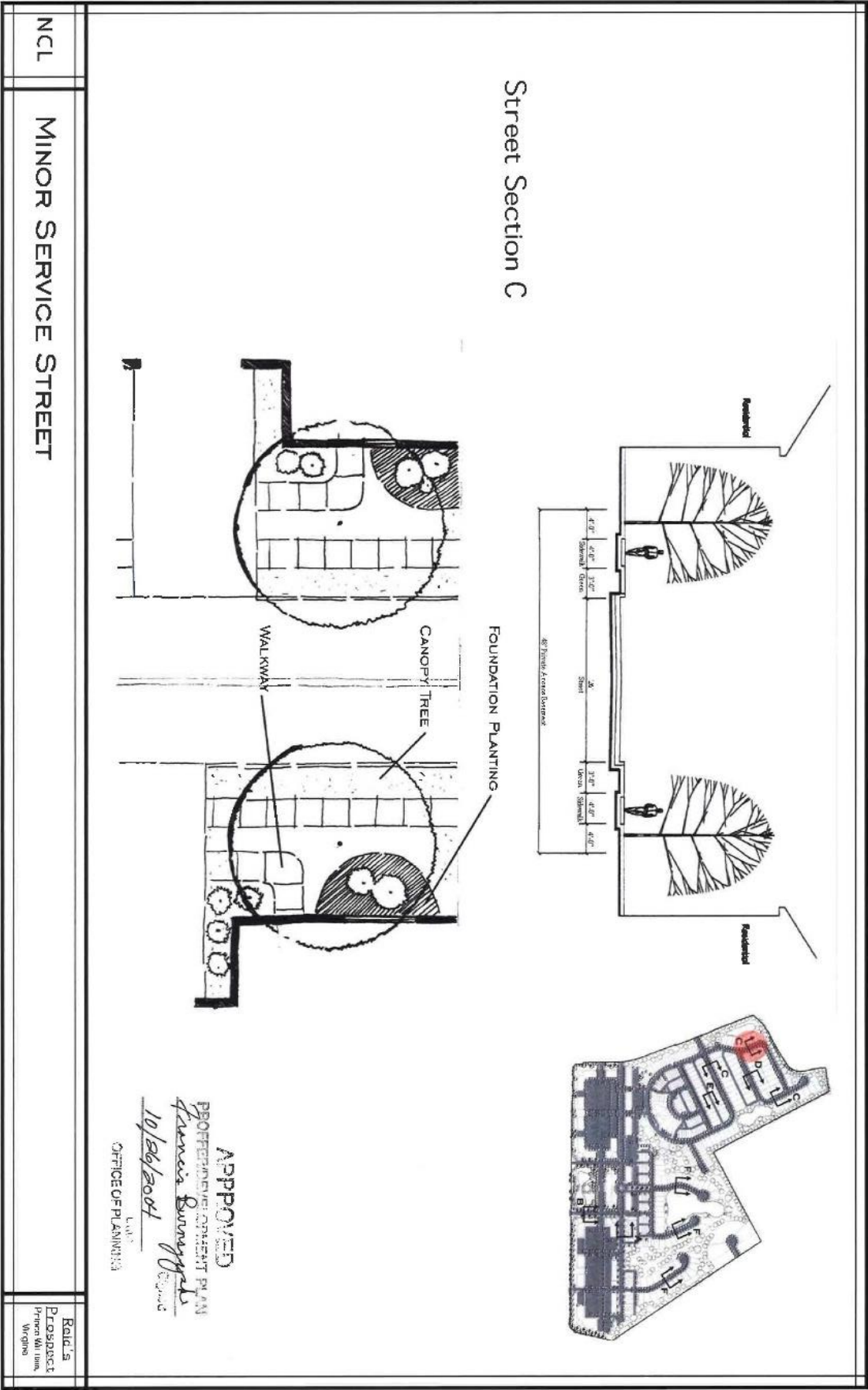
APPROVED  
PROPOSED/REVIEW COMMENT PLAN  
Thomas Bunnings  
10/26/2004

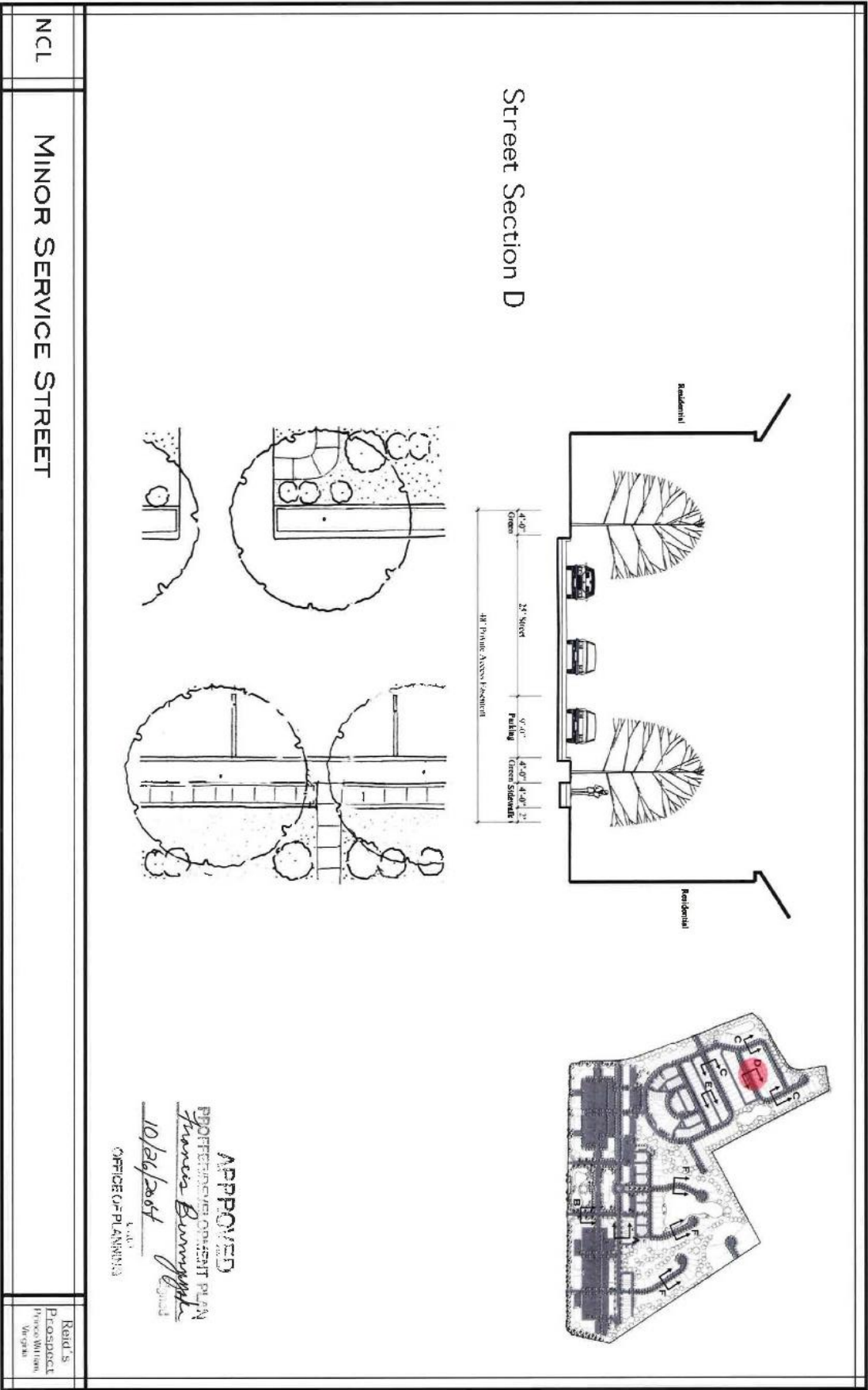
## ARTERIAL STREETS

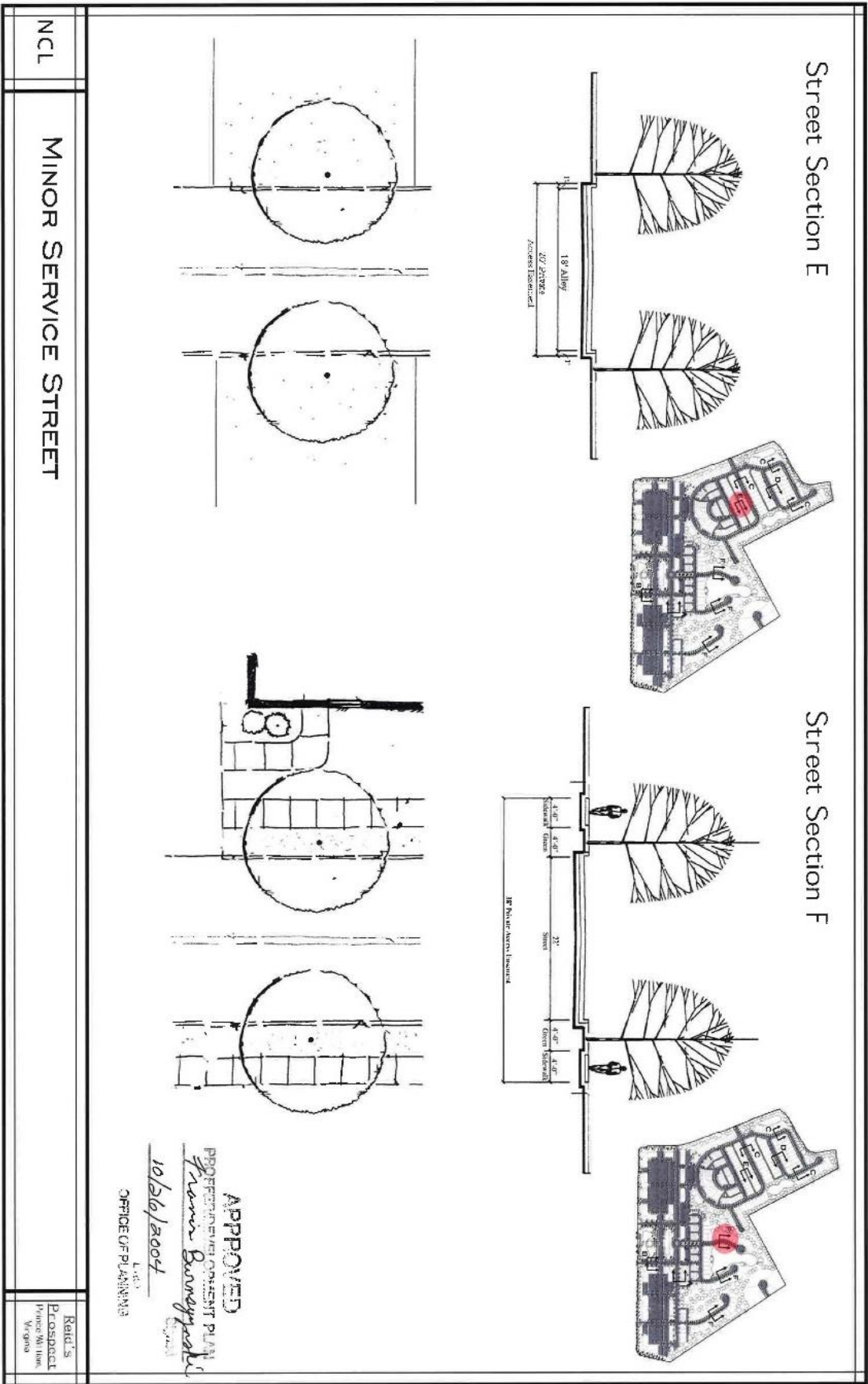




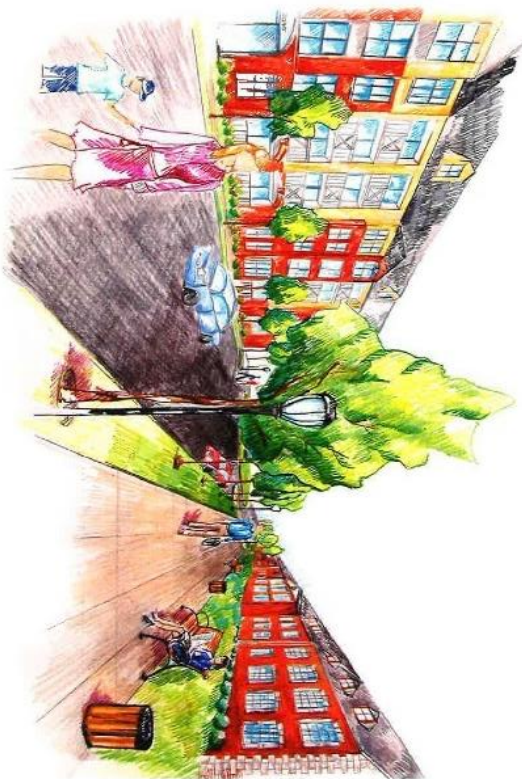





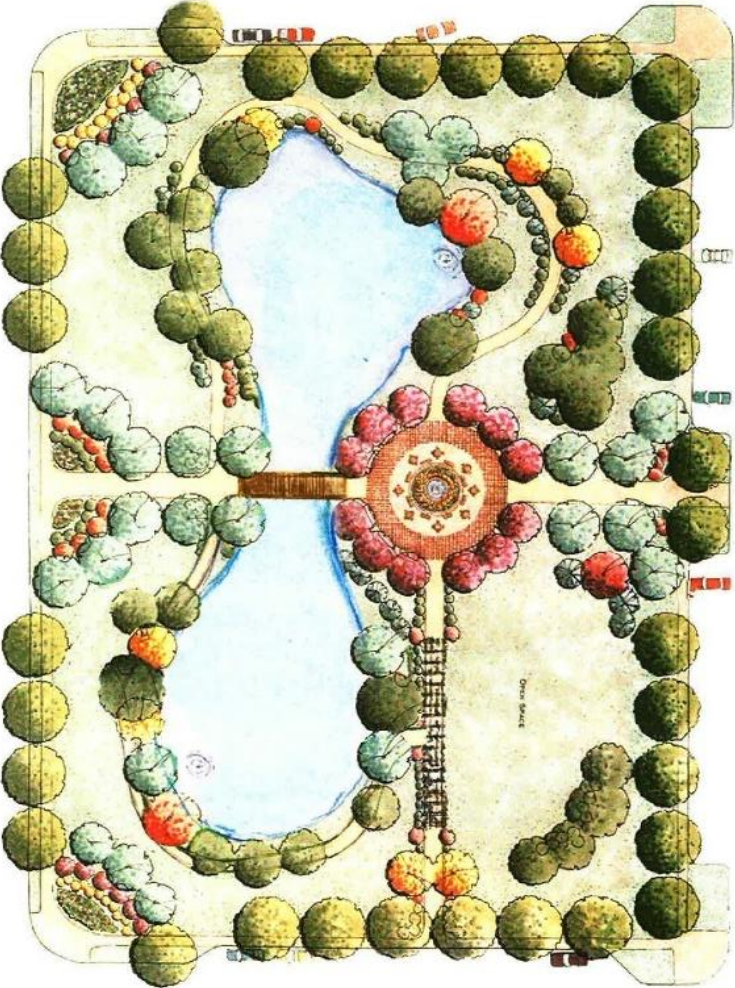
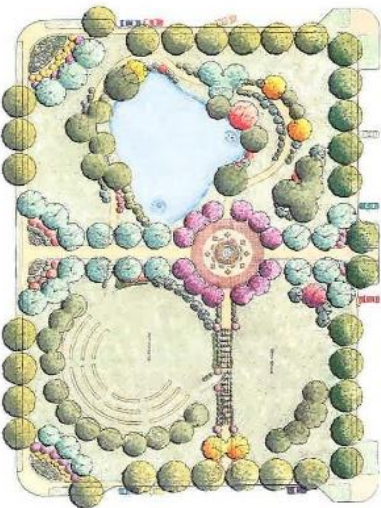


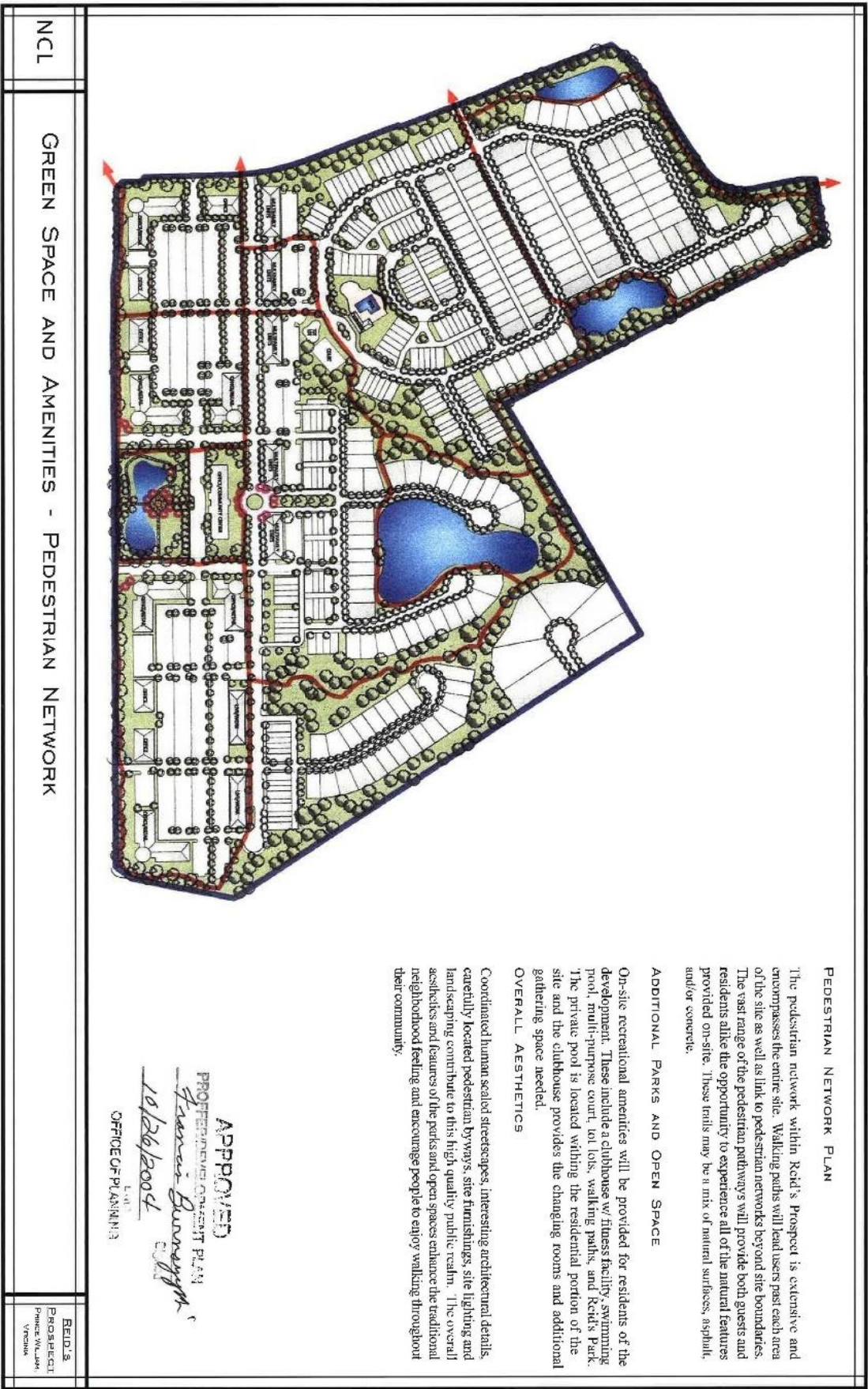




NCL	Reid's Prospect - Main Street	Reid's Prospect Prince William, Virginia
<div></div> <div><p>Reid's Prospect Main Street is a pedestrian oriented street connecting the site from east to west. It is fronted by a variety of building types and open space, and will offer residents of Reid's Prospect a principal arterial to walk to commercial and recreational spaces. The traffic circle will function as a traffic-calming device to enhance pedestrian safety, and also serve as a focal point for the Main Street Vista.</p></div> <div><p><b>APPROVED</b> PROFFER/DEVELOPMENT PLAN <i>James Bunnings</i> 10/26/2004 OFFICE OF PLANNING</p></div> <div><p>Main Street Features</p><ul style="list-style-type: none"><li>• Pedestrian Oriented</li><li>• Street Furniture</li><li>• Sidewalks on Both Sides</li><li>• Architectural Lighting</li><li>• Landscaped Traffic Circle</li><li>• Pedestrian Crosswalks</li><li>• Parallel Parking</li></ul></div> <div></div>		



NCL	Reid's Park	Reid's Prospect Prince William Virginia
		
<div data-bbox="1247 1396 1333 1890"><p><b>Reid's Park</b></p><p>Reid's Park, centrally located on the site, becomes a focal point for the community further linking the social/life/work/shop environment.</p></div> <div data-bbox="1027 1396 1226 1890"><ul style="list-style-type: none"><li>• Outdoor Plaza for daily activities</li><li>• Open Greenspace for passive recreation</li><li>• Specialty Paving and tree enclosure to enhance the park as a place for the community</li><li>• Designated Walking Paths to slow traffic and designate pedestrian locations</li><li>• Pond maintains current wildlife and encourages serene settings</li><li>• Amenity provided along Prince William Parkway</li><li>• Amphitheater for community activities (Amenity)</li></ul></div> <div data-bbox="609 1396 987 1900"></div> <div data-bbox="406 1291 576 1617"><p><b>APPROVED</b></p><p>PROFESSIONAL LANDSCAPE ARCHITECT PLAN</p><p><i>Kenneth B. Bingham</i></p><p>10/26/2004</p></div> <div data-bbox="553 1419 576 1881"><p>Alternate layout for development of Reid's Park w/ Amphitheater</p></div>		





Landscape Plans		Signage Policy	Street Tree Planting Overview
<p>The significance of landscaping in a community cannot be overstated. The desired imagery associated with tree-lined streets and well-landscaped residences is as valued in Prince William County as anywhere in the world.</p> <p>The following is an overview that speaks to the inherent benefits associated with the inclusion of adequate landscape materials in a residential environment. While the aesthetic aspect of such landscaping is self-evident, the functional role of adequate planting, including the opportunity for screening and buffering views, climate control, noise abatement and pollution and erosion control are equally important.</p> <p>The street is a major design determinant of any new development. It is more than a traffic corridor. It functions as a front yard and a major organizing element for the neighborhood. A successful street tree planting program reinforces the overall community organization and introduces a vertical element to offset the perceived horizontal dominance of the street. Such a planting program will reinforce the delineation of the street edge and soften the architectural elements along the street.</p> <p>The finish and extent of landscaping associated with each individual home is equally important in conveying the image and sense of a quality community. Opportunities to transition from the streetscape to the residential yard should be maximized. This includes yard tree plantings and foundation plantings, as well as selective screening to ensure that privacy is available to all residents. The following outlines minimum residential landscaping requirements to achieve this end. Plans shall be prepared at a scale of not less than 1" = 50' and include all base data and programmed, or constructed, improvements on site.</p>		<p>National Capital Land &amp; Development will select a preferred vendor to fabricate, install and maintain all Reid's Prospect signage. This vendor will be responsible for all community signage and the initial fabrication and installation of all individual builder signage. The standards committee strongly urges builders to use the preferred sign vendor for additional signage and maintenance. After initial fabrication and installation of signage, builders may choose to use a third party for maintenance.</p> <p>Strict adherence to the specifications will be enforced. The design, size, colors and typography will be specified, and variations are not acceptable. The following are prohibited within Reid's Prospect unless installed by the Developer, and in accordance with applicable ordinances. If the signs below or any other that have not been approved by the Developer are installed, they will be removed at the builders' expense:</p> <ul style="list-style-type: none"><li>- Permanent or temporary flags. This excludes U.S. flags on poles that are permanently affixed to trailers or model homes</li><li>- Temporary signs in building windows</li><li>- Sidewalk or curb signs</li><li>- Sandwich board signs</li></ul>	<p>The following are designed to assure that an adequate street tree planting program is provided for all residential streets.</p> <ul style="list-style-type: none"><li>- Trees shall be planted continuously 3 feet from the edge of sidewalk and street and should be a type that provides a large canopy at maturity. Suggested varieties are identified within these guidelines.</li><li>- Street tree spacing shall be no less than 30 feet and no greater than 50 feet. Where driveway visibility easements necessitate, tree spacing may be modified to accommodate.</li><li>- A single type of tree shall be used for the entirety of a single roadway or street. Differing tree types may be associated with other roads or streets as specified by the Developer.</li><li>- Tree planting around cul-de-sacs shall be symmetrically positioned despite physical constraints.</li><li>- Street tree plantings shall not impede vehicular sight distances or create any situation which may pose an unsafe or hazardous condition.</li><li>- Corner lots (including lots abutting piecemeals) shall make provision for canopy street trees along side street and common drive exposures comparable to required street tree frontage conditions.</li></ul>
NCL	Landscape Requirements	Landscape Requirements	<div>APPROVED</div> <div>PROPOSED DEVELOPMENT PLAN</div> <div>Francis Burroughs</div> <div>10/06/2007</div> <div>OFFICE OF PLANNING</div> <div>REID'S PROSPECT</div> <div>Prince William</div> <div>Virginia</div>

YARD TREE PLANTING GOVERNING RULES		FOUNDATION AND SCREEN PLANTINGS		LANDSCAPING PRACTICES		PLANT MATERIAL SIZE SPECIFICATIONS	
Additional yard trees shall be planted for all residential units as follows:		INCLUDE:		Planting Practices: Planting practices shall be standardized. All plants should be nursery grown in accordance with the highest standards of horticultural practices, and grown under climatic conditions similar to those of Reid's Prospect. Plants shall be typical of their species or variety with normal growth habits. Plants shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen.		<ol style="list-style-type: none"> <li>1. Hardwood Trees (Street Trees) 3" - 4" minimum caliper</li> <li>2. Hardwood Trees (Yard Trees) 2" - 2 1/2" minimum caliper</li> <li>3. Flowering Trees (Yard Trees) 2" - 2 1/2" minimum caliper</li> <li>4. Screening Evergreens 5' - 8' minimum height</li> <li>5. Columnar Evergreens 4' - 6' minimum height</li> <li>6. Spreading Evergreens 2' - 3' minimum height</li> <li>7. Broadleaf Evergreens and Deciduous Shrubs 18" - 24" minimum height</li> </ol>	
An average of one yard tree is required per 2,000 square feet of single family detached residential lots.		Foundation shrubs and planting for single family detached and attached units shall be provided at a minimum of one plant per three feet of any building facade with direct exposure to public right-of-way, private streets, common driveways or parking areas.		Plant materials shall be chosen based on the relationship of ultimate height and width with regard to the space in which they are planted. Layering of plant materials is encouraged. Taller plants shall be placed behind lower plants.			
An average of one yard tree is required per 3,000 square feet of townhouse or attached single family residential lots.		A minimum of one of the required yard trees shall be located in the designated front yard of single family detached residences in addition to the minimum street tree provisions, as identified on Page 28.		Shrubs shall be used to complement architectural features and not obstruct views from windows.			
Yard trees may include ornamental flowering trees.		Shrubs shall be planted in mulch beds a minimum of three feet from base of building foundations.		Individual owners shall be responsible for executing a landscape maintenance program for landscape areas within their personal site. The program shall include:			
Existing or saved trees meeting the minimum size criteria may be substituted for required plantings at a ratio of one existing tree for two required yard trees. However, if existing trees to remain are in the rear of the lot, front yard tree planting is still required.		Evergreen trees shall be placed to screen rear yards that are exposed to public and private streets, common driveways and parking areas. Spacing between trees shall be no more than twelve feet.		<ol style="list-style-type: none"> <li>1. Pruning trees and shrubs to maintain an attractive shape, removing dead branches and providing clearance for vehicles and pedestrians.</li> <li>2. Replacing dead and disfigured plant material immediately with equivalent plants.</li> <li>3. Fertilizing, mulching, watering and weeding plant beds.</li> <li>4. Applying insecticides and fungicides as necessary to maintain plant vigor and appearance.</li> <li>5. Lawns shall be watered, mowed and maintained in a dense, weed-free condition.</li> </ol>			

APPROVED  
PROFESSIONAL PLAN  
James Burroughs  
10/26/2004  
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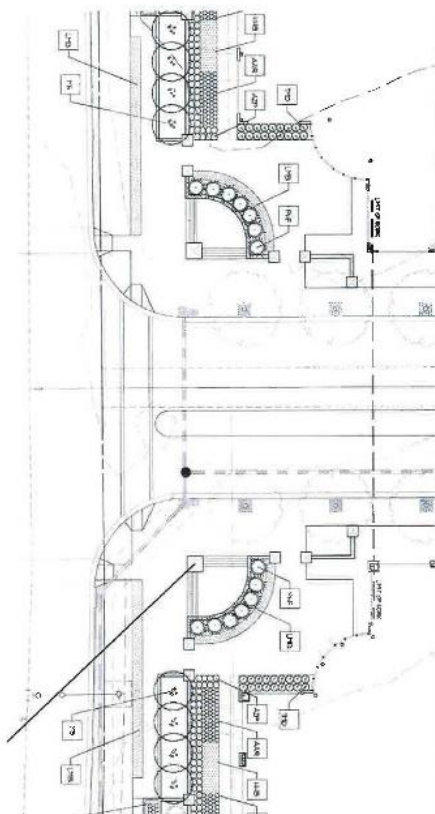
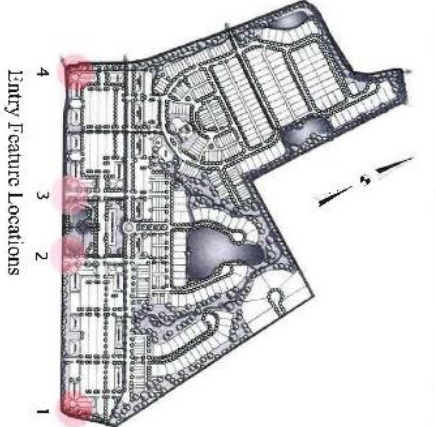
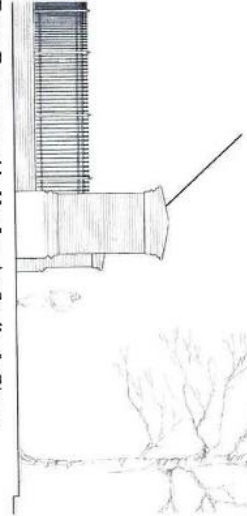
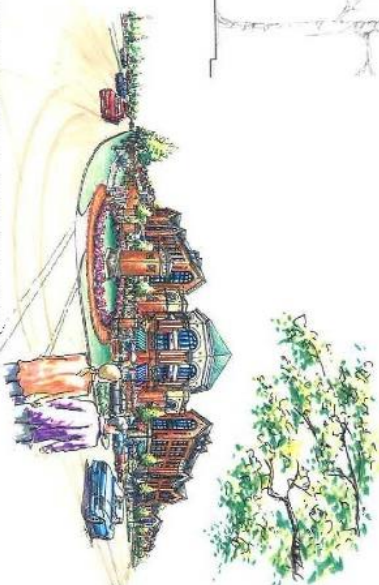
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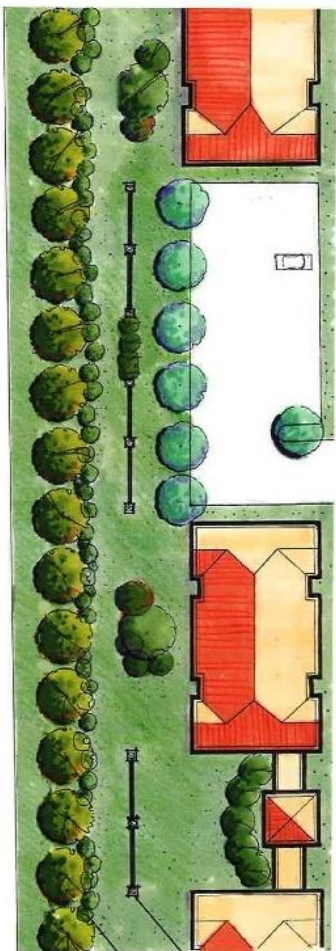
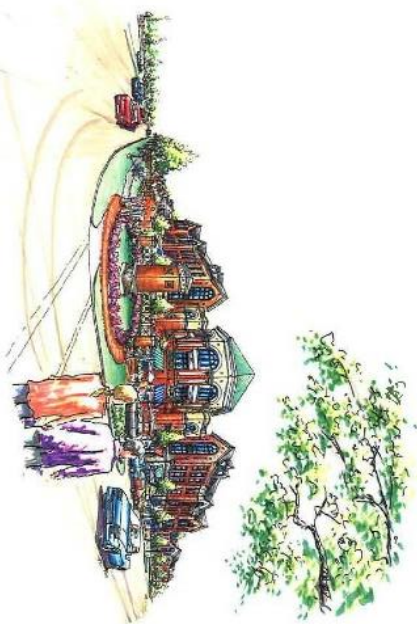
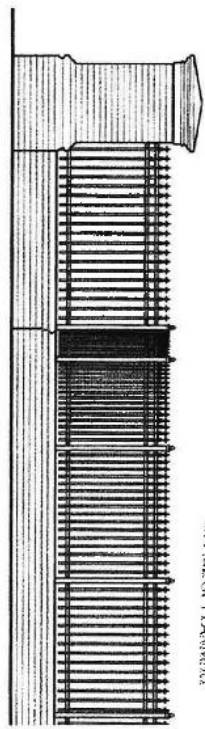
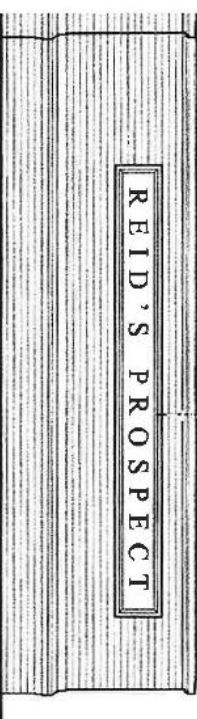
## LANDSCAPE REQUIREMENTS

REID'S  
PROSPECT  
PRINCE WILLIAM  
VIRGINIA

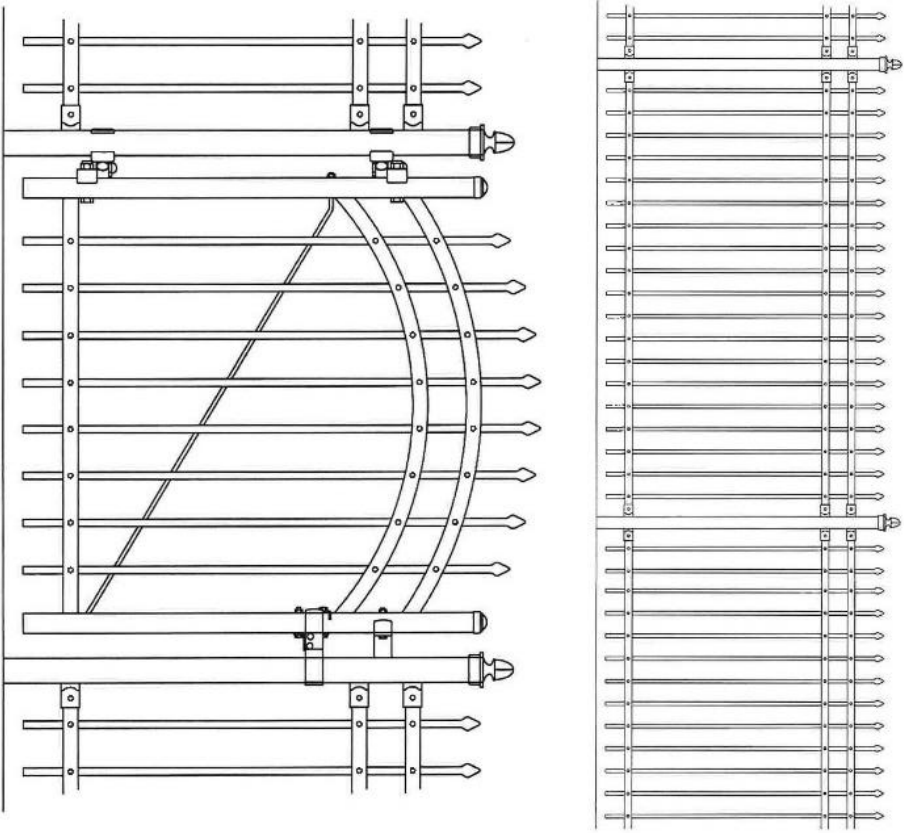
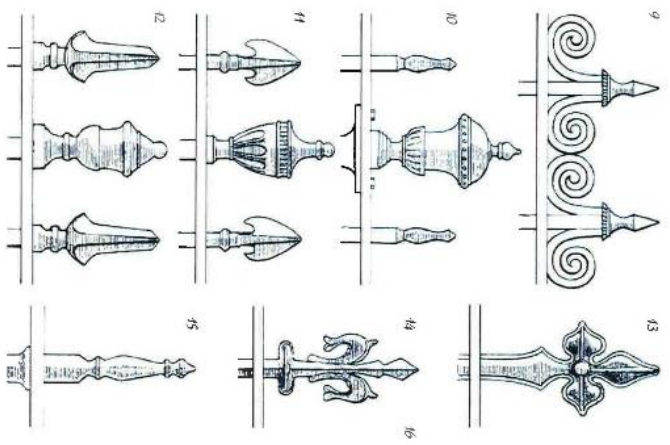


NCL	<div data-bbox="321 365 358 764">Landscape Requirements</div> <div data-bbox="241 1701 264 1938"> <div>■ Submission Document ■</div> <div>30</div> </div>
	<div data-bbox="1305 237 1331 573">Other Landscape requirements</div> <div data-bbox="1240 237 1287 1060"> <p><b>Edging Material:</b> Plant bed edging, mowing strips, or other edging materials are encouraged. Acceptable materials include steel (black), concrete, stone, and brick.</p> </div> <div data-bbox="1131 237 1222 1060"> <p><b>Evergreen Shrubs:</b> Evergreen shrubs shall be selected from varieties of winter-hardy shrubs commonly found in the mid-Atlantic region. They may be used where a low-level screen or hedge is desired, such as parking lots, sidewalks, or as mass planting in the landscape; they may also be used as effective ground covers on slopes. The minimum preferred size is 18" - 24" spread.</p> </div> <div data-bbox="1044 237 1110 1060"> <p><b>Evergreen Trees:</b> Evergreen trees shall be used at strategic locations, and designed into group plantings to enhance "winter" seasonal interest. The screening of objectionable views of service shall be selected from species native to the area or similar in appearance. The minimum preferred size 8' - 10' in height.</p> </div> <div data-bbox="979 237 1024 1060"> <p><b>Indigenous Plant Material:</b> Indigenous plant material shall comprise a significant portion of all new landscape improvements.</p> </div> <div data-bbox="914 237 961 1060"> <p><b>Ornamental Trees:</b> Normally 12' to 25' tall at maturity, ornamental trees should be planted for accents and visual emphasis. The flowering habits of ornamental trees are very effective.</p> </div> <div data-bbox="805 237 896 1060"> <p><b>Streetscape &amp; Canopy Tree:</b> Used between the building zone and the street edges, streetscape and canopy trees shall be major deciduous trees. They may be located either within sidewalk planters or in planting zones between the sidewalk and curb. Canopy trees shall be used in parking islands and lawn areas, where they do not interfere with the design intent of streetscape plantings. The minimum preferred size is 3' - 3 1/2" caliper.</p> </div> <div data-bbox="698 237 787 1060"> <p><b>Turf:</b> Lawns and other turf zones within the street right-of-ways and other development areas may be seeded, or planted with sod as an optional substitute. A standard turf shall be established for the entire project, which may be modified by the Design Review Committee. Where sod is employed, it shall be of a quality meeting the certification requirements of the Virginia Association of Turf Growers.</p> </div> <div data-bbox="414 405 576 709"> <div>APPROVED</div> <div>PROFESSIONAL LANDSCAPE ARCHITECT</div> <div>Francis Bonaguidi</div> <div>10/26/2024</div> <div>OFFICE OF PLANNING</div> </div> <div data-bbox="1305 1085 1331 1203">Screening</div> <div data-bbox="1240 1085 1287 1911"> <p>The goal of screening is to visually integrate and, where necessary, screen those elements that, though essential, can become unsightly.</p> </div> <div data-bbox="1110 1085 1222 1911"> <p>There are components in any development that should be screened from public view. A majority of these elements, such as services and utility functions, can be hidden through a selective location out of easy view by the visitor. The objective is to locate an element where the lowest number of people see it for the least amount of time. Relocation of the object to an area out of the public's view should be the first preference, especially for service and utility elements that are visible from the standard streets. Elements such as dumpsters, service and storage units should not be seen from the standard streets.</p> </div> <div data-bbox="1002 1085 1092 1911"> <p>There are, however, elements and activities, which are necessarily located in the public area. Visually integrating and masking the service or utility component into the public environment is the goal of screening, not hiding or camouflaging the element. For example, the additional attention created by trying to conceal an electrical transformer may be worse than the unscreened appearance. Screening is a last resort, but a functional resolution when appropriate.</p> </div> <div data-bbox="872 1085 984 1911"> <p><b>Full Screening:</b> Areas where, if exposed, would require constant maintenance shall have full screening. Screening design and durability are important. Solutions such as chain link or wooden fencing may be inappropriate if they will fall into disrepair. Dumpsters require full screening when the refuse is unsightly and soils the dumpster itself (i.e. restaurants). Full screening, however, should be designed to require little maintenance, and be compatible with architectural and site development themes.</p> </div> <div data-bbox="784 1085 850 1911"> <p><b>Partial Screening:</b> The introduction of landscape and design elements as partial screening provides a setting and sense of upkeep without the necessity of fully hiding the element or activity. Partial screening serves the same purpose as foundation planting around a building as it provides a setting and visually anchors the building to the ground plane.</p> </div> <div data-bbox="719 1085 766 1911"> <p><b>Low Screens:</b> The most effective treatment of parking lots is with low screens (max 42" height). This is preferred to full screening (72" to 96" height) for both aesthetic and security reasons.</p> </div> <div data-bbox="633 1085 699 1911"> <p><b>No Screening:</b> If service elements are only marginally obtrusive, no screening is required. Some utilities and surface elements may be less of a blight if they are not decorated and thus attention is drawn to them. A meter box, which is not close to a sidewalk, may only require a coat of color to blend with its background.</p> </div> <div data-bbox="482 1085 594 1911"> <p><b>Dumpsters:</b> Screening is required for dumpsters, providing a sense of maintenance to the property. Loading and other service areas should be located where least visible, but not require full screening unless the dock area is excessively soiled, thus requiring constant maintenance. Generally, partial screening providing boundaries between public and service areas should be sufficient. This contributes a sense of maintenance, as well as screening foreground pavings, wheels, and bumpers.</p> </div> <div data-bbox="417 1085 462 1911"> <p><b>Transformers and Utilities:</b> Transformers and utilities, which are not underground, shall be painted a color to blend with the background instead of being accented with a landscape screen.</p> </div>
	<div>Reid's</div> <div>Prospect</div> <div>Virginia</div>

	<p><b>LEGEND</b></p> <p>MS - DECIDUOUS TREE HBB - ORNAMENTAL GRASS OR SHRUB AAR - ORNAMENTAL GRASS OR SHRUB LMB - ORNAMENTAL GRASS OR SHRUB PUF - EVERGREEN SHRUB AZP - EVERGREEN SHRUB TMD - EVERGREEN SHRUB</p>	 <p>Entry Feature Locations</p>
<p>Examples taken from Prince William County Center plans (provided by Lewis, Scully, Gionet).</p> <p>Landscape details to be similar in nature to Prince William County Center</p> <p>Entry features for Reid's Prospect shall be of similar material, form, and design as these examples. There are 4 entrance feature locations proposed, as depicted on the map on this page. Entrance features #1 and #4 will be located at the corners of Laurel Hills Drive and Prince William Parkway, and at the corner of Asdee Lane and Prince William Parkway respectively. Entrance feature #2 will be located on the eastern side of the proposed entrance. Entrance feature #3 will be located on the western side of the proposed entrance.</p>	<p>Entry Feature provided by Lewis, Scully &amp; Gionet</p> 	 <p>Illustrative of entry detail for Reid's Prospect</p>
NCL	Landscape Elements	<p>Reid's Prospect Prince William VA 22130</p>












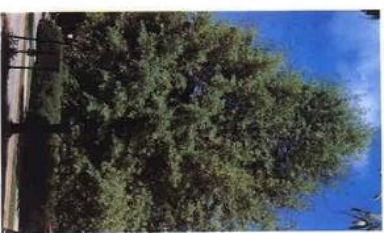
NCL	Landscape Elements
<div><p>PRINCE WILLIAM PARKWAY</p><p>Typical buffer along Prince William Parkway</p></div> <div><p>Example of pier and metal fence detail provided by Lewis, Scully &amp; Gionet</p><p>Possible Entry Signage</p></div> <div><p>APPROVED</p><p>PROFESSIONAL COMMENT PLAN</p><p><i>James Burroughs</i></p><p>10/26/2004</p><p>OFFICE OF PLANNING</p></div>	
Reid's Prospect Prince William Virginia	



NCL	Landscape Elements	Reid's Prospect Prince William Virginia
		
<div data-bbox="673 1354 1339 1795"></div> <div data-bbox="462 1291 625 1858"><p><b>Decks and Fences</b></p><p>Deck, fence, and street furniture designs shown are for illustrative purposes. All decks and fences installed by homeowners are subject to prior approval by the Design Review Committee. Decks, fences, porches, and railing connections specified by the Developer must be complementary to the overall community design and shall be of high quality specified throughout these Design Guidelines.</p></div> <div data-bbox="332 1438 462 1753"><p><b>APPROVED</b></p><p>PROFESSIONAL SEAL <i>James E. Burroughs</i> 10/26/2004 L.A.S. DESIGNER/PLANNER</p></div>		





NCL	Landscape Elements	Reid's Prospect Prince William Virginia
<div data-bbox="506 235 1252 346"></div> <div data-bbox="1073 529 1339 785"></div> <div data-bbox="1133 961 1276 1188"></div> <div data-bbox="1073 1323 1339 1566"></div> <div data-bbox="924 913 990 1226"><p>Reid's Prospect Landscape Elements mirror the landscaping patterns defined in the Prince William County Center.</p></div> <div data-bbox="506 1749 1252 1906"></div> <div data-bbox="418 459 927 848"><p>APPROVED PROFESSIONAL CONSENT PLAN Francis Burroughs 10/26/2021 OFFICE OF PLANNING L.A.C.</p><div data-bbox="467 478 743 835"></div><div data-bbox="418 478 467 835"><p>Mane/I 230-LB Ducatus 450-LB Richmond 380-LB Milford 650-LB</p></div><div data-bbox="418 1010 799 1150"></div><div data-bbox="418 1352 799 1539"></div></div>		

NCL	Street trees	Reid's Prospect Prince William Virginia
	<div data-bbox="982 304 1347 766"><p>Commemoration Sugar Maple</p></div> <div data-bbox="422 304 852 766"><p>Bloodgood London Planetree</p></div> <div data-bbox="836 955 1323 1281"></div> <div data-bbox="414 850 755 1365"></div> <div data-bbox="901 1459 1339 1911"><p>Autumn Flame Red Maple</p></div> <div data-bbox="422 1459 803 1900"><p>Willow Oak</p></div>	APPROVED Francis Burroughs 10/26/2004

OFFICE OF PLANNING

Submission Document ■ 35



NCL		Reid's Prospect 10/26/2004	
Recommended Plant Palette		Reid's Prospect 10/26/2004	
Canopy Trees		Evergreen Trees	
			
<p>Acer rubrum Cedrus atlantica Fagus grandifolia Liquidambar styraciflua Fraxinus americana Fraxinus pennsylvanica Ginkgo biloba Glodisia tricanthus var. incanus Metasequoia glyptostroboides Nyssa sylvatica Plantanus acerifolia Prunus serotina Quercus acutissima Quercus alba Quercus coccinea Quercus falcata Quercus palustris Quercus phellos Quercus rubra</p>		<p>Tilia americana Tilia cordata Ulmus americana 'Valley Forge' Ulmus americana 'New Harmony' Ulmus hollandica Ulmus parviflora Zelkova cultivars Stewartia pseudocamellia American Linden Littleleaf Linden Valley Forge/American Elm New Harmony/American Elm Greenleaf Elm Chinese Elm Japanese Zelkova Japanese Stewartia Atlas Cedar Leyland Cypress English Holly American Holly Varieties Sweetbay Magnolia Austrian Pine White Pine Japanese Black Pine</p>	

Ornamental   Trees		Deciduous Shrubs		Groundcovers	
Acer campestre	Hedge Maple	Amelia arbutifolia	Red Chokeberry	Eucornus fortunei "Coloratus"	Purple Wintercreeper
Acer ginnala	Amur Maple	Berberis spp.	Hawberry	Hedera helix	English Ivy
Acer palmatum	Japanese Maple	Cornusacer spp.	Cornusacer	Hosta spp.	Hosta
Amelanchier arborea	Dowry Serviceberry	Elaeagnus spp.	Elaeagnus	Liriope muscari	Liriope
Amelanchier canadensis	Shadblow Serviceberry	Forsythia x intermedia	Forsythia	Liriope spicata	Spreading Liriope
Amelanchier laevis	Allegheny Serviceberry	Hammamelis virginiana	Witch Hazel	Pachysandra terminalis	Japanese Spurge
Betula nigra	River Birch	Jasminum multiflorum	Winter Jasmine	Vincetoxicum	Pervinckle
Carpinus betulus	European Hornbeam	Potentilla fruticosa	Shrubby Cinquefoil	<b>Herbaceous Vines</b>	
Carpinus caroliniana	Ironwood	Pyracantha coccinea "Lowboy"	Firethorn	Chrysosplenium virginianum	Green-and-Gold
Cercidiphyllum japonicum	Katsura Tree	Rhododendron spp.	Azalea Varieties	Clematis americana	Black Cohosh
Cercis canadensis	Eastern Redbud	Viburnum spp.	Viburnum	Epimedium dubium	Eastern Joe-Pye Weed
Chionanthus virginicus	Fringe-tree	<b>Evergreen Shrubs</b>		Gaura canadensis	White Avenis
Cornus kousa	Kousa Dogwood	Ilex spp.	Holly	Iris versicolor	Blue Flag
Halesia tetrapetala	Silverbell	Mahonia aquifolium	Oregon Grape Holly	Lespedeza hirta	Hairy Bush Clover
Lagerstroemia indica	Crape myrtle	Rhododendron spp.	Azalea Varieties	Sanguinaria canadensis	Bloodroot
Magnolia soulangiana	Saucer Magnolia	Taxus spp.	Japanese Yew	Solidago canadensis	Canada Goldenrod
Magnolia stellata	Star Magnolia	<p>APPROVED PROPOSED ORNAMENTAL PLANT James Bonaguidi 10/26/2004 OFFICE OF PLANNING</p>		Parthenocissus quinquefolia	Virginia Creeper
Malus spp.	Flowering Crabapple			<b>Woody Vines</b>	
Ostrya virginiana	Ironwood			Campsis radicans	Trumpet Creeper
Oxydendron arboreum	Sourwood			Vitis labrusca	Fox Grape
Prunus serrulata	Flowering Cherry	<p>APPROVED PROPOSED ORNAMENTAL PLANT James Bonaguidi 10/26/2004 OFFICE OF PLANNING</p>		<b>Recommended Plant Palette</b>	
Stewartia koreana	Korean Stewartia			<p>APPROVED PROPOSED ORNAMENTAL PLANT James Bonaguidi 10/26/2004 OFFICE OF PLANNING</p>	
Stewartia ovata	Mountain Stewartia				
Stewartia pseudocamellia	Japanese Stewartia				
Styrax japonicum	Japanese Snowbell				



NCL	Review Procedures
<p><b>Purpose Of Regulations</b></p> <p>Approval is required for all construction and improvements. To that end, a Design Review Committee (DRC) shall be formed to carry out this review and approval responsibility. The DRC will establish rules governing the content of submission to builder's plans and the procedures for review of these plans. The DRC membership at the outset shall include, at a minimum, a representative of the development entity, an architect, an engineer and, when available, a residential and a commercial member of the project community.</p> <p>The purpose of these standards is to set forth requirements, procedures, and technical criteria for the comprehensive review of site or development plans and exterior building elements. The DRC will establish criteria and enforcement policies that may go beyond government agency requirements, but will not take precedence over any governmental rules and regulations. Once County minimums are approved, additional criteria may be established by the DRC.</p> <p>The objective of the Reid's Prospect DRC is to achieve equitable and consistent harmony between builders of this community. Plans requiring review will include: Development Plans, Site Plans, Architectural Plans, Materials and Exterior Colors, Landscape Plans, Sales Area and Temporary Structure Plans, Storage Plans.</p> <p>Amendments, revisions, and waivers to the Design Guidelines must be approved by a majority vote of the membership of the DRC, with documentation provided to ensure the design intent of the amendment can be clearly understood and implemented. This includes the preparation of architectural, landscape, and engineering standards and criteria, as appropriate, to be included in the changes sought. No amendment, revision or waiver shall be approved which is not substantially consistent with these Design Guidelines and the zoning.</p> <p>Each amendment, revision or waiver to be considered by the DRC shall be first forwarded to the Prince William County Director of Planning, who shall have ten business days from receipt to notify the DRC in writing that he or she has determined said amendment, revision or waiver to be substantially inconsistent with these Design Guidelines and zoning. The Planning Director's written determination shall include specific references to those portions of the Design Guidelines or conditions on the zoning which are the basis for such determination. The DRC shall not approve any such amendment found substantially inconsistent by the Planning Director. Failure of the Planning Director to provide such written notice shall automatically mean that he or she has determined such amendment, revision or waiver is substantially consistent with these Design Guidelines and the conditions of the zoning and the DRC shall be entitled to either approve or not approve said amendment in its sole discretion.</p>	<p><b>Development Plans and Site Plans</b></p> <p><u>Submission Requirements:</u></p> <p>The DRC reviews each submission presented by a participating builder. The following outline is required for submission to complete the approval process from design sketches to construction start, and the components are defined below in governing rules. (Unless otherwise noted, this section deals only with Development Plans.)</p> <p><u>Information Required:</u></p> <ol style="list-style-type: none"> <li>1. Basic Information</li> <li>2. Title Block Information</li> <li>3. Base Information</li> <li>4. Submissions Required             <ol style="list-style-type: none"> <li>a. Preliminary Submission</li> <li>b. Schematic Stage</li> <li>c. Formal Preliminary Stage</li> <li>d. Final Submission</li> </ol> </li> </ol> <p><u>Governing Rules:</u></p> <p>No development plan shall be submitted to Prince William without the approval signature of the DRC. This approval may be granted after preliminary submission provided for below.</p> <p>Prince William County submissions for development plan approval must not be made until the preliminary site plans have been approved with no changes or comments.</p> <p>Building permits can be applied for and site clearing and grading can begin after preliminary approval and proper County clearances have been granted. However, the actual construction start (excavation and the pouring of footings) will not commence until final plans have been approved without changes or comments.</p> <p><b>Basic Information</b></p> <p>Both submissions, preliminary and final, must contain the same basic information of TITLE BLOCK information and BASE information.</p> <p><u>TITLE BLOCK Information:</u></p> <p>Title block information is to include (but not to be limited to) the name and address of the developer (builder) and the firm preparing the plan, parcel and/or lot designation(s), section, area, scale (minimum 1" = 30' 0"), north arrow, date of preparation and revisions to include an explanation of their nature and stage of submission (i.e. preliminary or final).</p> <p><u>BASE Information:</u></p> <p>Base information is to include (but not to be limited to) all existing conditions such as field-man topography at no more than two-foot intervals, existing trees with diameters (measured at a point twelve inches above the ground line) of four inches or greater (unless other criteria is approved by the DRC), located by elevation at base of tree, size, and common name, rock formations, springs, streams, etc. Also to be included (but not limited to) are existing man-made conditions such as easements and rights-of-way, property labeled, existing and proposed streets with names and elevations, proper labeling of lot or parcel with record plan dimensions, designations of adjacent lots, drainage systems, street trees, curb cuts and street lights.</p> <p><u>Submissions:</u></p> <p>This submission may be done in two stages if the builder so elects, or if the project is of such complexity, to so warrant. These would consist of a schematic stage and a formal preliminary stage. If the two-step procedure is not appropriate, please submit them as the formal preliminary.</p> <p><u>Schematic Stage:</u></p> <p>The development plan should be a rough lay out on the above "base" showing all proposed improvements to include, (but not limited to), building locations, vehicular systems, parking, pedestrian systems, outside storage, trash collection and facilities and lighting plans.</p> <p>If building plans are being developed with the development plan, the architecture at this stage shall be in concept form showing elevations and floor plans with basic dimensions.</p>

APPROVED  
PRINCIPLE OF PLANNING  
Tina Burroughs  
10/26/2007

## Historical Commission Resolution

### HISTORICAL COMMISSION RESOLUTION

**MOTION: BASLER**

**June 11, 2019  
Regular Meeting  
Res. No. 19-033**

**SECOND: DULEY**

**RE: LAND DEVELOPMENT RECOMMENDATIONS**

**ACTION: APPROVED**

**WHEREAS**, the Prince William County Historical Commission seeks to identify, preserve and protect historic sites and structures in Prince William County; and

**WHEREAS**, the Prince William County Historical Commission's review of pending land development applications assists in determining the necessity for cultural resource surveys and other research and evaluations; and

**WHEREAS**, the Prince William County Historical Commission believes that the identification, preservation and protection of historic sites and structures throughout Prince William County is well served by this action;

**NOW, THEREFORE, BE IT RESOLVED**, that the Prince William County Historical Commission does hereby recommend to the Prince William County Planning Commission the action(s) noted for the following properties:

<u>Case Number</u>	<u>Name</u>	<u>Recommendation</u>
SUP2019-00044	Haymarket Motor Vehicle Fuel Station	Fabricate and install up to two interpretive markers, similar to Civil War Trails signs, with content to be determined by the Historical Commission at a later date.
REZ2017-00008	Purcell Road Rezoning - 2 <sup>nd</sup> Submission	Phase II evaluation on archaeology site 44PW2022 and, if warranted, a Phase III study. All artifacts from all archaeology sites to be donated to and curated with the County.
REZ2019-00024	Hawthorn Retirement Residence Proffer Amendment - 2 <sup>nd</sup> Submission	No Further Work
REZ2019-00034	Youth for Tomorrow	Interpretive kiosk containing multiple interpretive signs with content

## Historical Commission Resolution

June 11, 2019  
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Page 2

<u>Case Number</u>	<u>Name</u>	<u>Recommendation</u>
		determined by the Historical Commission detailing Prehistoric, Civil War and Historic aspects of the property.
CPA2017-00006	Parkway Employment Center Small Area Plan	<p>Support and concur with cultural resource recommendations and suggest highlighting historical nature of the area.</p> <ul style="list-style-type: none"><li>• Interpretive kiosks in plaza areas addressing three topics of historical importance:<ol style="list-style-type: none"><li>1. The African American settlement of Agnewville and associated activity;</li><li>2. Early industrial ventures encompassing lumbering and sawmills;</li><li>3. Transportation and communication thrust along the Telegraph Road corridor.</li></ol></li><li>• Name local streets, thruways, walkways, etc. in recognition of the history of the area.</li><li>• As an arts and entertainment zone is being considered, and, as such a zone is inherently cultural in nature, consider this as a location for a future Prince William County History Museum.</li></ul>

**Votes:**

**Ayes:** by acclamation

**Nays:** none

**Absent from Vote:** Vayer

**Absent from Meeting:** Brace, Johns, Moser, Pearsall

**MOTION CARRIED**

ATTEST: \_\_\_\_\_

  
**Secretary to the Commission**

## Applicant Deferral Request Letter

Jessica Pfeiffer  
(703) 680-4664 Ext. 5119  
jpfeiffer@thelandlawyers.com  
Fax: (703) 680-6067



RECEIVED

2019 SEP 20 P 3:46

September 20, 2019



Via Hand Delivery

Scott Meyer  
Planner  
PWC Planning Office  
5 County Complex Court  
Prince William, VA 22192

Re: Proffer Amendment #REZ2019-00024, Hawthorn Retirement Residence at Reid's  
Prospect  
Deferral Request

Dear Scott:

On behalf of the Applicant, we respectfully request that the Planning Commission public hearing for this case be deferred to October 16, 2019 and that this case be removed from the October 2, 2019, agenda.

Thank you for your assistance with this case. If you have any questions, please contact me at (703) 680-4664.

Very truly yours,

WALSH, COLUCCI, LUBELEY & WALSH, P.C.

Jessica L. Pfeiffer

JLP

cc: Mark Lowen  
Kristi Neznanski  
Luke Fetcho

P0934241.DOCX

ATTORNEYS AT LAW

703 680 4664 ■ WWW.THELANDLAWYERS.COM  
4310 PRINCE WILLIAM PARKWAY ■ SUITE 300 ■ WOODBRIDGE, VA 22192-5199  
ARLINGTON 703 528 4700 ■ LOUDOUN 703 737 3633



## Planning Commission Resolution (for deferral)



**PRINCE WILLIAM  
COUNTY**

Planning Commission

### PLANNING COMMISSION RESOLUTION

**MOTION: TAYLOR**

**October 2, 2019**

**SECOND: FRY**

**Regular Agenda**

**RES. No. 19-108**

**RE: PROFFER AMENDMENT #REZ2019-00024,  
HAWTHORN RETIREMENT RESIDENCE AT REID'S PROSPECT**

**ACTION: DEFER TO DATE CERTAIN – OCTOBER 16, 2019**

**WHEREAS**, this is a request to amend the proffers associated with REZ #PLN2000-00041 to change the use designation in a portion of Land Bay I from OC-2 (now O(H), Office High Rise) to O(H), Office High Rise / B-1, General Business, to permit an assisted living facility, along with associated modifications, to include signage, building height, and floor area ratio (FAR) increases; and

**WHEREAS**, the ±5.41-acre site is located north of Prince William Parkway, west of Laurel Hills Drive, and south of the terminus of Effie Rose Place; and

**WHEREAS**, the property is identified on County maps as GPIN 8193-31-4635 (portion) and is addressed as 4460 Prince William Parkway; and

**WHEREAS**, the site is designated CEC, Community Employment Center, in the Comprehensive Plan, and is located within the Government Center Sector Plan special planning area; and

**WHEREAS**, the site is zoned PMD, Planned Mixed Use District, and is located within the Prince William Parkway Highway Corridor Overlay District; and

**WHEREAS**, the Prince William County Planning Commission duly ordered, advertised, and held a public hearing on October 2, 2019; and

**WHEREAS**, the Prince William County Planning Commission believes that public general welfare as well as good planning practices are served by the deferral of this request;

**NOW, THEREFORE, BE IT RESOLVED** that the Prince William County Planning Commission does hereby defer to a date certain – October 16, 2019, as requested by the Applicant.

## Planning Commission Resolution (for deferral)

October 2, 2019  
Regular Meeting  
RES 19-108  
Page 2

**Votes:**

**Ayes:** Berry, Fry, Holley, McKay, Milne, Moses-Nedd, Taylor

**Nays:** None

**Absent from Vote:** None

**Absent from Meeting:** Haynes

**Abstain from Vote:** None

**MOTION CARRIED**

Attest:

  
Jennifer Dorcsis  
Clerk to the Planning Commission