

PLANNING COMMISSION RESOLUTION

MOTION:

SECOND:

June 8, 2022 Regular Meeting RES. No. 22-xxx

RE: REZONING #REZ2021-00014, WELLINGTON GLEN PARCEL K BRENTSVILLE MAGISTERIAL DISTRICT

ACTION: RECOMMEND APPROVAL

WHEREAS, this is a request to rezone ±40.4 acres from PMD, Planned Mixed District, to PBD, Planned Business District, and with associated development waivers and modifications, to include use modifications to allow heavy industrial (M-1) uses; and

WHEREAS, the subject property is located on the west side of Hornbaker Road and south of its intersection with Wellington Road, is identified on County maps as GPIN 7596-61-9286; and is currently addressed as 8870 Hornbaker Road; and

WHEREAS, the site is designated REC, Regional Employment Center, and ER, Environmental Resource, in the Comprehensive Plan; and

WHEREAS, the site is zoned PMD, Planned Mixed District, with proffers, and is located within the Data Center Opportunity Zone Overlay District and Airport Safety Overlay District; and

WHEREAS, the Prince William County Planning Commission duly ordered, advertised, and held a public hearing on June 8, 2022, at which time public testimony was received and the merits of the above-referenced case were considered; and

WHEREAS, the Prince William County Planning Commission finds that public necessity, convenience, general welfare, and good zoning practice are served by recommending approval of this request;

NOW, THEREFORE, BE IT RESOLVED that the Prince William County Planning Commission does hereby close the public hearing and recommend approval of Rezoning #REZ2021-00014, Wellington Glen Parcel K, subject to the proffers dated May 20, 2022.

ATTACHMENT: Proffer Statement, dated May 20, 2022

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<u>Votes</u>: Ayes: Nays: Abstain from Vote: Absent from Vote: Absent from Meeting:

MOTION CARRIED

Attest:

Antoinette Brzyski Clerk to the Planning Commission REZ2021-00014, Wellington Glen Parcel K May 20, 2022 Page 1 of 8

PROFFER STATEMENT

RE:	REZ2021-00014, Wellington Glen Parcel K		
	Applicant/Record Owner:	Hornbaker Business Park LLC	
	Property:	G.P.I.N. 7596-61-9286	
		Brentsville Magisterial District	
		40.3970 Acres	
		PMD, Planned Mixed District, to PBD, Planned Business	
		District	
	Date:	May 20, 2022	

The subject Property (the "Property") of this Rezoning REZ 2021-00014 is identified as GPIN 7596-61-9286 and is described in the Land Records as Parcel B-1-A Wellington Glen. Said description contains a scrivener's error and is properly described as Parcel B-2A Wellington Glen, containing 40.3970 acres and will be corrected in the Land Records of Prince William County, Virginia. The Property hereafter is referred to as Parcel K.

The undersigned hereby proffers that the use and development of the subject Property shall be in strict conformance with the following Proffers and shall supersede all other proffers made prior hereto which shall be null and void, including, but not limited to REZ #PLN2004-00105, as amended by PRA #PLN2010-00138 and PRA #PLN2012-00105. In the event the above referenced rezoning is not granted as applied for by Applicant, these proffers shall be withdrawn and are null and void and all applicable prior Proffers shall remain in full force and effect.

The headings of the proffers set forth below have been prepared for convenience or reference only and shall not control or affect the meaning or be taken as an interpretation of any provision of the proffers. Any improvements proffered herein below shall be provided at the time of development of the portion of the Property served by the improvement, unless otherwise specified. The terms "Applicant" and "Developer" shall include all future owners and successors in interest.

References in this Proffer Statement to plans and exhibits shall include the following:

- 1. Master Zoning Plan and Generalized Development Plan Wellington Glen, prepared by Cowen Design Group
 - a. Master Zoning Plan and Generalized Development Plan (sheet 1 of 7) dated May 11, 2022.
 - b. Transportation and Utility Plan (sheet 2 of 7) dated March 11, 2022.

- c. Open Space and Buffer Plan (sheet 3 of 7) dated May 11, 2022.
- d. Modified ECA Plan (sheet 4 of 7) dated March 11, 2022.

The Property, consisting of approximately 40.3970 acres, shall be developed in substantial conformance with the Master Zoning Plan and Generalized Development Plan.

2. Parcel K Development Design Guidelines, ("Design Guidelines") dated May 10, 2022.

TRANSPORTATION

- 3. The applicant shall provide a traffic signal warrant study at the Hornbaker Road/Street G (Zelkovia Drive) intersection in conjunction with development of Parcel K. If warranted, the applicant shall provide the signal. This will occur at site plan or upon completion of development if requested by Prince William County or VDOT.
- 4. An inverted-U bicycle parking rack will be installed in the approximate location shown on the site plan and constructed to APBP standards.

USES AND SITE DEVELOPMENT

- 5. Uses: The following uses shall be permitted within Parcel K:
 - a. Those uses permitted as by-right uses, secondary uses, accessory uses, and/or with a special use permit in the PBD, Planned Business District and M-1, Heavy Industrial District and uses permitted by modification by the Board of County Supervisors under Zoning Ordinance Section 32-404.05.1 listed in these proffers including:
 - i. Cold Storage
 - ii. Outdoor storage of equipment, materials, and products (as an accessory use)
 - iii. Distribution and Fulfillment Center
 - iv. Data Center

The following uses shall be prohibited in Parcel K:

i. Asphalt/concrete plant

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- ii. Assembly (HAZMAT)
- iii. Boat building and repair yard
- iv. Coal, wood, and lumber yards
- v. Motor vehicle graveyard
- vi. Motor vehicle impoundment yard
- vii. Railroad freight depot
- viii. Railroad passenger station
- ix. Range, shooting, outdoor
- x. Recyclable materials separation facility
- xi. Recycling collection points (as a by-right use)
- xii. Testing/experimental laboratories (HAZMAT)
- xiii. Water transportation facility

The Applicant agrees that in addition to the prohibited uses cited immediately above, for the portions of property North of Zelkovia Drive, the following uses shall be prohibited within 250 feet from the centerline of Hornbaker Road:

- i. Building materials and sales yard
- ii. Gunsmith shop
- iii. Sheet metal fabrication

The Applicant agrees that in addition to the prohibited uses cited above, for the portions of the property South of Zelkovia Drive, the following uses shall be prohibited within 200 feet from the centerline of Hornbaker Road:

- i. Building materials and sales yard
- ii. Gunsmith shop
- iii. Sheet metal fabrication
- 6. The Applicant agrees to provide a seventy-five-foot (75') building setback along the western boundary of the property.
- 7. The Applicant agrees to provide a fifteen-foot (15') buffer along the southern boundary of the property.

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- 8. The fifty-foot (50') buffers on the eastern boundary (fronting Hornbaker Road) and western boundary of the property shall be located outside the existing utility easements as shown on the MZP. When utility crossings are necessary and unavoidable, the crossing shall be aligned perpendicular based on final engineering considerations and subject to County approval during final site plan review.
- 9. All existing vegetation onsite outside of the Limits of Clearing & Grading, as depicted on the MZP, shall be preserved if grade/topography permits. In areas within the fifty-foot (50') buffers along the eastern and western boundaries of the property, where existing vegetation does not meet the minimum landscaping requirement or in areas where existing vegetation cannot be preserved, supplemental planting to meet 320 plant units (pu) / 100 linear feet (lf) shall be provided.
- 10. Handicapped parking spaces shall be provided in connection with development of the Property in accordance with the Prince William County Design and Construction Standards Manual.
- 11. The Applicant agrees to remove any graffiti from the Property. Graffiti shall be deemed any inscription or marking on walls, buildings, or structures not permitted by the sign regulations in Section 32-250.21 et. seq. of the Zoning Ordinance. Any graffiti shall be reported to the Prince William County Police Department before removal.
- 12. The Applicant shall utilize a combination of onsite security practices, such as but not limited to, interior and/or exterior mounted surveillance cameras, alarm system, controlled gate site access, onsite lighting, security fencing, or other methods, as needed.

COMMUNITY DESIGN

- 13. All development on the Property shall be in substantial conformance with the design concepts and details set forth in the Parcel K Design Guidelines dated May 10, 2022 which shall supersede and be independent of those for the balance of Wellington Glen. In the event that data center use is developed, the design will be consistent with the design concepts and details set forth in the Parcel K Design Guidelines dated May 10, 2022.
- 14. Landscaping provided on the Property shall include drought resistant and native species appropriate to the location and climate of the area, compliance with which shall be demonstrated on all final site/subdivision plans.

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- 15. The applicant shall screen all outside storage areas from view on all four sides. Compliance shall be reflected on each final site plan.
- 16. The applicant or the successor owner of Parcel K shall create covenants, conditions and restrictions to coordinate development within Parcel K which include such items as architectural controls, signage, building materials, lighting and landscaping, all in accordance with the Parcel K Design Guidelines which shall supersede and be independent of those for the balance of Wellington Glen. Association(s) or any other identifiable single entity (i.e, owner) independent of those for the balance of Wellington Glen shall be formed to oversee the on-going management and maintenance of property within Parcel K, including landscaping and maintenance of common areas.
- 17. Parcel K Comprehensive Sign Plan. Prior to the approval of the first final site plan for Parcel K. A comprehensive sign plan in accordance with all applicable ordinances shall be submitted to the Planning Director, or his designee, for review and approval, including the approval of sign permits which shall supersede and be independent of those for the balance of Wellington Glen.
- 18. The applicant or the successor Owner of Parcel K shall (a) adopt and record the Parcel K Design Guidelines, and pursuant to said Guidelines, create a separate Parcel K Design Review Committee that shall have exclusive jurisdiction over Parcel K and (b) create policies and procedures for said Committee all of which shall supersede and be independent of those for the balance of Wellington Glen.

ENVIRONMENTAL

19. Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$75.00 per acre for water quality monitoring, stream restoration and/or drainage improvements. Said contribution shall be paid prior to and as a condition of the issuance of the first land development permit for each plan and shall be based on the gross acreage reflected on each such approved plan.

FIRE & RESCUE

20. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$0.61 per square foot of gross floor area of nonresidential

space constructed on the Property to be used for fire and rescue purposes in the area. Said contribution shall be paid prior to and as a condition of the issuance of a building permit release letter for each building constructed on the Property and the amount paid shall be based on the gross floor area in each said building.

21. A spill contingency plan shall be prepared in coordination with the Fire Marshal's Office prior to final site plan approval and approved prior to issuance of an occupancy permit for any proposed use that incorporates fuels, solvents, or other hazardous materials.

WATER AND SEWER

22. The Property shall be served by public sanitary sewer and water and the Applicant shall be responsible for the costs and construction of those additional on and off-site improvements required in order to provide such service for the demand generated by the development on the Property that is not required to be provided by others.

MISCELLANEOUS

23. In the event the monetary contributions set forth in the Proffer Statement are paid to the Prince William County Board of County Supervisors within 18 months of the approval of this rezoning, as applied for by the Applicant, said contributions shall be in the amounts as stated herein. Any monetary contributions set forth in the Proffer Statement which are paid to the Board after 18 months following the approval of this rezoning shall be adjusted in accordance with the Urban Consumer Price Index ("CPI-U") published by the United States Department of Labor, such that at the time contributions are paid, they shall be adjusted by the percentage change in the CPI-U from that date 18 months after the approval of this rezoning to the most recently available CPI-U to the date the contributions are paid, subject to a cap of six percent (6%) per year, non-compoundable.

WAIVERS/MODIFICATIONS

- a. Modification of Section 32-280.11(b) to allow for M-1, Heavy Industrial zoning as an allowable designation in the Planned Business District for Parcel K.
- b. Modification of Section 32-403.11 to permit distribution and fulfillment center and data center as part of Parcel K's M-1, Heavy Industrial zoning designation.

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- c. Modification of Section 32-404.04.7 to reduce the fifty-foot (50') buffer to 15-foot (15') along the southern boundary of Parcel K.
- d. Modification of Section 32-404.04.4 to permit maximum lot coverage to be 85 percent, with a required open space area of 15 percent.
- e. Waiver of Section 32-280.12 (2) to permit outdoor storage.
- f. Waiver of Section 32-404.03.2 (c) to permit cold storage.

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REZ2021-00014, WELLINGTON GLEN Parcel K SIGNATURE PAGE

ARCADIA DEVELOPMENT CO.

By: _____

Name:	

Title: _____



STAFF REPORT

PC Meeting Date:	June 8, 2022
Agenda Title:	Rezoning #REZ2021-00014, Wellington Glen Parcel K
District Impact:	Brentsville Magisterial District
Requested Action:	Recommend Approval of Rezoning #REZ2021-00014, Wellington Glen Parcel K, subject to proffers dated May 20, 2022
Department:	Planning Office
Case Planner:	Scott F. Meyer

EXECUTIVE SUMMARY

This is a request to rezone ±40.4 acres from PMD, Planned Mixed District, to PBD, Planned Business District, and with associated development waivers and modifications, to include use modifications to allow heavy industrial (M-1 zoning) uses. The scope of the proposal is limited to Land Bay/Parcel K, which is located at the southwest quadrant of Hornbaker Road and Wellington Road.

It is the recommendation of staff that the Planning Commission recommend approval of Rezoning #REZ2021-00014, Wellington Glen Parcel K, subject to the proffers dated May 20, 2022.

BACKGROUND

A. <u>Request</u>: To rezone ±40.4 acres from PMD, Planned Mixed District, to PBD, Planned Business District, and with associated development waivers and modifications, to include use modifications to allow heavy industrial (M-1 zoning) uses.

REZ Proposal: PMD to PBD zoning (M-1 uses)	Allowed in PMD Zoning District; #PLN2012-00105	Proposed with PBD Zoning District; M-1 implementing designation (as proffered)
REZ area	±43.4 acres (including right-of-way)	±40.4 acres (excluding right-of-way, conveyed)
Land Bay / Parcel K (Implementing Zoning)	Office Mid-Rise, O(M) / Office (Flex), O(F)	Heavy Industrial, M-1 (and with prohibited uses)
Floor Area Ratio (FAR)	Up to 0.65	Up to 0.50; 1.0 if data center uses
Gross Building Area	1,228,827 SF (0.65 FAR for O(M)/O(F) uses)	879,847 SF (0.50 FAR for M-1 uses); 1,759,694 SF (1.0 FAR for data center uses)
Open Space	Up to 20%	Up to 15%
Maximum Height	Up to 70 feet	Up to 75 feet

- B. <u>Site Location</u>: The subject ±40.4-acre property (excluding right-of-way) is located on the west side of Hornbaker Road and south of its intersection with Wellington Road, is identified on County maps as GPIN 7596-61-9286, and is currently addressed as 8870 Hornbaker Road.
- C. <u>Comprehensive Plan</u>: The site is designated REC, Regional Employment Center, and ER, Environmental Resource, in the Comprehensive Plan.
- D. <u>Zoning</u>: The site is currently zoned PMD, Planned Mixed District, with proffers, and is located within the Data Center Opportunity Zone Overlay District and the Airport Safety Overlay District.
- E. <u>Surrounding Land Uses</u>: The subject site is located at the southeastern corner of the Wellington Glen planned mixed use development in Land Bay K. Land Bay I is located to the north and is designated O(M)/O(F), but currently undeveloped. To the south is an industrial park with M-1 zoning along Robertson Drive. To the east and across Hornbaker Road is undeveloped land that is planned as Tech/Flex in

association with Innovation Park Small Area Plan Town Center. An existing apartment complex (multi-family, garden-style) is located to the west.

F. <u>Background & Context</u>: The Applicant (Hornbaker Business Park LLC) is requesting to rezone ±40.4 acres from PMD, Planned Mixed District, to PBD, Planned Business District, with associated development waivers and modifications, to include use modifications to allow heavy industrial uses, among other changes. As per Section 32-404.05. of the Zoning Ordinance, (Waivers and modifications within PBD), the Board of County Supervisors may waive or modify any provision, including use restrictions, pursuant to an approved rezoning.)

Land Bay/Parcel K is comprised of approximately 43.4 acres of PMD zoned land, including right-of-way. The original rezoning was approved in 2006 pursuant to #PLN2004-00105 on the entire 182-acre property. Land Bay K is currently zoned PMD, with proffers, and is designated for Office Mid-Rise O(M)/Office (Flex) (O(F)) uses. The purpose of this application is to rezone Land Bay K from PMD to PBD with a M-1 (Heavy Industrial) use designation. The extension of Mike Garcia Drive and Zelkovia Drive with pedestrian sidewalks have been built along with the SWM pond and will remain unchanged through this proposal.

This subject proposal was originally reviewed as "Wellington Glen Parcel J/K, Proffer Amendment #REZ2021-00014" to include ±46.8 acres. After the initial postsubmission meeting that was held back on June 4, 2021, the Applicant further coordinated with staff and reassessed the scope of the proposal, and ultimately changed the project area and type of land use application. Rather than a Proffer Amendment for Parcels J and K, the latest/amended proposal is a Rezoning for Parcel K only. As such, the Applicant withdrew the Proffer Amendment request and is now proposing a Rezoning to PBD, Planned Business District, for Parcel "K" only, which encompasses 40.4 acres. The original case number is still being utilized.

STAFF RECOMMENDATION

Staff recommends approval of Rezoning #REZ2021-00014, Wellington Glen Parcel K, subject to the proffers dated May 20, 2022, for the following reasons:

- The proposed zoning district of PBD, Planned Business District, as proffered and with options for heavy industrial uses, is consistent with the intent of the REC, Regional Employment Center, land use designation, and is compatible with the area context.
- As proposed, the rezoning application allows for delivery of enhanced use options and key elements of the Strategic Plan, while increasing the industrial and commercial tax base, at-place employment, and delivering potential targeted industry uses.
- As proposed, the proffers sufficiently mitigate the anticipated impacts.

Comprehensive Plan Consistency Analysis

Long-Range Land Use: The proposed zoning district of PBD, Planned Business District, as proffered and with options for heavy industrial uses, is consistent with the intent of the REC, Regional Employment Center, land use designation, and is compatible with the area context. The small northwestern portion of the site that is designated ER, Environmental Resource, is in the vicinity of an existing stormwater management and Resource Protection Area (RPA) that is not proposed for new development.

<u>Level of Service (LOS)</u>: The LOS impacts for this proposed rezoning are being mitigated by the proffered monetary contributions, as follows:

Water Quality	\$75 per acre	±40.4 acres	\$3,030.00
Fire & Rescue	\$0.61 per square foot (SF) for any gross floor area of nonresidential space constructed	879,847 SF (based 0.50 FAR for M-1 uses); 1,759,694 SF (based on 1.0 FAR for data center uses)	\$536,706.67 \$1,073,413.34 (if data center uses)
TOTAL			\$539,736.67 (at least, when built-out)

<u>Strategic Plan</u>

<u>Resilient Economy</u>: The proposed rezoning is favorably aligned with the County's Resilient Economy objective to continue efforts to preserve and expand the commercial tax revenue base. The rezoning will result in an increased assessed tax value and commercial tax base, and more direct implementation of the REC, Regional Employment Center, use designation.

<u>Transportation & Mobility</u>: The proposed rezoning is favorably aligned with the County's Transportation & Mobility objective to improve multi-modal options by proffering bicycle racks.

<u>Community Input</u>

Notice of the rezoning application has been transmitted to property owners within 500 feet of the subject property. As of the date of this staff report, the Planning Office has not received any feedback from the community, and staff is not aware of any opposition.

Other Jurisdiction Comments

The subject site is located outside of the required notification area for adjacent jurisdictions.

Legal Issues

If the rezoning is approved, the site could be developed with industrial uses, as proffered, through the PBD, Planned Business District, with associated development waivers and modifications, to include use modifications to allow heavy industrial uses. The site (Land Bay K) is currently zoned PMD, Planned Mixed District, and could continue to be utilized for Office Mid-Rise O(M)/Office (Flex) (O(F)) uses, as proffered with #PLN2012-00105. Legal issues resulting from the Planning Commission's action are appropriately addressed by the County Attorney's Office.

Timing

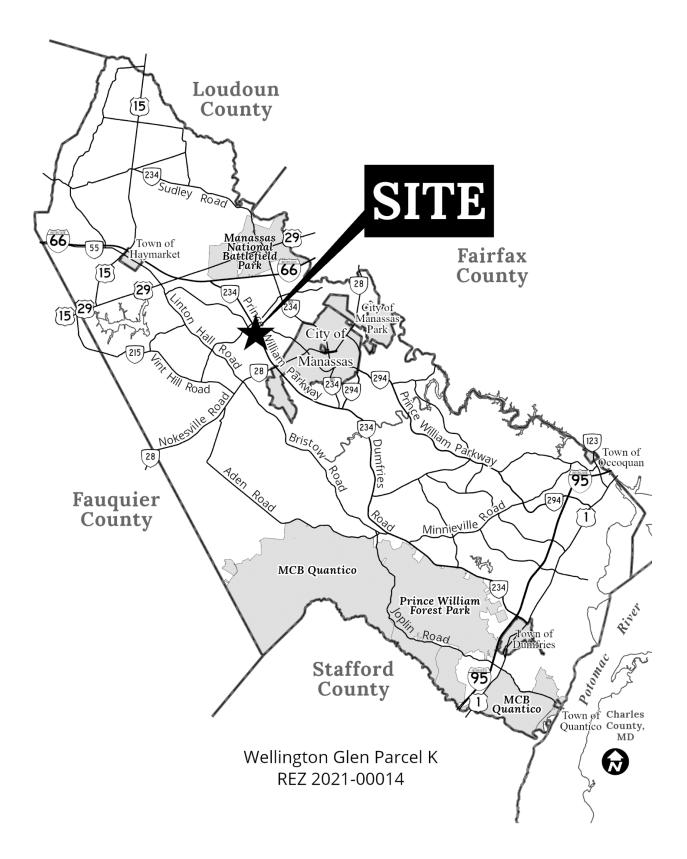
The Planning Commission has until September 6, 2022, which is 90 days from the first public hearing date, to take action on the rezoning proposal. A recommendation to approve the rezoning request would meet the 90-day requirement.

STAFF CONTACT INFORMATION

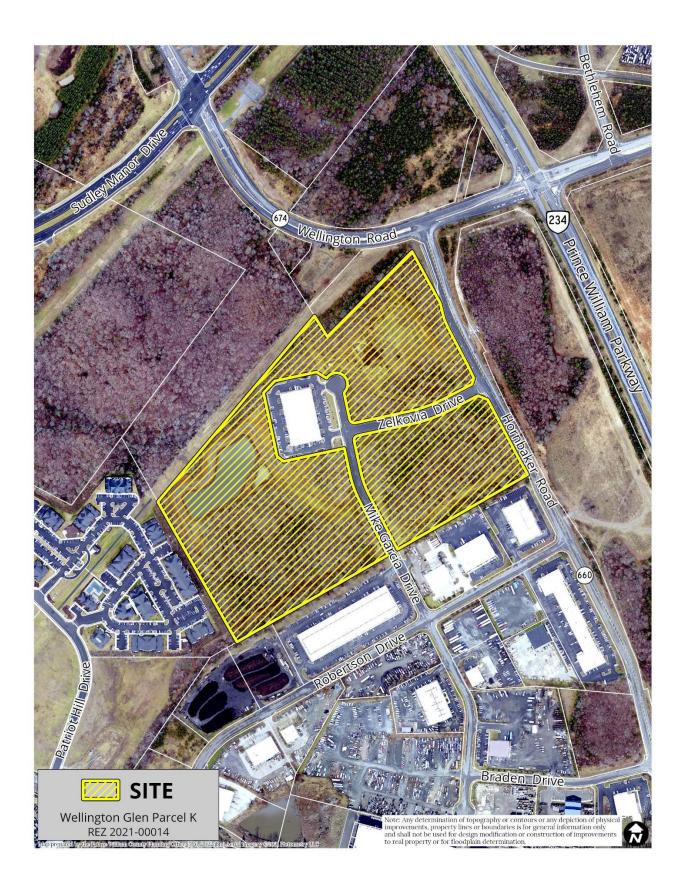
Scott F. Meyer | (703) 792-6876 smeyer@pwcgov.org

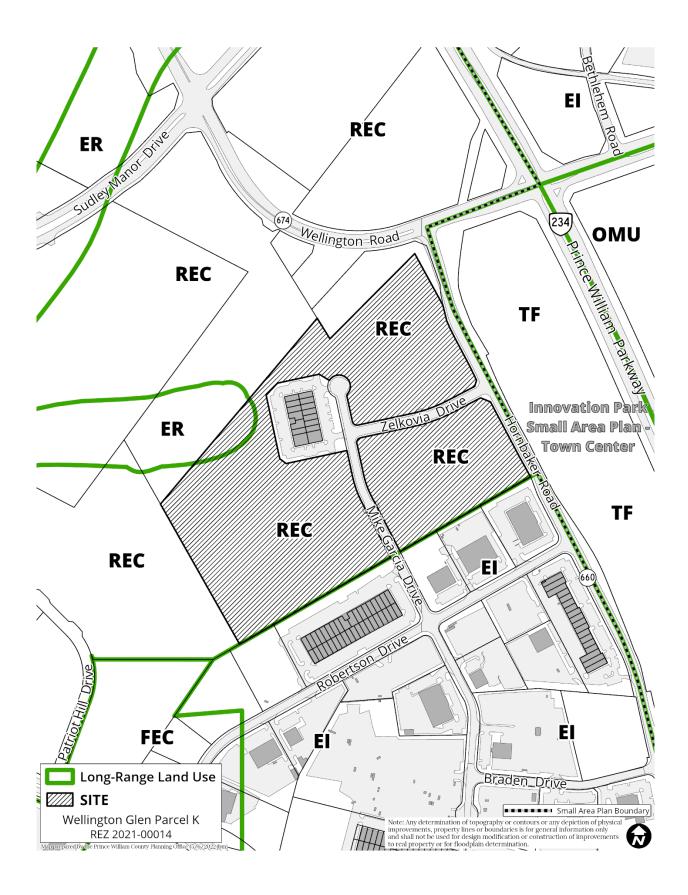
ATTACHMENTS

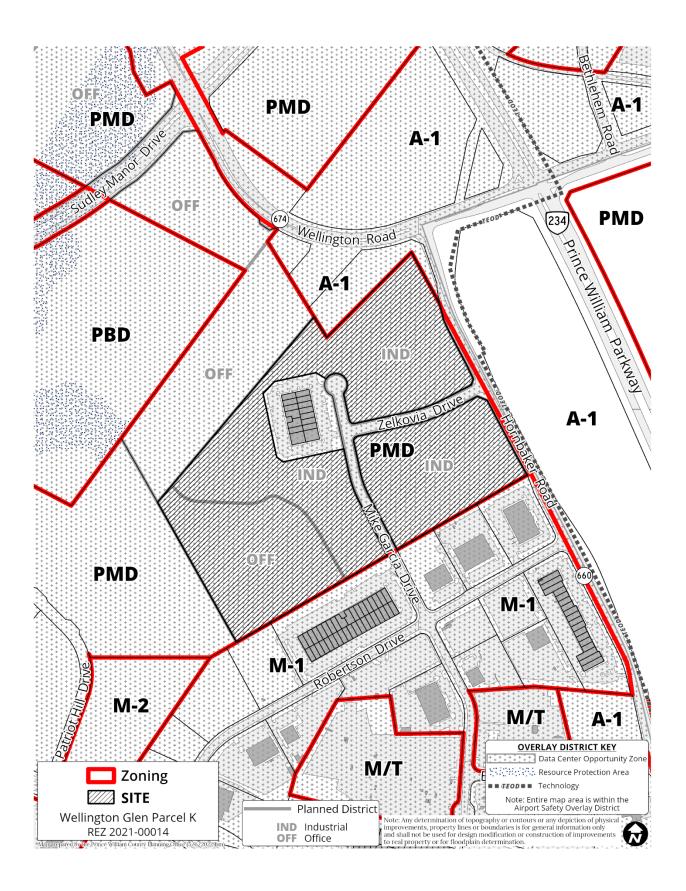
Attachment A – Area Maps Attachment B – Staff Analysis Attachment C – Historical Commission Resolution Attachment D – Master Zoning Plan (MZP) & Generalized Development Plan (GDP) Attachment E – Design Guidelines – Wellington Glen Parcel K



Aerial Map







Part I. Summary of Comprehensive Plan Consistency

Staff Recommendation: APPROVAL

This summary analysis is based on the relevant Comprehensive Plan action strategies, goals, and policies. A complete analysis is provided in Part II of this report.

Comprehensive Plan Sections	Plan Consistency
Long-Range Land Use	Yes
Community Design	Yes
Cultural Resources	Yes
Economic Development	Yes
Environment	Yes
Fire and Rescue	Yes
Police	Yes
Potable Water	Yes
Sanitary Sewer	Yes
Transportation	Yes

Part II. Comprehensive Plan Consistency Analysis

The following table summarizes the area characteristics (see attached maps):

Direction	Land Use	Long-Range Land Use Designation	Zoning
North	Land Bay I; designated O(M)/O(F), currently undeveloped	REC; ER	PMD; A-1
South	Industrial park with M-1 zoning along Robertson Drive	EI	M-1
East	Across Hornbaker Road; Undeveloped land planned as Tech/Flex in association with Innovation Park Small Area Plan Town Center	TF	A-1
West	Apartment complex (multi- family, garden-style)	REC	PMD

Long-Range Land Use Plan Analysis

Through wise land use planning, the County ensures that landowners are provided a reasonable use of their land while the County is able to judiciously use its resources to provide the services for residents and employers' needs. The Long-Range Land Use Plan sets out policies and action strategies that further the County's goal of concentrating on population, jobs, and infrastructure within vibrant, walkable, mixed-use centers serviced by transit. In addition to delineating land uses on the Long Range Land Use Map, the Plan includes smart growth principles that promote a countywide pattern of land use that encourages fiscally sound development and achieves a high-quality living environment; promotes distinct centers of commerce and centers of community; complements and respects our cultural and natural resources, and preserves historic landscapes and site-specific cultural resources; provides adequate recreational, park, open space and trail amenities that contribute to a high quality of life for county residents; and revitalizes, protects, and preserves existing neighborhoods.

The intent of this request is to promote development of the property with specific industrial end users by rezoning ±40.4 acres (Land Bay K) from PMD, Planned Mixed District, to PBD, Planned Business District, with associated development waivers and modifications, to include use modifications to allow heavy industrial (M-1 zoning) uses. The Applicant requests to modify use limitations in the PBD zoning district, as with the proposed proffers. The small northwestern portion of the site that is designated ER, Environmental Resource, is in the vicinity of an existing stormwater management and Resource Protection Area (RPA) feature and is not proposed for new development.

Long-Range Land Use Map Designation	Intended Uses and Densities
Regional Employment Center (REC)	The purpose of the Regional Employment Center classification is to provide for areas located close to and/or with good access from an interstate highway where intensive regional employment uses are to
(majority of site)	be located. REC projects should be planned and developed in a comprehensive, coordinated manner. Primary uses in the REC are mid-rise and/or high-rise office (including government offices particularly those for Prince William County agencies), research and development facilities, lodging, and mixed-use projects. Residential uses shall represent no greater than 25 percent of the total REC gross floor area of the project. Drive-in/drive-through uses are discouraged. Shared/structured parking is encouraged. The acceptable housing type within any mixed-use REC project is multifamily, at a density of 16-30 dwelling units per gross acre, less the ER designated portion of a property. Development in REC projects shall occur according to an infrastructure implementation plan submitted at the time of rezoning. The intent of this plan is to ensure that critical infrastructure for office, employment and lodging uses is developed adequately for each phase

The following table summarizes the uses and densities intended within the REC and ER land use designations:

	of the project. Development shall also occur according to a phasing plan that must ensure that office, employment, and lodging uses are always the primary uses within the area rezoned. Office development in REC areas is encouraged to be in accordance with the Illustrative Guidelines for Office Development, provided as a supplement to the Community Design Plan chapter of the Comprehensive Plan and available from the Planning Office. A minimum office building height of 4-6 stories is preferred.
Environmental Resource (ER) (small, northwestern portion of site)	This classification is explained in detail within the Environment Plan. Therein are located goals, policies, action strategies, and other Plan components designed to protect the sensitive nature of the identified resources. Environmental Resources include all 100-year floodplains as determined by the Federal Emergency Management Agency (FEMA), Flood Hazard Use Maps or natural 100-year floodplains as defined in the DCSM, and Resource Protection Areas (RPAs) as defined by the Chesapeake Bay Preservation Act. In addition, areas shown in an environmental constraints analysis submitted with a rezoning or special use permit application with wetlands; 25 percent or greater slopes; areas with 15 percent or greater slopes in conjunction with soils that have severe limitations; soils with a predominance of marine clays; public water supply sources; and critically erodible shorelines and stream banks are considered part of the Environmental Resource Designation.

Proposal's Strengths

- <u>Land Use & Zoning Compatibility</u>: The proposed rezoning of the subject property from PMD, Planned Mixed District, to PBD, Planned Business District, directly implements the current REC, Regional Employment Center, land use designation within the Comprehensive Plan. As proffered, the proposed PBD zoning district is consistent with and compatible to the existing uses/zoning of adjacent properties.
- <u>Use Consistency with Surrounding Area</u>: Since the site (Land Bay/Parcel K) is within the Wellington Glen planned, mixed industrial/office/office flex park, it is already among existing industrial uses and in an area where these types of uses are preferred. Land planned and zoned for heavy industrial uses is located to the south. In addition, the area to the east across Hornbaker Road is currently undeveloped, but is planned as Tech/Flex in association with Innovation Park Small Area Plan Town Center. With the proffered use limitations and setback parameters with this subject application, an appropriate transition will be created. As proffered, the subject request to rezone the site to PBD, and to allow heavy industrial uses, is consistent with the surrounding character of the area.

- <u>Prohibited Uses by Proffer</u>: As proffered, the Applicant has prohibited the below specific uses in Parcel K. This eliminates the array of options for more intense or impactful uses, and by proffering such uses out, enables potential end uses to be more compatible with the surrounding area. Staff concurs with what has been provided as prohibited uses.
 - i. Asphalt/concrete plant
 - ii. Assembly (HAZMAT)
 - iii. Boat building and repair yard
 - iv. Coal, wood, and lumber yards
 - v. Motor vehicle graveyard
 - vi. Motor vehicle impoundment yard
 - vii. Railroad freight depot
 - viii. Railroad passenger station
 - ix. Range, shooting, outdoor
 - x. Recyclable materials separation facility
 - xi. Recycling collection points (as a by-right use)
 - xii. Testing/experimental laboratories (HAZMAT)
 - xiii. Water transportation facility
- <u>Setback & Location Provisions for Uses</u>: As proffered by the Applicant, specific uses are being prohibited within certain distances from Zelkovia Drive and Hornbaker Road. These parameters ensure that certain uses are located further to the interior of the site and at the project core with increased buffering/screening.
 - In addition to the prohibited uses cited above, for the portions of the property north of Zelkovia Drive, the following uses shall be prohibited within 250 feet from the centerline of Hornbaker Road:
 - i. Building materials and sales yard
 - ii. Gunsmith shop
 - iii. Sheet metal fabrication
 - In addition to the prohibited uses cited above, for the portions of the property south of Zelkovia Drive, the following uses shall be prohibited within 200 feet from the centerline of Hornbaker Road:
 - i. Building materials and sales yard
 - ii. Gunsmith shop
 - iii. Sheet metal fabrication

Proposal's Weaknesses

• None identified.

On balance, this application is found to be consistent with the relevant components of the Long-Range Land Use Plan.

Community Design Plan Analysis

An attractive, well-designed County will attract quality development, instill civic pride, improve the visual character of the community, and create a strong, positive image of Prince William County. The Community Design Plan sets out policies and action strategies that further the County's goals of providing quality development and a quality living environment for residents, businesses, and visitors, and creating livable and attractive communities. The Plan includes recommendations relating to building design, site layout, circulation, signage, access to transit, landscaping and streetscaping, community open spaces, natural and cultural amenities, stormwater management, and the preservation of environmental features.

As a separate attachment, and to be incorporated in this rezoning request, the Applicant is proposing to amend the non-residential sections of the Wellington Glen Development Design Guidelines to incorporate the Design Guidelines for the adjacent Hornbaker Industrial Park, which were also adopted from Prince William County's Design Guidelines for Innovation Park located across Hornbaker Road.

Proposal's Strengths

- <u>Enhanced Setback Along Western Perimeter</u>: As proffered, the Applicant agrees to provide a seventy-five-foot (75') wide building setback along the western boundary of the property. This, along with the existing stormwater management pond at the northwestern corner that will remain, will provide additional screening and a transition from the industrial uses and the adjacent multi-family/apartment development to the west.
- <u>Buffering Along Eastern & Western Perimeter</u>: As proffered, the fifty-foot (50') wide landscape buffers on the eastern boundary (fronting Hornbaker Road) and western boundary of the property (fronting the apartment complex) shall be located outside the existing utility easements as shown on the MZP. When utility crossings are necessary and unavoidable, the crossing shall be aligned perpendicular based on final engineering considerations and subject to County approval. These two perimeter buffers were crucial to provide appropriate transitional screening. All landscaping provided on the Property shall include drought resistant and native species appropriate to the location and area climate.
- <u>Buffering Along Southern Perimeter</u>: The Applicant agrees to provide a fifteen-foot (15') wide buffer along the southern boundary of the property. Although this is a reduction from what was previously proposed, this still provides an appropriate buffer transition from the M-1 uses in the PBD zoning district and the adjacent M-1 zoning to the south. All landscaping provided on the Property shall include drought resistant and native species appropriate to the location and climate of the area.
- <u>Commitment to Substantial Conformance with Design Guidelines</u>: As proffered, all development on the Property shall be in substantial conformance with the design concepts and details set forth in the Parcel K Design Guidelines, dated May 10, 2022. In the event that data center uses are developed, the design will be consistent with the applicable design concepts and details set forth in the Parcel K Design Guidelines.

- <u>Creation of Design Review Committee</u>: As proffered, the Applicant or the successor Owner of Parcel K shall (a) adopt and record the Parcel K Design Guidelines, and create a separate Parcel K Design Review Committee that shall have exclusive jurisdiction over Parcel K and (b) create policies and procedures for said Committee all of which shall supersede and be independent of those for the balance of Wellington Glen.
- <u>Design Covenants & Restrictions</u>: As proffered, the Applicant or the successor owner of Parcel K shall create covenants, conditions, and restrictions to coordinate development within Parcel K, which include such items as architectural controls, signage, building materials, lighting and landscaping, all in accordance with the Parcel K Design Guidelines. An association(s) or any other identifiable single entity (i.e, owner) independent of those for the balance of Wellington Glen shall be formed to oversee the ongoing management and maintenance of property, including landscaping and maintenance of common areas.
- <u>Screening of Outdoor Storage</u>: As proffered, the Applicant shall screen all outside storage areas from view on all four sides. Compliance shall be reflected on each final site plan.
- <u>Comprehensive Sign Plan</u>: Prior to the approval of the first final site plan for Parcel K, a comprehensive sign plan shall be submitted to the Planning Director, or designee, for review and approval, including the approval of sign permits which shall supersede and be independent of those for the balance of Wellington Glen.

Proposal's Weaknesses

• <u>Lack of Plan Details</u>: As currently proposed, the Master Zoning Plan (MZP) / Generalized Development Plans (GDP) does not contain details pertaining to the site layout, access configuration, onsite circulation, parking, internal site layout details, building orientation, and landscape concept. Although the key baseline plan features are generally depicted, the lack of specific site details limits staff's ability to fully analyze the development options and allows variability with what exactly could be developed onsite.

<u>**On balance**</u>, this application is found to be consistent with the relevant components of the Long-Range Land Use Plan.

Cultural Resources Plan Analysis

Prince William County promotes the identification, evaluation, and protection of cultural resource sites throughout the County, as well as the tourism opportunities these sites present. The Cultural Resources Plan recommends identifying, preserving, and protecting Prince William County's significant historical, archaeological, architectural, and other cultural resources – including those significant to the County's minority communities – for the benefit of all of the County's citizens and visitors. To facilitate the identification and protection of known significant properties that have cultural resource values worthy of preservation, the land use classification County Registered Historic Site (CRHS) is used in the Comprehensive Plan. The Plan includes areas of potentially significant known but ill-defined or suspected pre-historic sites, Civil War sites, historic viewsheds, landscapes or areas of potential impact to important historic sites, and encourages the

identification, preservation, protection, and maintenance of all cemeteries and/or gravesites located within the County.

The subject property is surrounded by industrial uses, and portions of the site have been previously disturbed due to road construction and other activities. There are no archaeological and architectural sites or graves recorded in the project area. The Historical Commission reviewed this proposal at its December 14, 2021 and recommended no further work. The County Archaeologist concurs. The resolution is attached at the end of this report.

Proposal's Strengths

• <u>No Further Work</u>: The Historical Commission reviewed this proposal at its December 14, 2021 meeting and determined that no further work was needed. The County Archaeologist concurs.

Proposal's Weaknesses

• None identified.

<u>**On balance**</u>, this application is found to be consistent with the relevant components of the Cultural Resources Plan.

Economic Development

An enhanced, diverse nonresidential tax base creates quality jobs, allowing people to live, work and recreate in Prince William County. The Economic Development Plan sets out policies and action strategies that further the County's goal of attracting and fostering the growth of environmentally sound industries to create quality jobs and diversify the nonresidential tax base, creating a climate where citizens can live and work in Prince William County. The Plan includes recommendations relating to business attraction, retention and expansion, the provision of adequate infrastructure, redevelopment of less competitive areas, telecommuting and other information-age opportunities, and recognition of tourism as an industry.

Proposal's Strengths

- <u>Nonresidential Development</u>: The application proposes nonresidential development that will increase the County's nonresidential tax base and help to enhance industrial uses.
- <u>Increase At-Place Employment</u>: As proffered, the proposal will enhance industrial use options and will help contribute to the overall goal to increase growth in at-place employment. The additional industrial use options will help to attract/retain such industrial end users, while allowing greater utilization of the existing industrial/office park.

Proposal's Weaknesses

• None identified.

On balance, this application is found to be consistent with the relevant components of the Economic Development Plan.

Environment Plan Analysis

Prince William County has a diverse natural environment, extending from sea level to mountain crest. Sound environmental protection strategies will allow the natural environment to co-exist with a vibrant, growing economy. The Environment Plan sets out policies and action strategies that further the County's goal of preserving, protecting, and enhancing significant environmental resources and features. The Plan includes recommendations relating to the incorporation of environmentally sensitive development techniques, improvement of air quality, identification of problematic soil issues, preservation of native vegetation, enhancement of surface and groundwater quality, limitations on impervious surfaces, and the protection of significant viewsheds.

The subject 40.4-acre parcel (Land Bay K) is largely undeveloped. One building, two infrastructure/public roads, and a stormwater management (SWM) pond have been constructed. The majority of the site remains in mature hardwood forest. At least seven (7) specimen trees are known onsite.

Conflicts with Minimum Development Standards

Zoning Ordinance Section 32-404.01.5 requires a 50-foot-wide perimeter landscaped buffer in the PBD zoning district. This buffer is to retain mature trees where they exist. Where the buffer abuts a street, the preservation of the existing vegetation is to adequately screen the development from the street. Additionally, the approved Wellington Glen Development Design Guidelines state in the section "E. Open Spaces" that, "Existing vegetation areas shall be preserved, particularly along environmentally sensitive areas and if grades permit, along the perimeter of the development." The perimeter of the site includes Hornbaker Road and the southerly boundary abutting Hornbaker Industrial Park. Both of these perimeter areas contain mature hardwood forest that would meet this Zoning Ordinance requirement, if preserved as the Ordinance requires. The Applicant's proposal to waive the southeastern buffer would not preserve this vegetation.

Water Quality

The Applicant has proffered through this rezoning to make a monetary contribution to the Board of County Supervisors in the amount of \$75.00 per acre for water quality monitoring, drainage improvements, and/or stream restoration projects. Said contribution shall be made prior to and as a condition of site plan approval with the amount to be based on the site area acreage.

Proposal's Strengths

• Landscaping Enhancement Beyond Limits of Clearing & Grading: As proffered by the Applicant, all existing vegetation onsite outside of the Limits of Clearing & Grading, as depicted on the MZP, shall be preserved if grade/topography permits. In areas within the 50-foot buffers along the eastern and western boundaries of the property, where existing vegetation does not meet the minimum landscaping requirement or in areas where existing vegetation cannot be preserved, supplemental planting to meet 320 plant units / 100 linear feet shall be provided.

Proposal's Weaknesses

• <u>Resulting Impacts to Vegetation Areas</u>: As proposed, several onsite areas of intact, existing vegetation are not being actively preserved, which is inconsistent with existing policy. This includes areas along the perimeter of the site, such as Hornbaker Road and the southerly boundary abutting Hornbaker Industrial Park. Both of these perimeter areas contain mature hardwood forest. The Applicant's proposal to modify the southeastern buffer would not preserve this vegetation. Although it is preferred that such areas be more proactively preserved, staff recognizes the competing interests regarding environmental feature preservation over development.

<u>**On balance**</u>, this application is found to be consistent with the relevant components of the Environment Plan.

Fire and Rescue Plan Analysis

Quality fire and rescue services provide a measure of security and safety that both residents and businesses have come to expect from the County. The Fire and Rescue Plan sets out policies and action strategies that further the County's goal of protecting lives, property, and the environment through timely, professional, humanitarian services essential to the health, safety, and well-being of the community. The Plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility for fire and rescue facilities. The Plan also includes recommendations to supplement response time and reduce risk of injury or death to County residents, establishment of educational programs, such as cardio-pulmonary resuscitation (CPR) training, automatic external defibrillators (AED), and encourage installation of additional fire protection systems – such as sprinklers, smoke detectors, and other architectural modifications.

Fire/Rescue Station #25 (Linton Hall) is the first due fire/rescue resource for the project site and is located approximately 1.9 miles to the west/southwest of the project area. The site is outside the required 4.0-minute travel time for Basic Life Support and Fire Suppression but within the required 8.0-minute travel time for Advanced Life Support. In FY 2021, Station #25 responded to 2,810 incidents with a workload station capacity of 4,000 incidents per year.

Proposal's Strengths

- <u>Monetary Contribution</u>: As proffered, the Applicant shall contribute to the Board of County Supervisors \$0.61 per square foot of any new gross building floor area for fire and rescue purposes. Said contributions shall be paid prior to and as a condition of issuance of each building permit release letter for each building to be constructed on the Property.
- <u>Inside of 8.0-Minute Travel Time</u>: The site is located within the required 8.0-minute travel time for advanced life support services.
- <u>Spill Contingency</u>: As proffered, a spill contingency plan shall be prepared in coordination with the Fire Marshal's Office prior to final site plan approval and approved prior to issuance of an occupancy permit for any proposed use that incorporates fuels, solvents, or other hazardous materials.
- <u>Station Workload</u>: Fiscal Year 2021 data shows the number of incidents in the Fire/Rescue Station 25 area as 2,810 incidents, while the workload capacity is 4,000 incidents. As such, it is operating within capacity.

Proposal's Weaknesses

• <u>Outside of 4.0-Minute Travel Time</u>: The site is currently located outside the required 4.0minute travel time for fire suppression and basic life support.

<u>On balance</u>, this application is found to be consistent with the relevant components of the Fire and Rescue Plan.

Police Plan Analysis

Residents and businesses expect a high level of police service for their community. This service increases the sense of safety and protects community investments. The Police Plan is designed to promote Prince William County's public safety strategic goal to continue to be a safe community, reduce criminal activity, and prevent personal injury and loss of life and property, as well as to ensure effective and timely responses throughout the County. This Plan encourages funding and locating future police facilities to maximize public accessibility and police visibility as well as to permit effective, timely response to citizen needs and concerns. The Plan recommends educational initiatives, such as Neighborhood and Business Watch, and Crime Prevention through Environmental Design (CPTED), which encourages new development to be designed in a way that enhances crime prevention. The Plan also encourages effective and reliable public safety communications linking emergency responders in the field with the Public Safety Communications Center.

At this time, the Police Department does not believe this application will create significant impact on calls for service. The Applicant should coordinate with the Police Department as the site develops, and apply the various Crime Prevention Through Environmental Design (CPTED) principles, which can be found at the following: <u>https://www.pwcva.gov/assets/documents/police/002035.pdf</u>

Details on the type(s) of onsite security measures should also be considered, including access control, surveillance cameras, alarm systems, access gates, fencing, and onsite lighting.

Proposal's Strengths

- <u>No Significant Impact</u>: The Police Department does not believe this application will create significant impacts on calls for service.
- <u>Onsite Security</u>: As proffered, the Applicant shall utilize a combination of onsite security practices, such as but not limited to, interior and/or exterior mounted surveillance cameras, an alarm system, gated access, limited site access, onsite lighting, or other methods, as needed.
- <u>Graffiti Removal & Reporting</u>: As proffered, the Applicant agrees to remove any graffiti from the property. Any graffiti is to be reported to the Police Department before removal.

Proposal's Weaknesses

• None identified.

<u>**On balance**</u>, this application is found to be consistent with the relevant components of the Police Plan.

Potable Water Plan Analysis

A safe, dependable drinking water source is a reasonable expectation of County residents and businesses. The Potable Water Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound drinking water system. The Plan includes recommendations relating to system expansion, required connections to public water in the development area, and the use of private wells or public water in the Rural Area.

The subject property is within the Development Area of the County and is thereby required to utilize public water to develop. The Service Authority has existing 12-inch water mains located on Mike Garcia Drive and Zelkovia Drive, and an existing 16-inch water main is located on Hornbaker Road. All connections to the public water system shall be in accordance with the Service Authority's Utility Standards Manual (USM) requirements and restrictions.

Depending on the final configuration of any proposed on-site water mains, additional water main extensions may be required by the Service Authority to provide adequate fire protection or satisfy water quality requirements. The Applicant shall plan, design, and construct all onsite and offsite water utility improvements necessary to develop the subject property and the above-listed requirements in accordance with all applicable Service Authority, and County and State requirements, standards, and regulations.

Proposal's Strengths

• <u>Water Connection & Service</u>: The site is currently served by public water, and as proffered, the Applicant is responsible for on-site or off-site improvements needed to facilitate an increase in future demand generated by the property.

Proposal's Weaknesses

• None identified.

On balance, this application is found to be consistent with the relevant components of the Potable Water Plan.

Sanitary Sewer Plan Analysis

Appropriate wastewater and sanitary facilities provide needed public health and environmental protections. The Sanitary Sewer Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound sanitary and stormwater sewer system. The Plan includes recommendations relating to system expansion, required connections to public sewer in the development area, and the use of either private or public sewer systems in locations classified as Semi-Rural Residential (SRR), as well as the Rural Area.

The subject property is within the Development Area of the County and is thereby required to utilize public sewer to develop. The Service Authority has existing 8-inch gravity sewer mains located on Mike Garcia Drive and Zelkovia Drive, with availability of capacity determined in conjunction with site plan submission. The Service Authority also has an existing 36-inch sewer force main routed along the southern property boundary. The Applicant will be responsible for all costs associated with the relocation of this main if it is in conflict with the proposed development. All connections to the public sewer system shall be in accordance with the Service Authority's Utility Standards Manual (USM) requirements and restrictions.

Proposal's Strengths

• <u>Sewer Connection & Service</u>: The site is currently served by public sewer, and per the proffers, the Applicant shall be responsible for all onsite and offsite improvements required to facilitate any increase in future demand generated by the property.

Proposal's Weaknesses

• None identified.

<u>On balance</u>, this application is found to be consistent with the relevant components of the Sanitary Sewer Plan.

Transportation Plan Analysis

Prince William County promotes the safe and efficient movement of goods and people throughout the County and surrounding jurisdictions by providing a multi-modal approach to traffic circulation. The Transportation Plan establishes policies and action strategies that further the County's goal of creating and sustaining an environmentally friendly, multi-modal transportation system that meets the demands for intra- and inter-county trips, is integrated with existing and planned development, and provides a network of safe, efficient, and accessible modes of travel. The Plan includes recommendations addressing safety, minimizing conflicts with environmental and cultural resources, maximizing cost effectiveness, increasing accessibility of all travel modes, minimizing projected trip demand, and providing sufficient network capacity. Projects should include strategies that result in a level of service (LOS) of "D" or better on all roadway corridors and intersections, reduce traffic demand through transportation demand management strategies, dedicate planned rights-of-way, provide and/or fund transit infrastructure, pedestrian and bicycle pathways, and improved and coordinated access to transit facilities.

The subject property will be accessed by several potential entrance points along Mike Garcia Drive and Zelkovia Drive, as well as from existing development in Land Bay J. The internal road network exists and has been extended and improved with pedestrian sidewalks. No new site access is proposed directly off of Hornbaker Road.

There is no significant difference in anticipated trip generation between the by-right uses and proposed uses. The site traffic will have minimal impact on the surrounding roadway network. Therefore, a Traffic Impact Analysis (TIA) was not required.

The following summary table provides the 2020 Virginia Department of Transportation (VDOT) annual average daily traffic counts and Prince William County Travel Demand model levels of service (LOS) information in the vicinity of the site.

Roadway Name	Number of Lanes	2020 VDOT Annual Average Daily Traffic Count; Vehicles Per Day (VPD)	Travel Demand Model 2019 Daily LOS
Hornbaker Road	4	4,500	D
Zelkovia Drive	2	Private	N/A
Mike Garcia Drive	2	Private	N/A

Proposal's Strengths

• <u>Commitment to Traffic Signal Warrant & Construction</u>: The Applicant will provide a traffic signal warrant study at the Hornbaker Road/Street G (Zelkovia Drive) intersection in conjunction with development of Parcel K. If warranted, the Applicant will provide the signal. This will occur at site plan or upon completion of development if requested by Prince William County or VDOT.

• <u>Provision for Bicycle Rack</u>: The Applicant has committed to an inverted-U bicycle parking rack will be installed in the approximate location shown on the site plan and constructed to Association of Pedestrian & Bicycle Professionals (APBP) standards.

Proposal's Weaknesses

• None identified.

On balance, this application is found to be consistent with the relevant components of the Transportation Plan.

Strategic Plan

This section of the report is intended to address the project's alignment with the outcomes provided within the County's Strategic Plan. The 2021-2024 Strategic Plan was developed through extensive community input, research of county policies and services and interviews with the Board to collect input on strategic priorities for the County over the next 4 years. The Plan envisions Prince William County as a diverse community striving to be healthy, safe, and caring with a thriving economy and a protected natural environment. In an effort to implement this vision, the Strategic Plan Team developed seven strategic focus areas to guide Board actions: "Health, Wellbeing & Human Services," "Safe and Secure Community," "Resilient Economy," "Quality Education & Workforce Development," "Environmental Conservation," "Sustainable Growth," and "Transportation and Mobility." It is important to note that no single area is viewed as more critical than another. Rather, each are interrelated and have direct impact on each other. Collectively, these goal areas impact the quality of life in all facets of the community issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The aspects of the proposal relative to the Strategic Plan are as follows:

- <u>Resilient Economy</u>: The proposed rezoning is favorably aligned with the County's Resilient Economy objective to continue efforts to preserve and expand the commercial tax revenue base. The rezoning will result in an increased assessed tax value and industrial/commercial tax base.
- <u>Objective RE-2</u>: Continue efforts to preserve and expand the commercial tax revenue base.

Materially Relevant Issues

This section of the report is intended to identify issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The materially relevant issues in this case are as follows:

• None identified.

Modifications / Waivers

The following waivers and/or modifications to the requirements of the Zoning Ordinance and the DCSM are being requested and are incorporated into the proffers and/or shown on the MZP for this rezoning request, as follows:

WAIVERS/MODIFICATIONS

- a. Modification of Section 32-280.11(b) to allow for M-1, Heavy Industrial, zoning as an allowable designation in the Planned Business District for Parcel K.
 - Staff supports, as submitted. In the overall project context, due to a combination of landscape buffering, use-specific setback thresholds, proffered use restrictions, surrounding uses, and design/building standards, Planning staff can support the above-referenced waiver request. As per Section 32-404.05. of the Zoning Ordinance (PBD zoning), the Board of County Supervisors may waive or modify any provision, including use restrictions, pursuant to an approved rezoning. In this case, such modification will allow for heavy industrial-type uses.
- b. Modification of Section 32-403.11 to permit distribution and fulfillment center and data center as part of Parcel K's M-1, Heavy Industrial, zoning designation.
 - Staff supports, as submitted. In the overall project context, due to a combination of landscape buffering, use-specific setback thresholds, proffered use restrictions, surrounding uses, and design/building standards, Planning staff can support the above-referenced waiver request. As per Section 32-404.05. of the Zoning Ordinance (PBD zoning), the Board of County Supervisors may waive or modify any provision, including use restrictions, pursuant to an approved rezoning. In this case, such modification will allow for heavy industrial-type uses, which may include distribution and fulfillment centers and data center uses. The property is located within the Data Center Opportunity Zone Overlay District.

- c. Modification of Section 32-404.04.7 to reduce the 50-foot (50') buffer to 15-foot (15') along the southern boundary of Parcel K.
 - Staff supports, as submitted. Although this is a reduction from what was previously proposed, this still provides an appropriate buffer transition from the M-1 uses in the PBD zoning district and the adjacent M-1 zoning to the south.
- d. Modification of Section 32-404.04.4 to permit maximum lot coverage to be 85 percent, with a required open space area of 15 percent.
 - Staff supports, as submitted. The request is to rezone Parcel K from PMD to PBD, and with associated development waivers and modifications, to include use modifications to allow heavy industrial (M-1 zoning) uses. As such, the modification for lot coverage would be based on anticipated M-1 uses.
- e. Waiver of Section 32-280.12 (2) to permit outdoor storage within planned development district.
 - Staff supports, as submitted. In the overall project context, due to a combination of landscape buffering, use-specific setback thresholds, proffered use restrictions, surrounding uses, and design/building standards, Planning staff is supportive of the above-referenced waiver request. As per Section 32-404.05. of the Zoning Ordinance (PBD zoning), the Board may waive or modify any provision, including use restrictions. In this case, such modification will allow for heavy industrial-type uses, which may include outdoor storage.
- f. Waiver of Section 32-404.03.2 (c) to permit cold storage.
 - Staff supports, as submitted. In the overall project context, due to a combination of landscape buffering, use-specific setback thresholds, proffered use restrictions, surrounding uses, and design/building standards, Planning staff is supportive of the above-referenced waiver request. As per Section 32-404.05. of the Zoning Ordinance (PBD zoning), the Board may waive or modify any provision, including use restrictions, pursuant to an approved rezoning. In this case, such modification will allow for heavy industrial-type uses, which may include cold storage/warehousing.

Proffer Issues / Deficiencies

• None identified.

Agency Comments

The following agencies have reviewed the proposal and their comments have been summarized in relevant comprehensive plan chapters of this report. Individual comments are in the case file in the Planning Office:

- PWC Archaeologist
- PWC Building Official
- PWC Economic Development
- PWC Fire Marshal Office
- PWC Historical Commission
- PWC Planning Office Case Manager / Long-Range Planning
- PWC Police / Crime Prevention
- PWC Public Works Environmental Services / Watershed Management
- PWC Service Authority
- PWC Transportation
- Virginia Department of Transportation (VDOT)

HISTORICAL COMMISSION RESOLUTION

MOTION: PORTA

SECOND: SHOCKLEY

RE: LAND DEVELOPMENT RECOMMENDATIONS

ACTION: APPROVED

WHEREAS, the Prince William County Historical Commission seeks to identify, preserve and protect historic sites and structures in Prince William County; and

WHEREAS, the Prince William County Historical Commission's review of pending land development applications assists in determining the necessity for cultural resource surveys and other research and evaluations; and

WHEREAS, the Prince William County Historical Commission believes that the identification, preservation and protection of historic sites and structures throughout Prince William County is well served by this action;

NOW, THEREFORE, BE IT RESOLVED, that the Prince William County Historical Commission does hereby recommend to the Prince William County Planning Commission the action(s) noted for the following properties:

<u>Case Number</u>	Name	Recommendation
REZ2021-00014	Wellington Glen Parcel K	No Further Work
REZ2022-00014	Haymarket Crossing II	No Further Work
CPA2021-00004	PW Digital Gateway	 For Comprehensive Plan Amendment (CPA): Recommend splitting the parcel into South and North sections (see attached map). Southern Section - keep existing land use or change to Parks and Open Space (P&OS).
		Northern Section – before decision on the CPA, request an Architectural Survey and Evaluation of above ground resources; those above ground resources eligible for listing on the National Register of Historic Places should be preserved in place.

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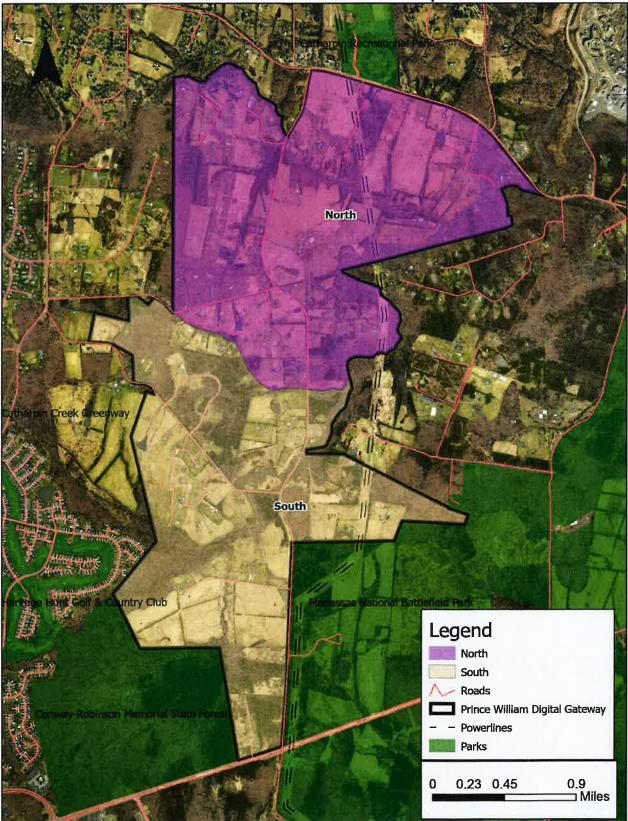
		Northern Section - mitigation so any new buildings, structures, power lines, towers are not visible from the Manassas National Battlefield Park.
		Northern Section - request Phase I study with a rezoning application and, if warranted, Phase II evaluation and Phase III data recovery study. Artifacts to be donated to and curated with the County.
		If rezoning is requested: Southern section same as CPA recommendation.
		Cemeteries - in all sections to be preserved in place with enhanced preservation area/buffers.
SUP2022-00013	Potomac Mills Mobil	No Further Work
SUP2022-00011	Dunkin – Richmond Highway	No Further Work

Votes: **Ayes:** by acclamation Nays: None Absent from Vote: None Absent from Meeting: Carter, Davis, Henson, Johnson MOTION CARRIED

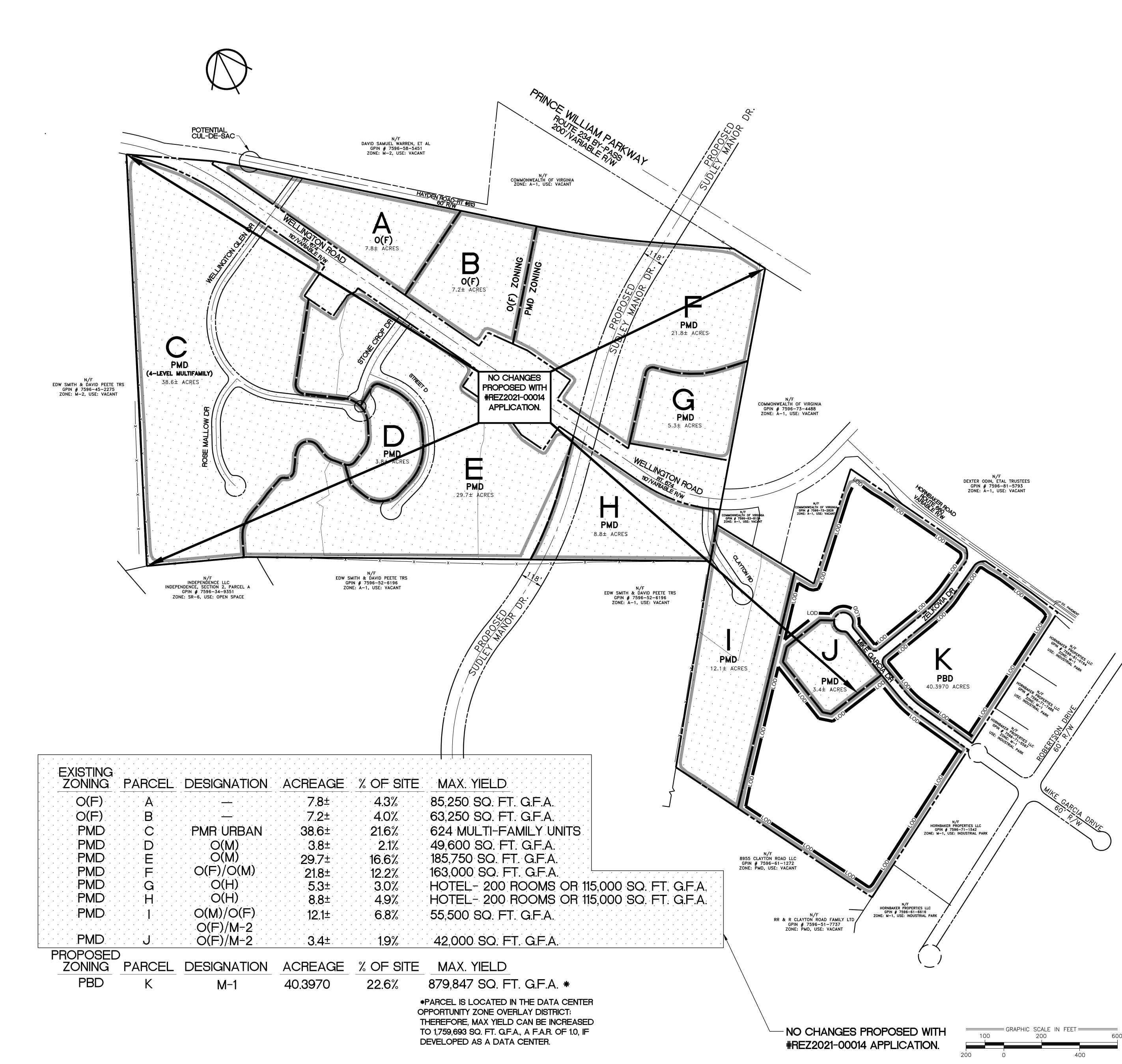
ATTEST: Intorned

Secretary to the Commission

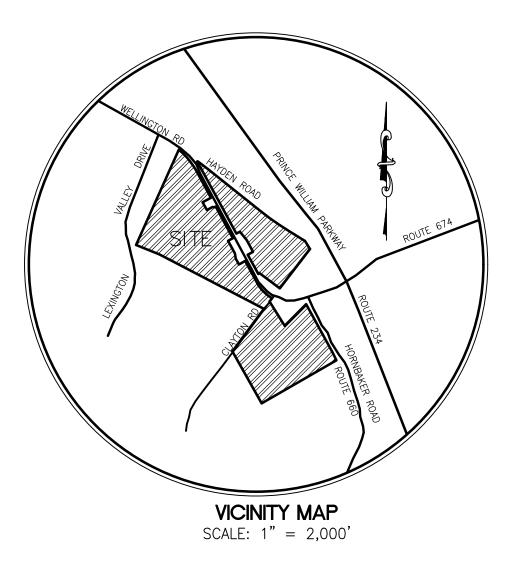
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Historical Commission Map



Attachment D



GENERAL NOTES:

- 1. TITLE ABSTRACT HAS BEEN FURNISHED BY VANDERPOOL, FROSTICK AND NISHANIAN, DATED JANUARY 23, 2003.
- 2. PROPERTY SHOWN HEREON IS LOCATED ON G.P.I.N. #7596-63-0490. 3. THE ADDRESS FOR THE PROPERTY IS 7721 & 7728 WELLINGTON ROAD.
- 4. THE PROPERTY IS CURRENTLY ZONED A-1. 5. THE OWNERS OF THE PROPERTY ARE THOMAS D. LARKIN, JR. AND
- WACHOVIA BANK SUCCESSOR TRUSTEE. 6. BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM ALTA/ACSM
- LAND TITLE SURVEY PREPARED BY BURGESS & NIPLE, INC. DATED MAY 28, 2003.
- 7. TOTAL AREA OF SITE IS 181.9± ACRES 8. THE PROPERTY SHOWN HEREON IS NOT IMPACTED BY A 100-YEAR
- FLOODPLAIN. FLOODPLAIN INFORMATION DETERMINED IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP (FIRM) NUMBER 51153C0093D, EFFECTIVE DATE, JANUARY 5TH 1995.
- 9. THE SITE IS LOCATED ON CHESAPEAKE OVERLAY DISTRICT SHEET 5 OF 15. THE SITE IS NOT LOCATED WITHIN AN IDA. 10. THERE ARE NO KNOWN CEMETERIES OR HISTORICAL SITES ON THE
- PROPERTY. 11. A PRESERVATION AREA SITE ASSESSMENT FOR LARKIN PROPERTY (PLN#03-00418) WAS APPROVED JULY 28, 2003. THIS PASA HAS BEEN REVISED WITH PFD # 06-00015 FOR WELLINGTON GLEN IN AUGUST, 2005

DEVELOPMENT NOTES:

- 1. SITE IS TO BE SERVED BY PUBLIC WATER AND SEWER. 2. EXISTING VEGETATION ON THE SITE CONSISTS OF OPEN FIELDS OF SOD, AND TREE STANDS OF MIXED YOUNG HARDWOOD AND
- EVERGREEN SPECIES. 3. PROPOSED LIMITS OF CLEARING AND GRADING ARE APPROXIMATE ONLY AND ARE SUBJECT TO CHANGE WITH FINAL SITE ENGINEERING.

INDEX OF PLANS:

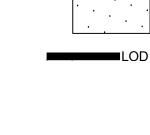
- 1. MASTER ZONING PLAN & GENERALIZED DEVELOPMENT PLAN FOR LANDBAY K
- 2. TRANSPORTATION AND UTILITY PLAN FOR LANDBAY K
- 3. OPEN SPACE AND BUFFER PLAN FOR LANDBAY K
- 4. MODIFIED ECA PLAN FOR LANDBAY K
- 5. MASTER ZONING PLAN & GENERALIZED DEVELOPMENT PLAN (BY BURGESS & NIPLE FOR REZ #PLN2004-00105) (FOR INFORMATION ONLY)
- 6. TRANSPORTATION AND UTILITY PLAN (BY BURGESS & NIPLE FOR REZ #PLN2004-00105) (FOR INFORMATION ONLY)
- 7. OPEN SPACE AND BUFFER PLAN (BY BURGESS & NIPLE FOR REZ #PLN2004-00105) (FOR INFORMATION ONLY)

LEGEND:



LAND BAY ZONING AND AREA

NO CHANGES PROPOSED WITH APPLICATION PROPOSED LIMITS OF CLEARING & GRADING



PWC #REZ 2021-00014

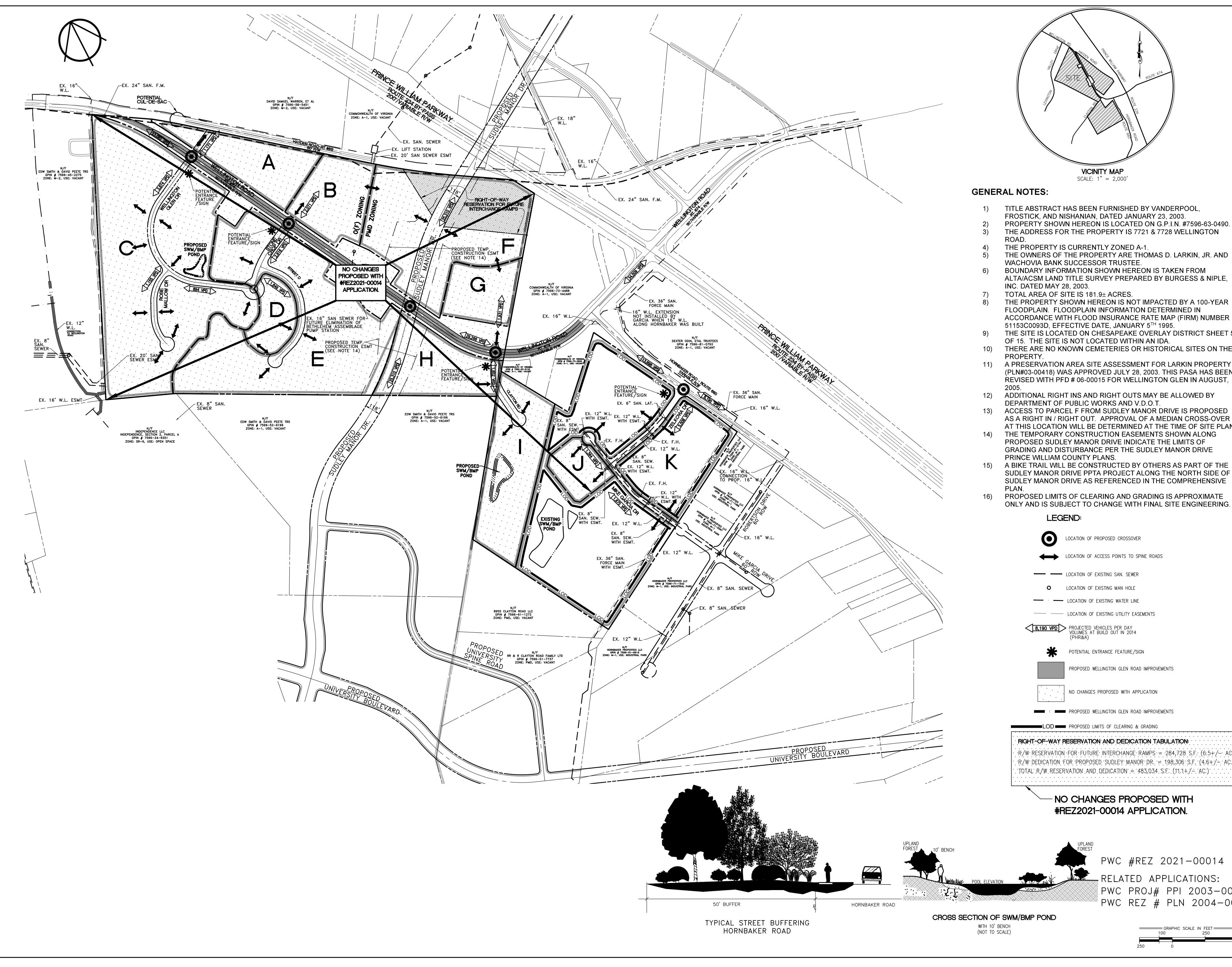
RELATED APPLICATIONS: PWC PROJ# PPI 2003-00083 PWC REZ # PLN 2004-00105

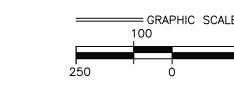
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SHEET **1** OF **7**





PWC #REZ 2021-0 RELATED APPLICAT PWC PROJ# PPI 20

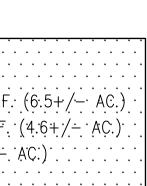
RIGHT-OF-WAY RESERVATION AND DEDICATION TABULATION: ·R·/W·RESERVATION ·FOR ·FUTURE·INTERCHANGE·RAMPS ·= ·284,728 S.F. (6.5+/-· AC. . R/W. DEDICATION FOR PROPOSED SUDLEY MANOR DR. = 198,306 S.F. (4.6+/- AC.) TOTAL R/W. RESERVATION AND DEDICATION = 483,034. S.F. (11.1+./-

SUDLEY MANOR DRIVE AS REFERENCED IN THE COMPREHENSIVE

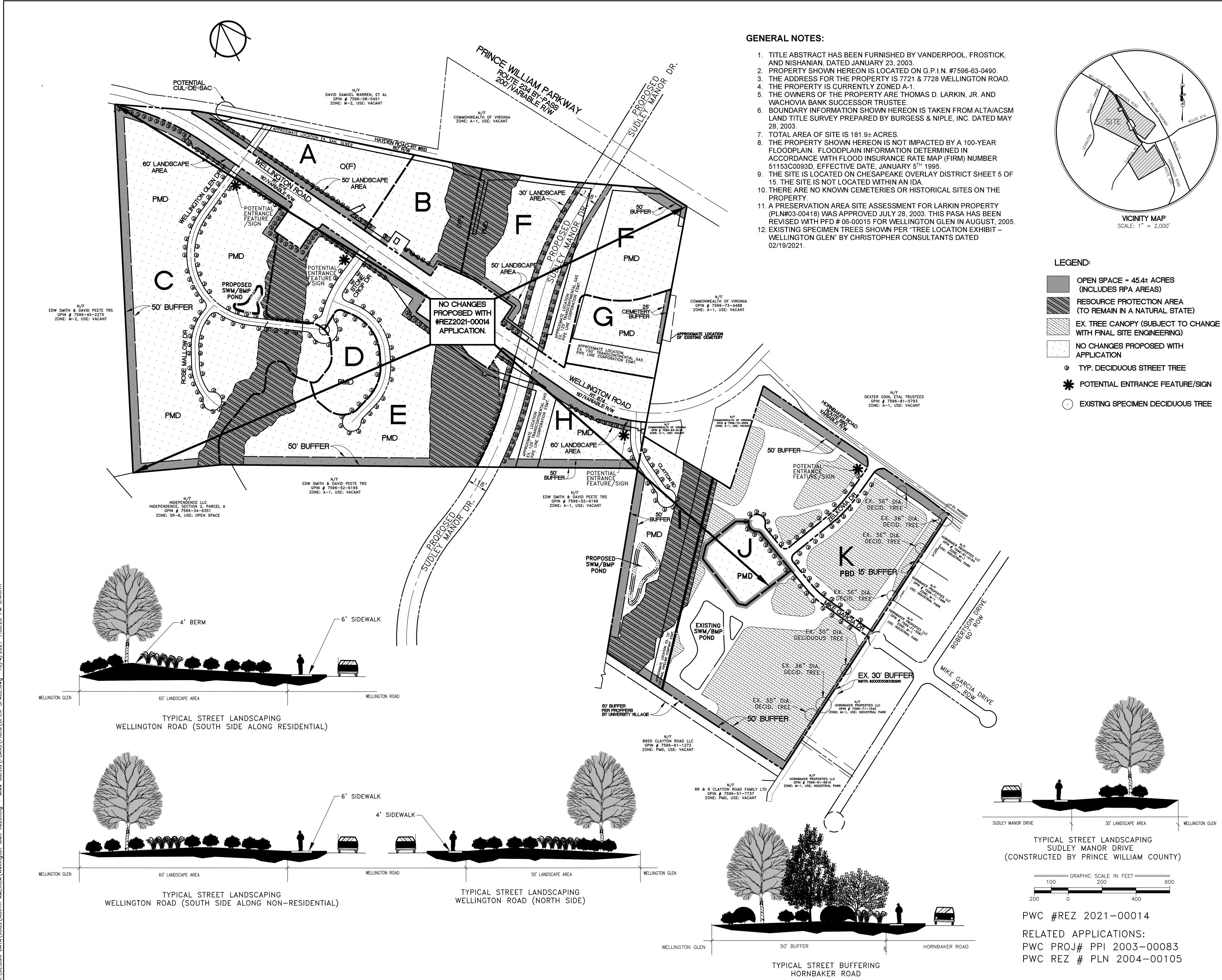
- A BIKE TRAIL WILL BE CONSTRUCTED BY OTHERS AS PART OF THE SUDLEY MANOR DRIVE PPTA PROJECT ALONG THE NORTH SIDE OF
- GRADING AND DISTURBANCE PER THE SUDLEY MANOR DRIVE
- THE TEMPORARY CONSTRUCTION EASEMENTS SHOWN ALONG PROPOSED SUDLEY MANOR DRIVE INDICATE THE LIMITS OF
- ACCESS TO PARCEL F FROM SUDLEY MANOR DRIVE IS PROPOSED AS A RIGHT IN / RIGHT OUT. APPROVAL OF A MEDIAN CROSS-OVER AT THIS LOCATION WILL BE DETERMINED AT THE TIME OF SITE PLAN.
- ADDITIONAL RIGHT INS AND RIGHT OUTS MAY BE ALLOWED BY
- (PLN#03-00418) WAS APPROVED JULY 28, 2003. THIS PASA HAS BEEN REVISED WITH PFD # 06-00015 FOR WELLINGTON GLEN IN AUGUST,
- THERE ARE NO KNOWN CEMETERIES OR HISTORICAL SITES ON THE
- THE SITE IS LOCATED ON CHESAPEAKE OVERLAY DISTRICT SHEET 5
- ACCORDANCE WITH FLOOD INSURANCE RATE MAP (FIRM) NUMBER
- THE PROPERTY SHOWN HEREON IS NOT IMPACTED BY A 100-YEAR FLOODPLAIN. FLOODPLAIN INFORMATION DETERMINED IN

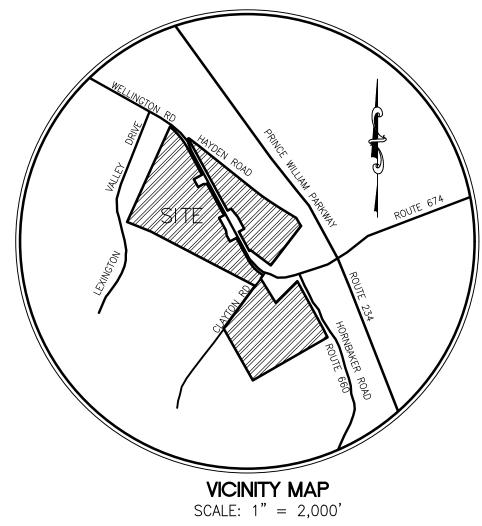
BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM ALTA/ACSM LAND TITLE SURVEY PREPARED BY BURGESS & NIPLE,

- (4.6+7,- AC.)
00014
IONS: 003-00083 2004-0010
IN FEET
500



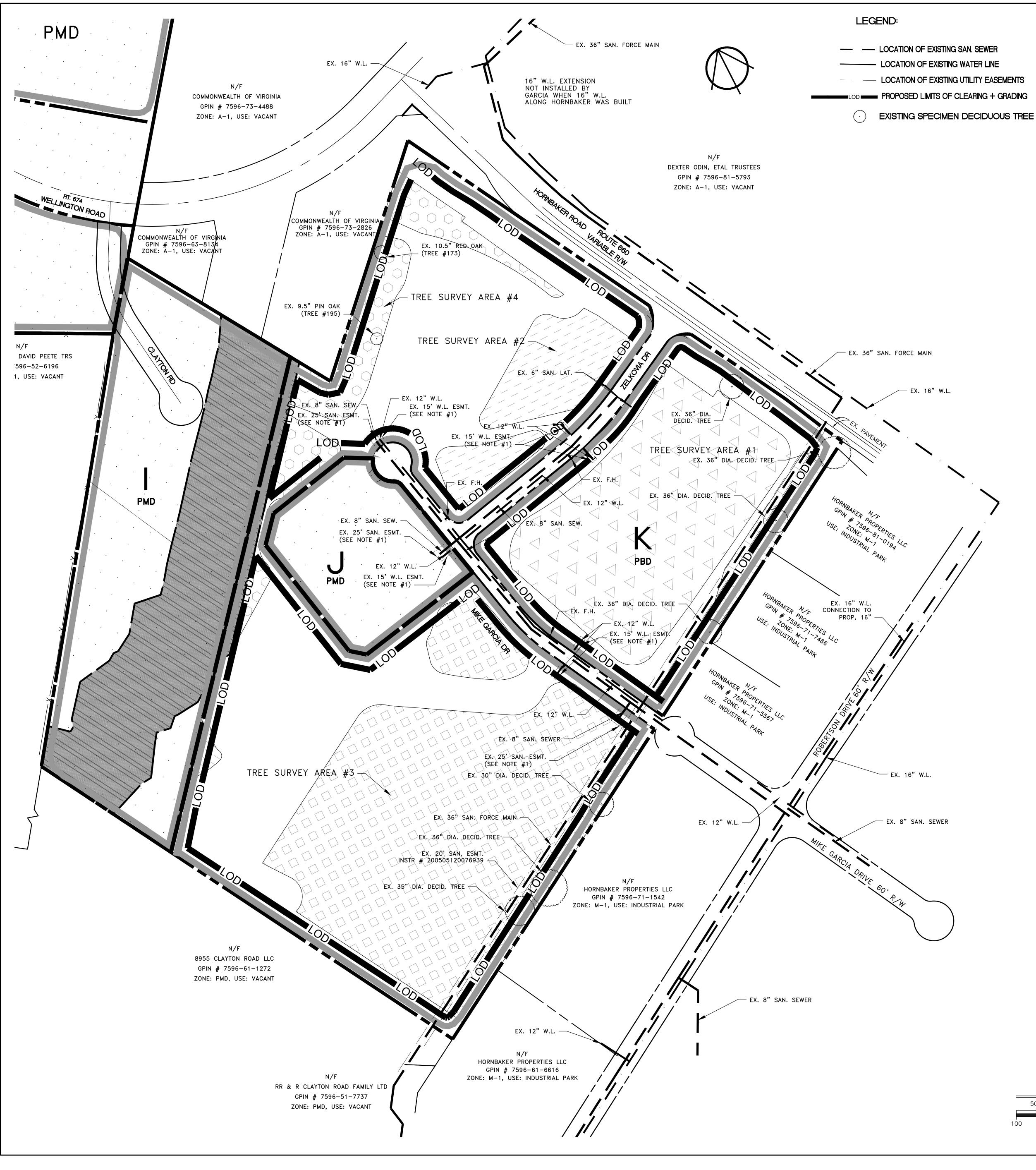






	OPEN SPACE = 45.4± ACRES (INCLUDES RPA AREAS)
	RESOURCE PROTECTION AREA (TO REMAIN IN A NATURAL STATE)
	EX. TREE CANOPY (SUBJECT TO CHANGE WITH FINAL SITE ENGINEERING)
· · · · · · · · · · · · · · · · · · ·	NO CHANGES PROPOSED WITH APPLICATION
6	TYP. DECIDUOUS STREET TREE
*	POTENTIAL ENTRANCE FEATURE/SIGN
\odot	EXISTING SPECIMEN DECIDUOUS TREE



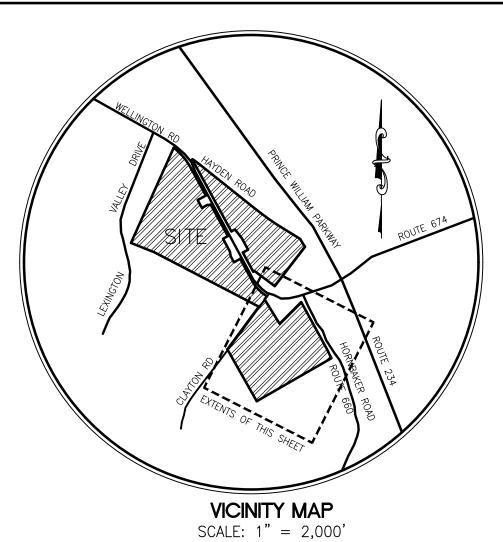


NO CHANGES PROPOSED WITH APPLICATION

RESOURCE PROTECTION AREA (TO REMAIN IN A NATURAL STATE)

TREE SURVEY AREA #1, 50% PINE 50% OAK, UNDER 6" DIAMETER

TREE SURVEY AREA #2, 5% AMERICAN BEECH 50% PINE 45% OAK, UNDER 6" DIAMETER TREE SURVEY AREA #3, 2% AMERICAN BEECH 50% PINE 48% OAK, UNDER 6" DIAMETER TREE SURVEY AREA #4, 60% OAK 40% PINE, GENERALLY UNDER 6" DIAMETER



GENERAL NOTES:

- 1. PROPOSED EASEMENTS AND STREET DEDICATION ASSOCIATED WITH LAND BAY J/K - PUBLIC IMPROVEMENTS PLAN (#07-00349) SHOWN PER WELLINGTON GLEN PARCEL B RESUBDIVISION PLAT RECORDED AT INSTRUMENT #201006150050965 AMONG THE LAND RECORDS OF PRINCE WILLIAM COUNTY.
- 2. EXISTING SPECIMEN TREES SHOWN PER "TREE LOCATION EXHIBIT WELLINGTON GLEN" BY CHRISTOPHER CONSULTANTS DATED 02/19/2021 AND "HORNBAKER ROAD TREE SURVEY" BY VIRGINIA WATERS & WETLANDS DATED 01/27/2022.



January 27, 2022

Mr. Michael Garcia Mike Garcia Construction, Inc. 4320 Prince William Parkway, Suite 113 Woodbridge, VA 22192

RE: Hornbaker Road Tree Survey

Dear Mr. Garcia,

A tree survey was conducted on the 46.8-acre parcel located at 8870 Hornbaker Road in Prince William County (GPIN: 7596-61-9286) on January 21, 2022. All work was conducted by an International Society of Arboriculture, Certified Arborist. The survey was requested in conjunction with the modified Environmental Constraints Analysis (ECA) for the property.

A tree survey describes the existing woodlands as well as providing information on specimen trees found onsite. A specimen tree is defined as having a diameter, measured at four and one-half (4.5) feet above the ground, of thirty (30) inches or more, or a tree having a diameter measuring seventy-five percent (75%) or more of the diameter of the current state champion of that species.

Due to current environmental conditions the site descriptions are broken into 4 areas, as indicated on the attached map.

Area 1 consists of approximately 50% pine and 50% oak species with all trees under 6" in diameter.

Area 2 consists of approximately 5% American beech, 50% pine and 45% oak species with the largest tree measuring 8" in diameter, however the tree was dead. Excluding the tree noted previously, trees in this area were under 6" in diameter.

Area 3 consists of approximately 2% American beech, 50% pine and 48% oak with the largest tree measuring 8.5" in diameter. Trees in this area were under 6" in diameter.

Area 4 consists of a 60/40 ratio of oak and pine with the two largest trees measuring:

- Tree 173, red oak, measured at 10.5" diameter and is located along the northeast property line.
- Tree 195, pin oak, measured at 9.5" in diameter, this tree is bifurcated at approximately 10' in height.

The remaining trees within this area are under 6" in diameter.

Sincerely, allion austin

Allison Austin Director of Environmental Consulting (MA-5461A)

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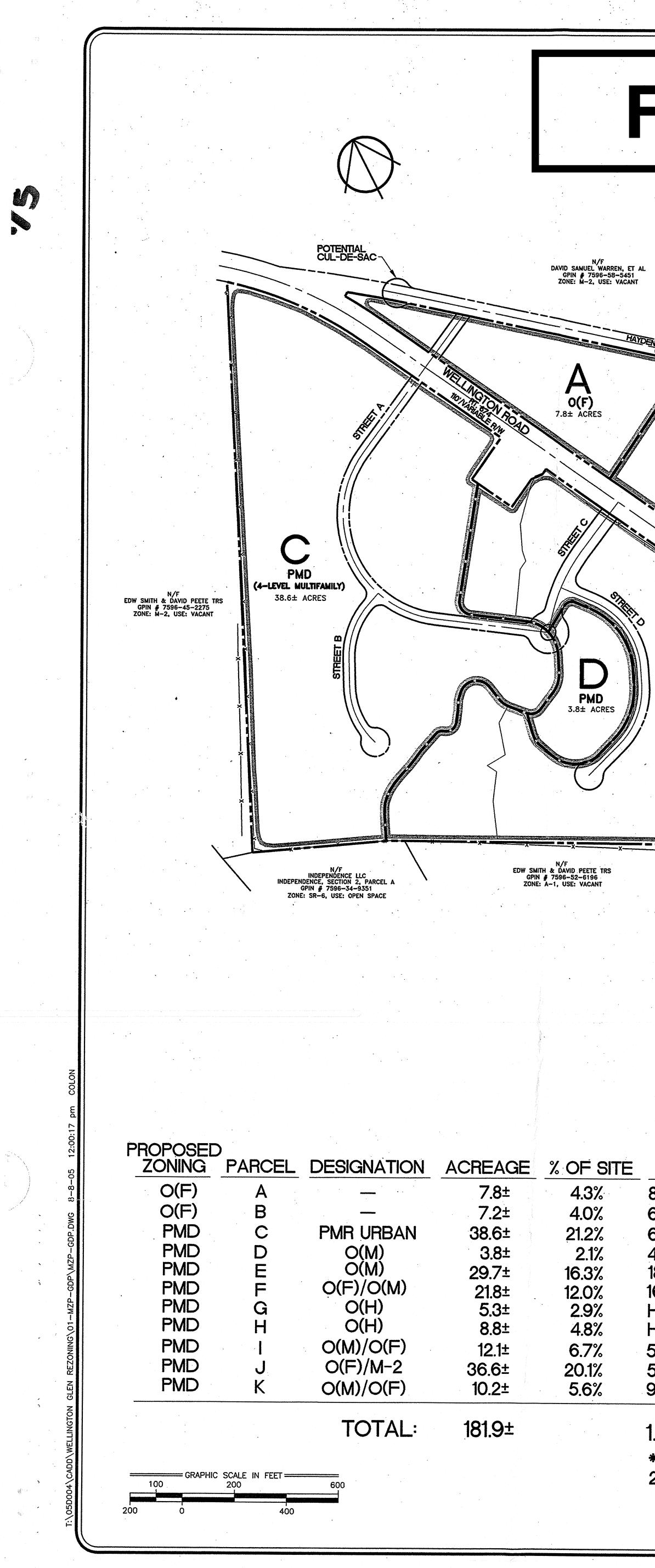
RELATED APPLICATIONS: PWC PROJ# PPI 2003-00083 PWC REZ # PLN 2004-00105

PWC #REZ 2021-00014

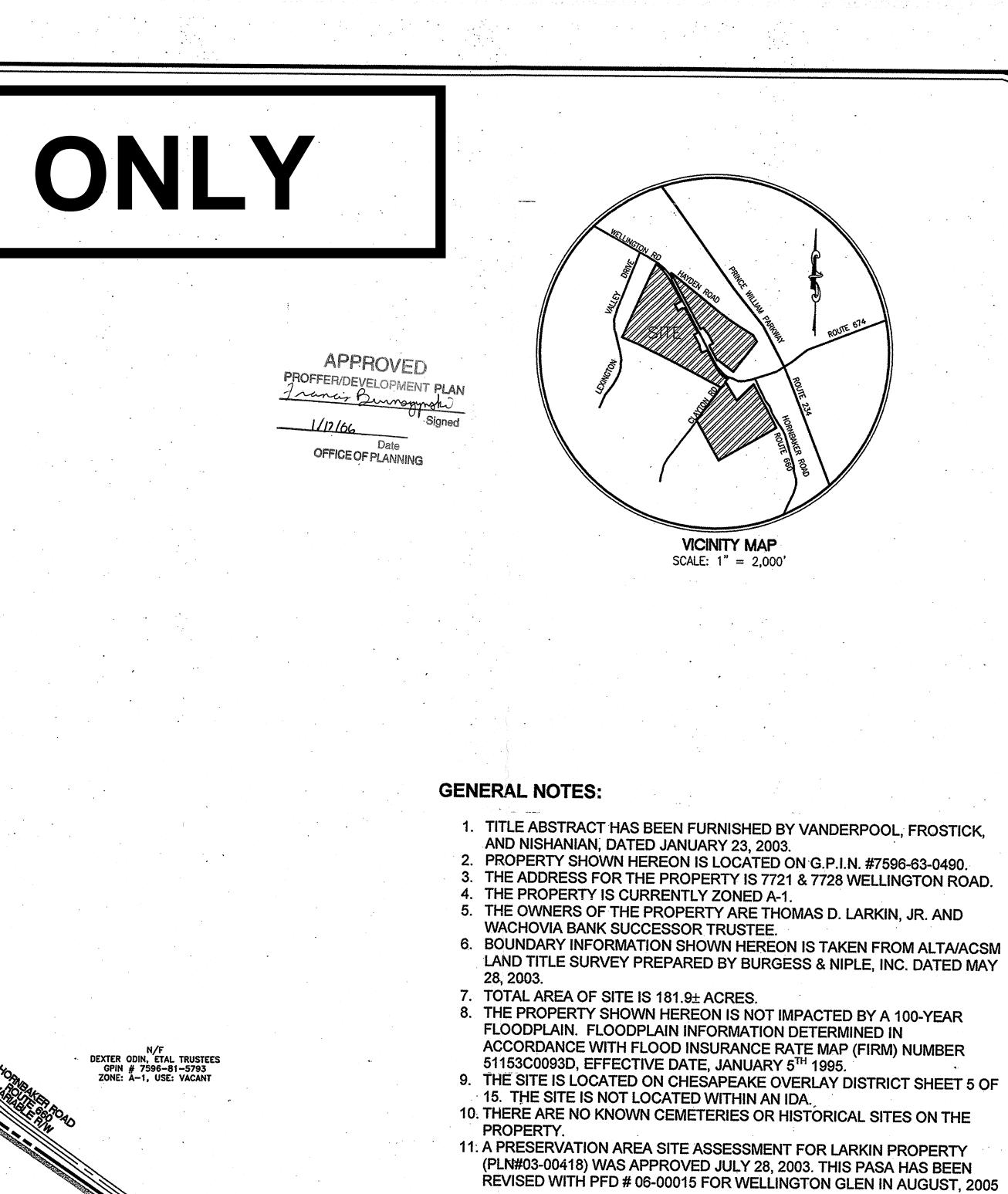








FOR INFORMATION ONLY N/F COMMONWEALTH OF VIRGINI ZONE: A-1, USE: VACANT B O(F) 7.2± ACRES PMD 21.8± ACRES COMMONWEALTH OF VIRGINIA GPIN # 7596-73-4488 CONE: A-1, USE- 1144 PMD 5.3± ACRES PMD 29.7± ACRES COMMONWEALTH OF VIRGINIA GPIN # 7598-73-2826 ZONE: A-1, USE: VACANT N/F CONNONWEALTH OF VIRGHAA GPIN \$ 7585-63-8134 ZONE: A-1, USE: VACANT PMD 8.8± ACRES N/F EDW SMITH & DAVID PEETE TRS GPIN # 7596-52-6196 ZONE: A-1, USE: VACANT PMD/ 12.1± ACRES MAX. YIELD 85,250 SQ. FT. G.F.A. PMD 63,250 SQ. FT. G.F.A. N/F HORNBAKER PROPERTIES LLC GPIN # 7598-71-1542 ZONE: M-1, USE: INDUSTRIAL PA 10.2± ACRES 624 MULTI-FAMILY UNITS 49,600 SO. FT. G.F.A. N/F 8955 CLAYTON ROAD LLC GPIN # 7596-61-1272 ZONE: PMD, USE: VACANT 185,750 SQ. FT. G.F.A. 163,000 SQ. FT. G.F.A. HOTEL- 200 ROOMS OR 115,000 SQ. FT. G.F.A.* HOTEL- 200 ROOMS OR 115,000 SQ. FT. G.F.A.* N/F HORNBAKER PROPERTIES LLC GPIN # 7596-61-6616 ZONE: M-1, USE: INDUSTRIAL PA N/F RR & R CLAYTON ROAD FAMILY LTD GPIN # 7596-51-7737 ZONE: PMD, USE: VACANT 55,500 SQ. FT. G.F.A. 544,250 SQ. FT. G.F.A. 96,000 SQ. FT. G.F.A. 1.2 MILLION SQ. FT. G.F.A. MAX YIELD * PLUS 400 ROOMS OR UP TO 230,000 SQ. FT. ADDITIONAL G.F.A.



DEVELOPMENT NOTES:

PMD 36.6± ACRES 1. PROPOSED ZONING IS: **PMD - 166.9± ACRES**

O(F) - 15.0± ACRES

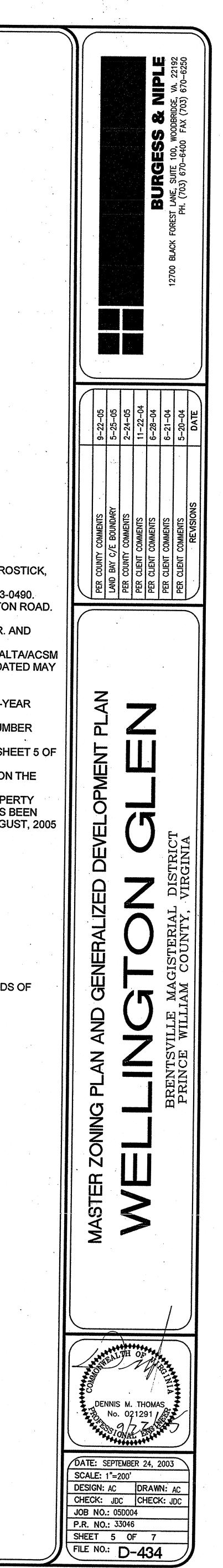
2. SITE IS TO BE SERVED BY PUBLIC WATER AND SEWER. 3. EXISTING VEGETATION ON THE SITE CONSISTS OF OPEN FIELDS OF SOD, AND TREE STANDS OF MIXED YOUNG HARDWOOD AND EVERGREEN SPECIES.

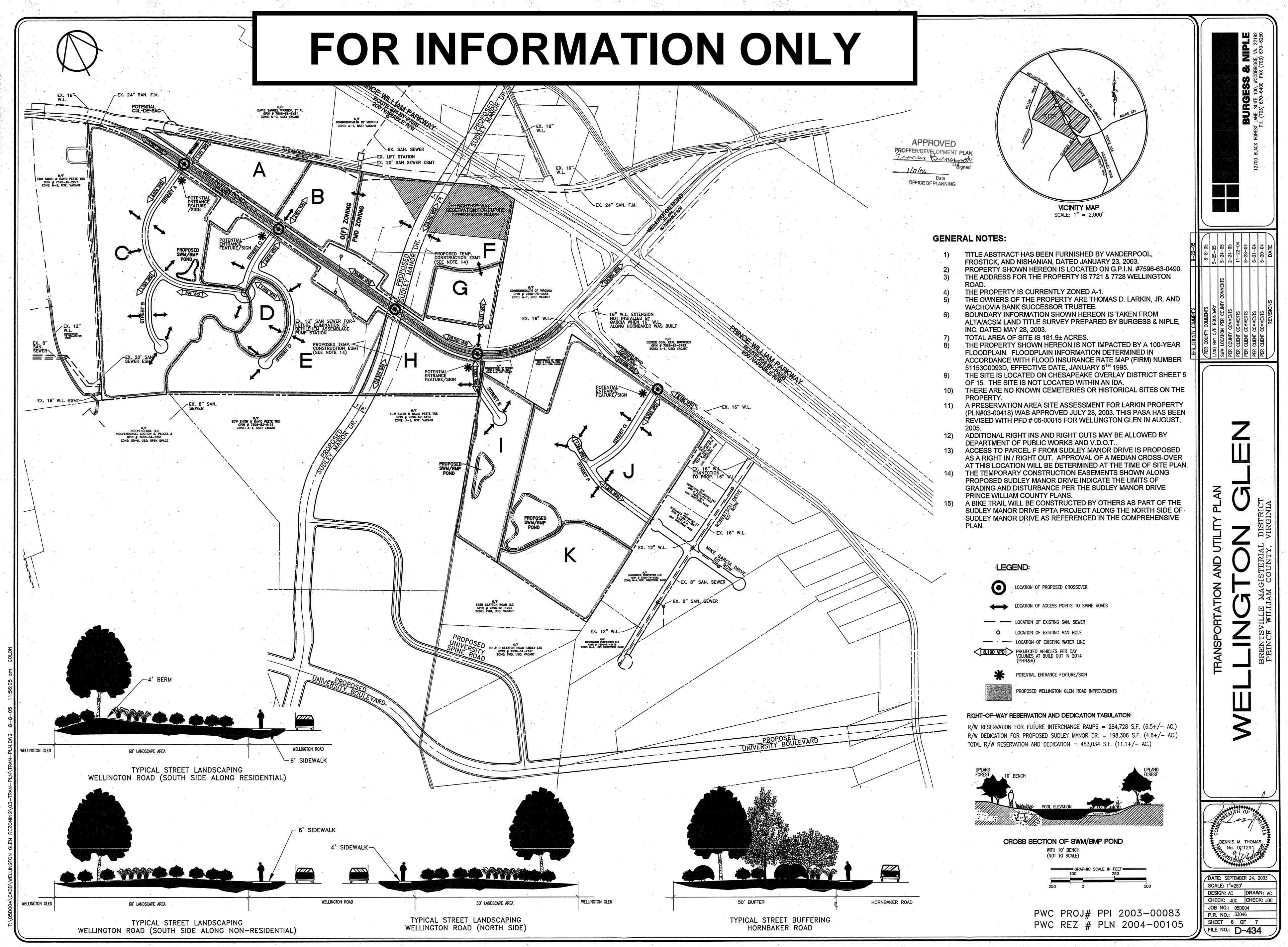
LEGEND:

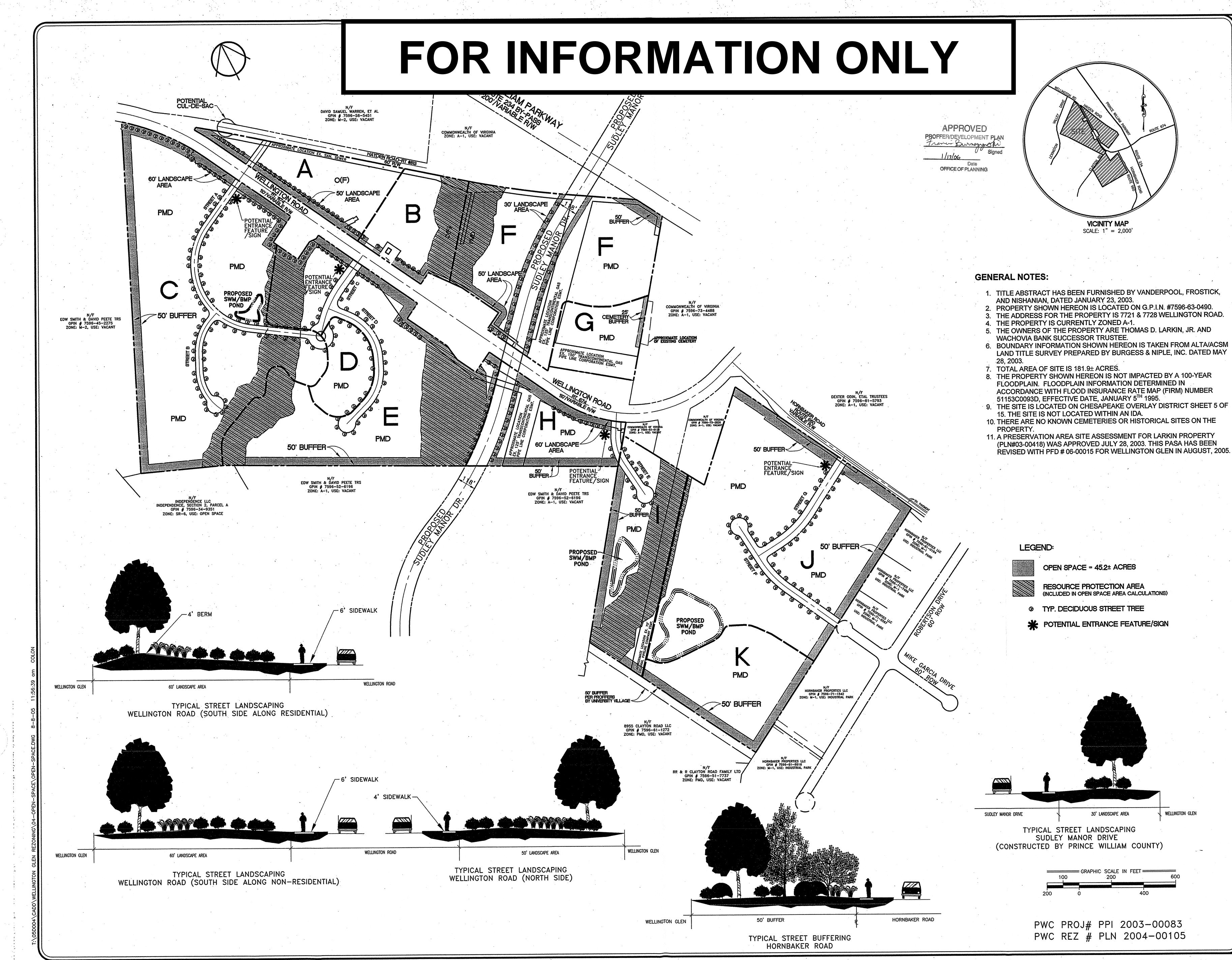


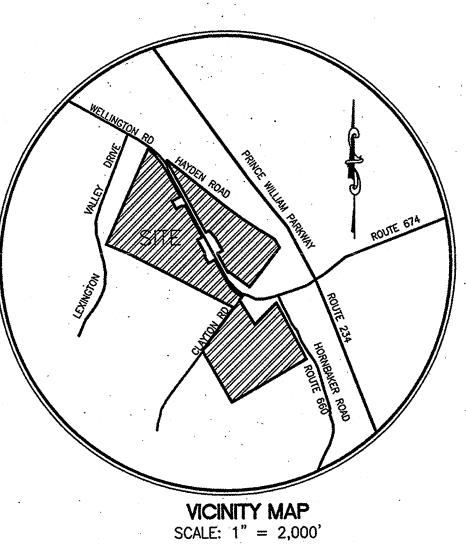
LAND BAY ZONING AND AREA

PWC PROJ# PPI 2003-00083 PWC REZ # PLN 2004-00105

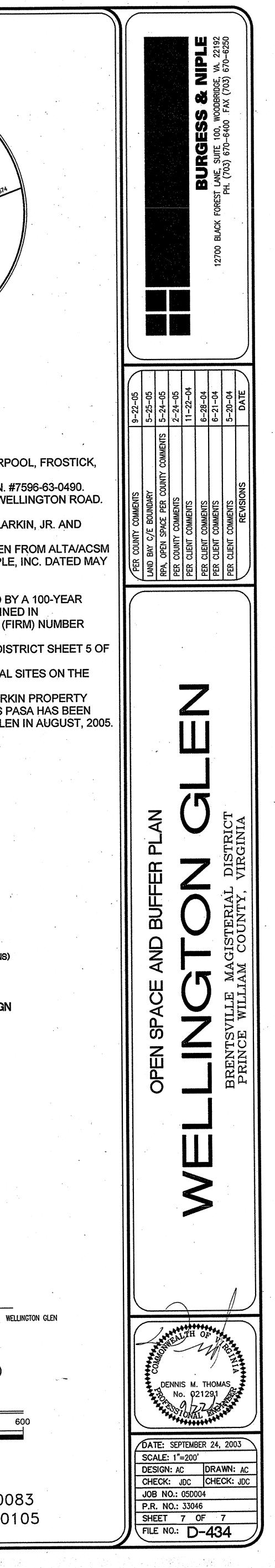








- 1. TITLE ABSTRACT HAS BEEN FURNISHED BY VANDERPOOL, FROSTICK,
- 2. PROPERTY SHOWN HEREON IS LOCATED ON G.P.I.N. #7596-63-0490.
- THE OWNERS OF THE PROPERTY ARE THOMAS D. LARKIN, JR. AND
- 6. BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM ALTA/ACSM LAND TITLE SURVEY PREPARED BY BURGESS & NIPLE, INC. DATED MAY
- THE PROPERTY SHOWN HEREON IS NOT IMPACTED BY A 100-YEAR FLOODPLAIN. FLOODPLAIN INFORMATION DETERMINED IN
- 10. THERE ARE NO KNOWN CEMETERIES OR HISTORICAL SITES ON THE
- (PLN#03-00418) WAS APPROVED JULY 28, 2003. THIS PASA HAS BEEN REVISED WITH PFD # 06-00015 FOR WELLINGTON GLEN IN AUGUST, 2005.



Attachment E

Wellington Glen

Development Design Guidelines

Parcel K



Parcel K Design Guidelines

Prepared By:

Architect

Pinnacle Design and Consulting 4085 Chain Bridge Road Suite 200 Fairfax, VA 22030

Landscape Architect

The Land Planning & Design Group 5300 Westview Drive Suite 103 Frederick, MD 21703

As Modified By:

Arcadia Development Company 108 North George Street Charles Town, WV 25414

> November 22, 2004 Revised August 31, 2011 Revised May 10, 2022

WELLINGTON GLEN

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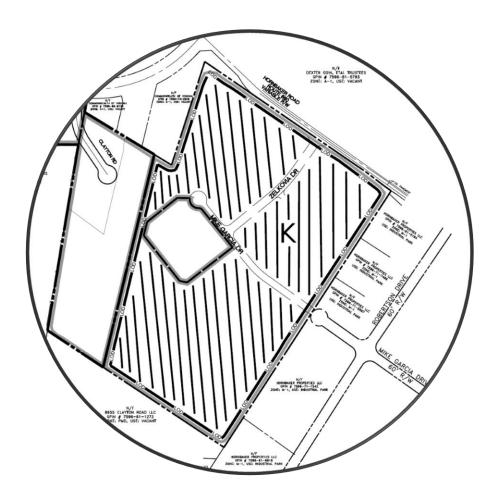
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I. Appendices

A. Introduction

1. Project Description

Parcel K of Wellington Glen consists of approximately 40 acres of land and is located on Hornbaker Road between Wellington Road and University Boulevard in Prince William County, Virginia. Any reference in this document to Wellington Glen or Design Guidelines are meant to only refer to and be applicable to Parcel K.



2. Purpose of Guidelines

The purpose of this document is to describe the design concepts for Wellington Glen in addition to the design principles that support the concept, in order to provide a set of guidelines for developing the various components of the proposed plan. These guidelines will be used to direct the design at Wellington Glen while not overly restricting creative expression within the different areas of the development.

Amendments, revisions, and waivers to the Design Guidelines must be approved by a majority vote of the membership of the Design Review Committee (DRC), with documentation provided to ensure that the design intent of the amendment can be clearly understood and implemented. This includes the preparation of architectural, landscape, and engineering standards and criteria, as appropriate, to be included in the changes sought.

No amendment, revision or waiver shall be approved which is not substantially consistent with these Design Guidelines and the zoning. Each amendment, revision or waiver to be considered by the DRC shall be first forwarded to the Prince William County Director of Planning, who shall have ten business days from receipt to notify the DRC in writing that he or she has determined said amendment, revision or waiver to be substantially inconsistent with these Design Guidelines and zoning. The Planning Director's written determination shall include specific references to those portions of the Design Guidelines or conditions on the zoning which are the basis for such determination. The DRC shall not approve any such amendment found substantially inconsistent by the Planning Director. Failure of the Planning Director to provide such written notice shall automatically mean that he or she has determined such amendment, revision or waiver is substantially consistent with these Design Guidelines and the conditions of the zoning and the DRC shall be entitled to either approve or not approve said amendment in its sole discretion. Provided, however, when amendments are being sought to the zoning, the DRC may approve amendments to the Guidelines so they may be included in the Rezoning Submission. Said amendments shall only be effective if the rezoning is approved.

3. Organization of the Guidelines

The guidelines begin with the overall urban design standards that are to be utilized to create organization and coherence to the development. The essential design elements of the project are as follows: architecture, streetscape design, open space standards, landscape design, parking, and signage. The design guidelines and standards are intended to explain basic aspects of conformance, and the illustrations shown represent proposed preliminary design intention with minor modification at final design.

B. Urban Design Criteria

1. Design Principles

The placement and relationship of essential project elements (i.e. buildings, streets, and parking) will help to define the open spaces throughout the project. A separation will be created between parking and pedestrian spaces. An example of a pedestrian space is in the residential component, where parking has been removed in front of the building entrances, creating a vehicular drop-off area, with pedestrian oriented entrances and the potential for sitting areas. The architecture, location and height of the buildings directly relates to the location of pedestrian spaces within the project. The importance of integrating the urban design patterns into the existing plan during construction of the project is paramount. While each portion of development should contain unique features that provide a sense of place, the urban design elements listed below will be repeated throughout to reinforce the community themes for Wellington Glen.

2. Building Locations

As discussed in section A3, this project is in the preliminary phase. The residential building locations shown reflect the planned layout of the residential component of the project. Non-residential building locations reflect preliminary layouts. In order to provide flexibility to accommodate specific user requirements, the final layout / configuration of buildings in the non-residential areas will be determined at site plan. In general, building locations will be based on proximity to streets and parking areas. Building locations will be oriented to maximize aesthetics and create usable spaces within the project.

3. Building Elevations

Front building elevations and main entrances shall face streets and parking areas within the site. Both side and rear elevations will be subordinate in comparison to the main facade and entrance, except in situations with the building fronting on more than one street. In such cases, all facades fronting on streets will have the same level of architectural treatment.

4. Building Height

The building height and massing will vary but will be designed to complement the character of adjacent buildings and overall design of the community. In regards to roof lines, there may be a variety of rooflines and projections that will help to improve aesthetics and reduce overall height to a more pedestrian scale. The buildings are to be comprised of well proportioned elements. Large buildings will have clearly designated main entrances, and overall frontage that incorporates visual aesthetics to help reduce the perceived scale of the building.

5. Development Uses

The ultimate vision of Wellington Glen is a community where individuals can both live and work. The mix of uses proposed both within the community and the surrounding area will afford residents the opportunity to live close to employment. In addition, the local transportation network to be implemented in connection with the development of Wellington Glen and the surrounding properties will facilitate accessibility between residential uses and a range of local serving commercial and employment opportunities in the area, thereby reducing the need for and number of longer vehicle trips on the regional road network.

C. Architecture

1. General Design Criteria

General Architectural Guidelines - The objective or the architectural design standards is to generate a unified design image for the site but allow individual structures to maintain independent design themes. In addition to the architectural styles presented in these Guidelines, other styles and buildings may be approved in conjunction with special use permit application for specific use on the property. The Developer will establish a Design Review Committee (DRC) to review all building elevation design (See Section H).

General Architectural Massing - The buildings shall exhibit a variety in their massing, height, roof configurations, projections and recesses. Where appropriate each building design shall differ from adjacent structures. Individual buildings shall be similar in scale with any adjacent structure.

General Building Orientation - All building front elevations shall be perpendicular to or face directly onto the adjacent street or parking area.

General Building Elevations - All buildings shall be designed to complement the character or the adjacent structures and be sensitive to their materials, color and scale. The side and rear elevations shall incorporate the same design elements and materials as the street elevations. All building elevations shall be assembled using quality materials and finishes that respect the adjacent structures and building types.

Architectural Theme - To create continuity throughout the project building elevations shall include two or more of the following architectural features: brick veneer, stone base, siding (for residential only), storefront or double hung window, entry canopy or covered entry, asphalt shingles, standing seam metal or flat roof.

Building Types –

Office-Flex Buildings Townhouse Office Buildings and Office Buildings Hotel Residential Community Clubhouse Industrial Buildings

2. Flex-Office Buildings

Description -Flex-Office Buildings shall be defined as 1 or 2-story structures with multiple tenants. The tenant suites will have mixed uses including but not limited to office, warehouse and storage spaces. Tenants shall have individual access doors into each tenant suite.

Materials - The use of a variety of architectural materials and textures shall be used for each building facade. Acceptable elevation materials shall include brick, split faced block, stone, concrete, stucco, standing seam metal roofing or other appropriate material. Building elevations shall be constructed with at least two different elevation materials. Additional materials may be substituted by approval of the DRC

Colors - The primary colors for building elevations shall be those found within the regional landscape and shall contribute to the overall design character of the site. Colors for manufactured items such as brick, split faced block, stucco and standing seam metal roofing shall be chosen from the manufacturers standard color selections. Limited accent colors may be used to complement the building design. The use of fluorescent or garish colors shall be prohibited

Doors, Window Openings and Glazing - The door and window selections shall be appropriate to the style of building architecture.

Mechanical and Electrical Equipment - Mechanical equipment, when located on the building rooftops, shall be screened from view from the adjacent right of way. Electrical equipment shall be located on building rooftops or on the rear facing elevations. The electrical equipment shall be screened from view from the adjacent right of way.

Service Areas - Service areas, including dumpsters and loading dock areas, shall be oriented to minimize the visual impact on adjacent right of way. Service areas shall be screened with dense landscaping and evergreen trees. Dumpsters shall be screened with landscaping, fencing or screen walls as approved by the DRC.



Flex-Office Building

Wellington Glen

The purpose of this drawing is to convey the initial design concept only. The actual completed designs and construction documents may vary in detail, dimensions, color and/or materials. Copyright 2003 Prinacle Design and Consulting

4. Office Townhouse Buildings and Office Buildings

Description - Office Townhouse Buildings shall be defined as 2-story structures with multiple tenants. Tenants shall have individual access doors into each tenant suite.

Office Buildings shall be defined as multiple story structures with either single or multiple tenants. Tenants will access the building through a single common entry door. Low-rise buildings shall have a maximum height of two stories and Mid-rise shall have a maximum height of five stories.

Illustrations on the following pages are intended to reflect architectural styles, with minor modifications permitted to accommodate specific users and their needs.

Materials - The use of a variety of architectural materials and textures shall be used for each building facade. Acceptable elevation materials shall include brick, split faced block, stone, concrete, stucco, asphalt shingles, standing seam metal roofing or other appropriate material. Limited use of wood or synthetic wood material may be used for door and window treatments and architectural elements. Additional materials may be substituted by approval of the DRC.

Colors - The primary colors for building elevations shall be those found within the regional landscape and shall contribute to the overall design character of the site. Colors for manufactured items such as brick, split faced block, stucco, asphalt shingles and standing seam metal roofing shall be chosen from the manufacturer's standard color selections. Limited accent colors may be used to complement the building design. The use of fluorescent or garish colors shall be prohibited.

Doors, Window Openings and Glazing - The door and window selections shall be appropriate to the style of building architecture.

Mechanical and Electrical Equipment - Mechanical equipment shall be located on the rear or side facing elevation or roof mounted and screened from view from the adjacent right of way. The electrical equipment shall be located on the rear facing elevations. The electrical equipment shall be screened from view from the adjacent right of way.

Service Areas - Service areas, including dumpsters and loading dock areas, shall be oriented to minimize the visual impact on adjacent right of way. Service areas shall be screened with dense landscaping and evergreen trees. Dumpsters shall be screened with landscaping, fencing or screen walls as approved by the DRC.



Office Townhouse Building

Wellington Glen

The purpose of this drawing is to convey the initial design concept only. The actual completed designs and construction documents may vary in detail, dimensions, color and/or materials. Copyright 2003 Pinacele Design and Consulting



Office Building

Wellington Glen

The purpose of this drawing is to convey the initial design concept only. The actual completed designs and construction documents may vary in detail, dimensions, color and/or materials. Copyright 2003 Prinacle Design and Consulting



Low-rise Office Building

Wellington Glen

The purpose of this drawing is to convey the initial design concept only. The actual completed designs and construction documents may vary in detail, dimensions, color and/or materials. Copyright 2003 Pinnacle Design and Consulting



Mid-rise Office Building

Wellington Glen

The purpose of this drawing is to convey the initial design concept only. The actual completed designs and construction documents may vary in detail, dimensions, color and or materials. Copyright 2003 Pinnacle Design and Consulting

4. Hotel

Elevations - Conceptual elevations for the Hotel Site are not included. The future Hotel portion for this site may be occupied by a hotel user, providing either standard hotel rooms or extended temporary stay suites. The elevation design shall be the standard corporate image, but should be designed to complement the character of the adjacent structures. The elevation design will be

reviewed by the DRC using the same architectural standards as may apply throughout the project.

Materials - The use of a variety of architectural materials and textures shall be used for each building facade. Acceptable elevation materials shall include brick, split faced block, stone, concrete, stucco, asphalt shingles, standing seam metal roofing or other appropriate material. Limited use of wood or synthetic wood material may be used for door and window treatments and architectural elements. Additional materials may be substituted by approval of the DRC.

Colors - The primary colors for building elevations shall be those found within the regional landscape and shall contribute to the overall design character of the site. Colors for manufactured items such as brick, split faced block, stucco, asphalt shingles and standing seam metal roofing shall be chosen from the manufacturer's standard color selections. Limited accent colors may be used to complement the building design. The use of fluorescent or garish colors shall be prohibited.

Doors, Window Openings and Glazing - The door and window selections shall be appropriate to the style of building architecture.

Mechanical and Electrical Equipment - Mechanical equipment shall be located on the rear or side facing elevation or roof mounted and screened from view from the adjacent right of way. Electrical equipment shall be located on the rear facing elevations. The electrical equipment shall be screened from view from the adjacent right of way.

Service Areas - Service areas including dumpsters and loading dock areas shall be oriented to minimize the visual impact on adjacent right of way. Service areas shall be screened with dense landscaping and evergreen trees. Dumpsters shall be screened with landscaping, fencing or screen walls as approved by the DRC.

5. Residential

Description - The residential portion of the development will be a mix of one, two and three bedroom units. The buildings will be 3 to 4 stories in height but will not exceed 54'-0" above finished grade. The building configurations used are "U" shaped, "L" shaped and straight buildings. The variety of building shapes maximizes green space. Green space plazas are created between the "L" shaped buildings and in the courtyard area of the "U" shaped buildings.

Materials - Elevation materials will include a mix of brick, siding and asphalt shingles. Wood and synthetic wood material may be used for door and window treatments and architectural elements. Additional materials may be substituted by approval of the DRC.

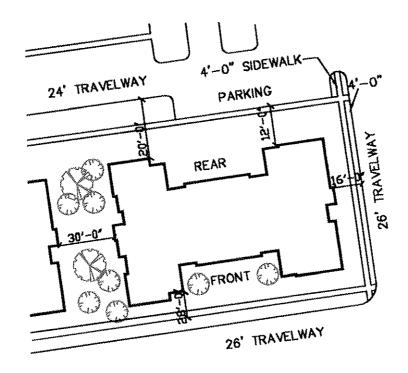
Colors - The primary colors for building elevations shall be those found within the regional landscape and shall contribute to the overall design character of the site. Colors for manufactured items such as brick, siding and asphalt shingles shall be chosen from the manufacturers standard color selections. Limited accent colors may be used to complement the building design. The use of fluorescent or garish colors shall be prohibited

Doors, Window Openings and Glazing - Doors shall be flush, French door type or six panel door types. Windows shall be fixed panel, single or double hung type windows. Door and window trim shall be consistent with trim used on residential applications.

Mechanical and Electrical Equipment - Mechanical condensing equipment shall be located on the rear, side or front facing elevation and screened from view from the adjacent right of way. Electrical equipment shall be located on the rear facing elevations. The electrical equipment shall be screened from view from the adjacent right of way.

Service Areas - Service areas including dumpsters and loading dock areas shall be oriented to minimize the visual impact on adjacent right of way. Service areas shall be screened with dense landscaping and evergreen trees. Dumpsters shall be screened with landscaping, fencing or screen walls as approved by the DRC.

Development Standards - The modifications to the development standards set forth in the Zoning Ordinance for Multifamily Buildings (Housing Type K) needed in connection with the residential unit proposed for this project are identified in the Modified Multifamily Units exhibit on the following page.



Modified Multifamily Units - Buildings comprising multiple dwelling units which share common access to individual units and yards. The minimum lot area required shall be the sum of the areas required for each unit within the units in a single structure. The following table specifies the minimum standards for a modified multifamily building.

- Minimum Lot Area - Maximum Lot Coverage - Maximum Building Height :	PROPOSED STANDARDS (4 Story) 1175 SQ. FT. .75 54 FT
MINIMUM Building Setbacks : - Front (from streets or traveled portion of access easement) - Rear - Side - Structured Parking to dwelling - Parking Lot to dwelling - DISTANCE BETWEEN BUILDINGS	28 FT 20 FT 16 FT 20 FT 12 FT 30 FT



Residential Units

The purpose of this drawing is to convey the design concept. The final completed designs and construction documents may include minor insdification.

WELLINGTON GLEN

6. Community Clubhouse

Description - The residential portion of the development will have a Community Clubhouse that will include meeting rooms, recreation and exercise facilities, leasing offices, and a swimming pool area with shower facilities and outdoor recreational amenities such as a tot lot.

Materials - The materials and textures will compliment the residential building architecture. Acceptable elevation materials shall include brick, stone, siding and asphalt shingles. Limited use of wood or synthetic wood material may be used for door and window treatments and architectural elements.

Colors - The primary colors for building elevations shall be those found within the regional landscape and shall contribute to the overall design character of the site. Colors for manufactured items such as brick, siding and asphalt shingles shall be chosen from the manufacturers standard color selections. Limited accent colors may be used to complement the building design. The use of fluorescent or garish colors shall be prohibited.

Doors, Window Openings and Glazing - Doors shall be flush, French door type or six panel type doors similar to doors used for residential applications. Windows shall be fixed panel, single or double hung type windows similar to the windows used for residential applications. Door and window trim shall be similar to the door and window trim used for residential applications.

Mechanical and Electrical Equipment - Mechanical equipment shall be located on the rear or side facing elevation and screened from view from the adjacent right of way. Electrical equipment shall be located on the rear facing elevations. The electrical equipment shall be screened from view from the adjacent right of way.

Service Areas - Service areas including dumpsters and loading dock areas shall be oriented to minimize the visual impact on adjacent right of way. Service areas shall be screened with dense landscaping and evergreen trees. Dumpsters shall be screened with landscaping, fencing or screen walls as approved by the DRC.



Community Clubhouse

WELLINGTON GLEN

The purpose of this drawing is to convey the design concept. The final completed designs and construction documents may include nanor modification.

7. Industrial Buildings. Industrial uses, including but not limited to, Data Centers, Distribution and Fulfillment Centers and Warehouses.

Description - Industrial Buildings (including M-1 uses) shall be defined as one story or multi-story structures with single or multiple tenants. The tenant suites may have mixed uses including but not limited to office, warehouse and storage spaces. Tenants may have individual access doors into each tenant suite.

Materials - The use of a variety of architectural materials and textures shall be used for each building facade. Acceptable elevation materials shall include brick, split faced block, stone, concrete, stucco, standing seam metal roofing or other appropriate material. Building elevations shall be constructed with at least two different elevation materials. Additional materials may be substituted by approval of the DRC.

In the event that data center uses are developed, principal building façades facing or visible from Hornbaker Road shall incorporate consistent design, materials, and details and shall avoid the use of undifferentiated surfaces by including at least four (4) of the following design elements:

- change in building height;
- building step-backs or recesses;
- fenestration;
- change in building material, pattern, texture and/or, color; or
- use of accent materials.

Colors - The primary colors for building elevations shall be those found within the regional landscape and shall contribute to the overall design character of the site. Colors for manufactured items such as brick, split faced block, stucco and standing seam metal roofing shall be chosen from the manufacturers standard color selections. Limited accent colors may be used to complement the building design. The use of fluorescent or garish colors shall be prohibited.

Doors, Window Openings and Glazing - The door and window selections shall be appropriate to the style of building architecture and that are appropriate for the applicable use.

Mechanical and Electrical Equipment - Mechanical equipment, when located on the building rooftops, shall be screened from view from the adjacent right of way. Electrical equipment shall be located on building rooftops or on the rear facing elevations. The electrical equipment shall be screened from view from the adjacent right of way.

In the event that data center uses are developed, ground level and roof top mechanical equipment shall be screened from and adjacent properties and rights-of way. Mechanical equipment not screened or blocked from view as a result of its location relative to the principal building, other structures, and/or existing vegetation or landscape buffering, shall be screened by a visually solid fence, screen wall or panel, parapet wall, or other visually solid screen that shall be constructed of materials compatible with those used in the exterior construction of the principal building.

Service Areas - Service areas, including dumpsters and loading dock areas, shall be oriented to minimize the visual impact on adjacent right of way. Service areas shall be screened with dense landscaping and evergreen trees. Dumpsters shall be screened with landscaping, fencing or screen walls as approved by the DRC.



Industrial Building

The purpose of this drawing is to convey the initial design concept only. The actual completed designs and construction documents may vary in detail, dimensions, color, and/or materials.

WELLINGTON GLEN

D. Streetscape

1. Design criteria

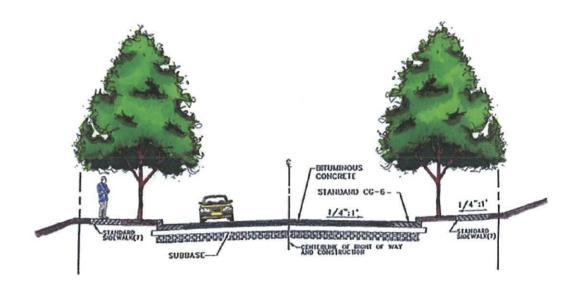
A consistent streetscape enhances the appearance of the public spaces and can provide an attractive and cohesive setting for the individual landbays and separate land uses. The streetscape will help identify the overall theme that will be repeated throughout the different landbays by repetition of similar hardscape elements and landscaping.

2. Street Layout

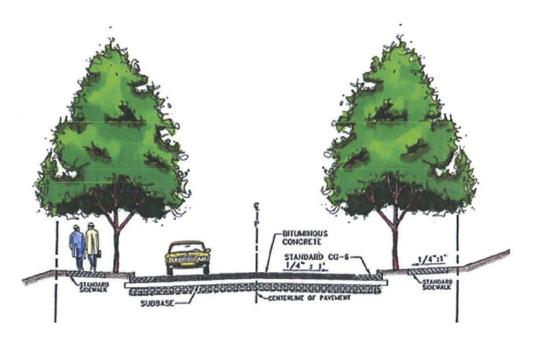
Streets will be used to both link and define the different uses and landbays within Wellington Glen. Streets will be used for vehicular traffic as well as guiding pedestrian traffic with a system of trails and sidewalks adjacent to said streets and public open spaces. The design intent of the street layout is to create multiple connections throughout the various landbays and development uses.

3. Streetscape

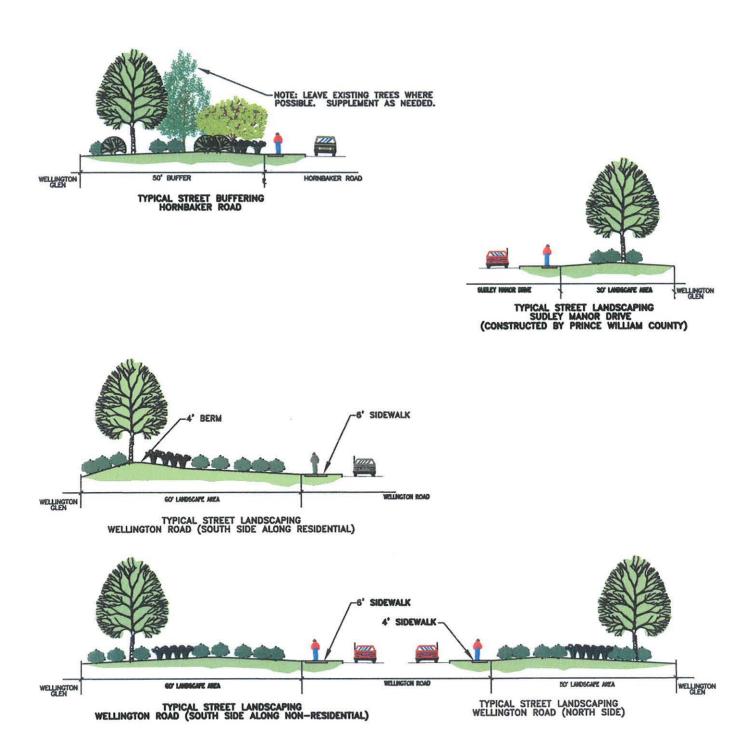
The development of a continuous streetscape theme in conjunction with the street layout will help to physically and visually connect the development together. The entire project will utilize themed street furnishings such as: benches, information kiosks, lighting, paving, and signage. Material selections are to be of high quality and durable to reduce the cost for maintenance. A single, complementary color will be determined for all streetscape elements and furnishings to be repeated throughout the community to create a strong sense of place. The following six graphics are examples of streetscape elements.



Apartment Loop Road Section



Private Road Section



WELLINGTON GLEN

Street Standards

Sidewalks- All sidewalks should be a minimum of 4' wide and constructed of either concrete, concrete pavers, or asphalt. The planting areas are to be adjacent to the curb. Crosswalks are to be marked with striping or decorative paving.

Street trees- Street trees are to be planted along both sides of all public streets within the development. Street trees are to be installed within the planting strip adjacent to the right-of way and utility easements in a typical pattern and separation. Street trees are to be a minimum of 2"-21/2" caliper (maximum of 50' o.c.) and are to be upright varieties with a high canopy to reduce visual interference with vehicular and pedestrian traffic.

Furniture- Wellington Glen shall utilize themed streetscape furnishings such as: benches, information kiosks, signage, etc. All selections shall be of a durable material to reduce maintenance costs. All furnishings shall utilize a complimentary color to reinforce the concept of community themeing. Selections for streetscape furnishings shall be submitted for owner approval. The use of decorative paving, special features, banners, and flags are to be encouraged.

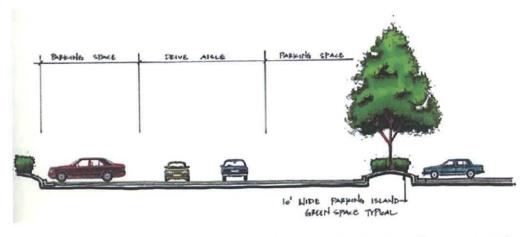
Lighting- Similar to streetscape furnishings, a matching light fixture, pole style, and color is to be selected for the residential portion of the development. Light fixture selection for the non-residential areas generally shall be of the same style; however, variations shall be permitted to compliment the architectural style of the buildings. The non-residential lights shall also be a matching light, pole style, and color. This will further enhance the concept of a unified design theme within Wellington Glen. Streetlights shall generally occur within the planting strip adjacent to the curb at fixed intervals whenever possible. The use of light shields where required will reduce glare into the evening sky and into residential areas. The lighting intensity as well as the overall size of the pole will be determined by the use. Typically, lighting located along the collector streets will be the highest intensity for safety and security, while lighting in residential areas will be lower in height with more appropriate illumination.

5. Parking

Street parking will be utilized in the development to slow traffic speed and reduce sizes of parking lots. On street parking will also help to provide a visual buffer between pedestrian and vehicular traffic. Parking lots are to be located to maximize accessibility to the buildings and have minimal visual impact on the overall development. Whenever possible, parking areas are to be divided into smaller areas to help reduce the overall visual impact that expansive parking areas can create. Residential parking areas are to be designed with green space islands between rows and at ends of rows, which will 'break up' the massing of parking areas. All parking areas will use design methods to encourage the use of green space islands whenever possible within the paving areas. Particular attention will be given to these green spaces, which offer the opportunity to provide berms and landscaping within the parking areas to soften and screen the views into the parking areas when physical and engineering constraints permit.

Landscaping- Typically, parking areas will use plant materials to help reduce visual impact. Evergreen shrubs will be used as hedging, in conjunction with evergreen trees and shade trees. Shade trees will provide relief from the sun and help reduce the scale of the parking lots. All plant material will be able to provide year round interest, and be tolerant of urban stress. When planting islands can be utilized in the parking lots, they are to be landscaped accordingly. All trees are to be maintained as necessary to facilitate clear, unobstructed views within the parking area.

Safety Considerations- All shrub planting within the parking lot is to be under 30" in height to allow for clear sight lines of pedestrians and other vehicles in addition to screening the views of vehicle bumpers and grills. The use of low branching trees within the parking area is to be discouraged unless 'limbing' up is possible. Plant materials used on the perimeter may be up to 36" in height assuming they do not conflict with clear sight lines within travel lanes.



Parking Section

Note: graphics for illustrative purposes only

E. Open Spaces

1. Design Criteria

In addition to the street layout, public open spaces are to become an organizational element with the development. The main goal is to develop a variety of green spaces that will occur throughout Wellington Glen. These green spaces may be within the streetscape, formal plaza spaces, informal spaces such as buffers, or parking lot plantings. The following guidelines define these potential open spaces.

2. Streets, Sidewalks, and Trails

As discussed in previous sections, all public open spaces are to be linked with pedestrian access via streets, sidewalks, or trails. Trails are utilized to link residential to the office uses through environmental corridors and wet ponds for passive recreation. Plaza spaces in front of buildings will provide access to the office or residential uses as well as provide potential locations for sitting areas and other hardscape elements. All trails being provided throughout the development will consist of one of the following materials selected as appropriate for the location: woodchip, crushed stone, or asphalt. Open spaces are to be used for passive use and sitting areas. Each of these connection points will have accent landscaping to define the transition into the public open spaces.



Note: graphics for illustrative purposes only

WELLINGTON GLEN

3. Natural Areas

Existing vegetation areas shall be preserved, particularly along environmentally sensitive areas and if grades permit, along the perimeter of the development.



4. Recreation

Active recreation will be provided in the residential section of Wellington Glen. The site will contain the following uses: swimming pool, bathhouse/clubhouse, and tot lot. Said uses will conform to the design theme of the development, and be landscaped to improve the aesthetics of the space. The recreation area will be properly screened from noncompatible uses to reduce the visual impact.



Note: graphics for illustrative purposes only

WELLINGTON GLEN

F. Landscape Design

1. Design Criteria

Landscaping is one of the key elements to be used throughout the development to connect and enhance the design themes. Several design concepts are to be adhered to while considering the potential landscape designs for the individual landbays and different uses. Each design should be simplistic and clear. The landscape is intended to enhance the development from a vehicular and a pedestrian standpoint. All plant material is to be of high quality and show vigor at the time of installation. All landscape plantings are to be designed with routine maintenance taken into account, to ensure the planting palette and overall design will not degrade over time. Landscaping for land zoned M-1, heavy industrial, shall be provided in accordance with the requirements of Prince William County, including approved waivers and modifications.

2. Material Selections

Typically, landscaping is concentrated at key design nodes rather than evenly distributed over the balance of the site. The latter often results in minimal or sparse landscape coverage. This design theme will include the use of specimen material and seasonal color. Such plant material is intended to differentiate key focal points through the use of planting beds, containing different colors and textures. The balance or the site design is to utilize a mix of plant material to promote a visually appealing planting theme.

Shrubs- Shrub selections are to be primarily evergreen to promote year round interest, and screen incompatible uses. Typically, deciduous shrubs are to be used as accent plantings, integrated into the planting beds at less prominent areas. The combination or the two shrub types will help create the desired layering effect throughout the design.

Ornamental Trees- Ornamental trees are to be used at key focal points to help provide seasonal color. The growth habits of the plant material will also assist in creating a vertical element in the landscape. Such trees will typically be around 20' in height at maturity.

Shade Trees- Shade trees are to be used along the streetscape, in open space, and parking lot islands. Said trees are to be large deciduous trees that will grow to at least 30' height at maturity. Shade trees are to be a minimum of 2"-21/2" caliper at the time of installation.

Evergreen Trees- Evergreen trees are to be used along incompatible uses and/or views to provide a visual barrier. The growth habit of the plant material will also help to screen undesirable views. The plant material are to grow to at least 15' height at maturity. Evergreen trees are to be a minimum of 6'-7' height at the time of installation.

3. Plant Massing

Large groupings of similar plant material is encouraged over beds containing multiple species. This will assist in reinforcing the design by creating large, sweeping views of like material, which can be accentuated at focal points with specimen plant material. The design goal is to create a planting palette hierarchy rather than a random grouping that will not tie the development together. In all cases the mature height and size of the plant material is to be taken into account to ensure the spaces will not become overgrown and lose effectiveness.

4. Landscape Beds

Special landscape treatment and extensive use of color are to be utilized at key locations throughout the development such as: roundabouts and monumental entrance areas for both residential and office. All landscape beds are to be clearly defined and differentiated from adjacent lawn areas. This method may be reconsidered at locations bordering naturalized and environmentally sensitive areas. All other locations are to contain defined beds using steel edging or curbing, spade edging, sidewalks, trails, etc. All single trees are to be enclosed in a mulch ring to reduce the risk of injury during routine maintenance.

5. Security Issues

To allow for easy surveillance and reduce the opportunity for 'blind' spots, all shrub masses and landscaped areas in high traffic locations are to be a maximum of 36" in height. All trees should be limbed up as necessary to create unobstructed views. This may be reviewed on a case by case basis due to plant material proximity to pedestrian use.

6. Native Plant Species

The use of native plant material is to be utilized for naturalized areas and environmentally sensitive areas only.

7. Street Trees

Street trees of uniform size and shape are to be typically spaced at 50' maximum intervals. Street trees are to be a minimum of 2"-2 1/2" caliper.

8. Lawn Areas

Lawn areas may either be seeded or sodded. It is recommended that sod be used at highly visible areas for immediate design impact and seed may be used in all other locations. A standard seed mix shall be determined for the entire project.

G. Signage

1. Design criteria

All signage located within Wellington Glen is an integral component of the design and development theme. The goal is to establish sign hierarchy through the preparation of a comprehensive sign plan that will link the development, providing direction, information, and identification both externally and internally. In addition, signage will integrate with the streetscape, landscaping, and overall design of the development. Material selections will be similar in character to repeat a community theme. The following guidelines are established to ensure that all signs are designed to be in conformance to provide a visually appealing experience and further reinforce the overall design of Wellington Glen. These guidelines are not to supercede Prince William County or State of Virginia regulations. The DRC will have final approval of all sign styles and material selections.

2. Materials

All signage materials are to be consistent with surrounding buildings and structures, and should be constructed of durable materials. All signage is to be weather resistant and kept in a state of good repair. All electrical components are to be screened from view. Sign typeface and logo is to be in understandable and recognizable styles and of appropriate color. No moving or rotating signs of any type are permitted.

3. Locations

Signs are to be located in logical and appropriate locations in order to identify components within the community. All signs are to conform to State, City and County regulations for signage. No signs are to be located in the public right-of-way.

4. Height and Size

Signs may be of different sizes and heights but it is generally preferable to have signs that do not dominate the landscape. Overall height and size will conform to Prince William County and State of Virginia standards.

5. Typeface and Logo

All sign typeface is to be limited to the information pertaining to the business or place being identified. All signs are to be simple and clear in the design without the use of unnecessary information. All sign text is to be clearly legible. Logos may be used as well to help convey the sign message in a more concise fashion.

6. Sign Types

There are to be a variety of sign types introduced throughout Wellington Glen. It is imperative the following sign types be utilized to ensure that each category meets the intent and overall design for the comprehensive sign plan.

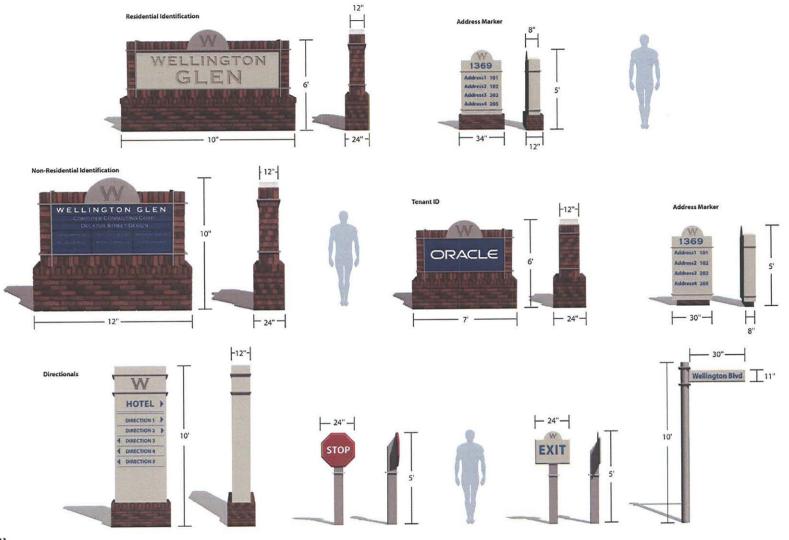
Residential Signs- These signs will be stand alone entrance features, and address signage that will identify a specific residential community and buildings within Wellington Glen.

Non-residential Signs- These signs will be used to identify various office buildings, hotels, and developments within Wellington Glen. They will also be used to identify specific non-residential buildings. These signs may be stand alone, identifying the specific tenant or building; or may be combined into one sign fisting of all tenants and/or buildings in a particular office development. These signs may include but are not limited to: monumental entrance features, street identification, address and directional information, regulatory, or regulatory traffic signs. Building façade signs shall be allowed as permitted and regulated in the Zoning Ordinance.

Sign Size- All signs are to be in proportion to the facade of the adjacent building or structure attached to. Under no circumstances are the signs to dominate the space or building facade.

Sign Color- Sign color will follow the sign program shown on the comprehensive sign plan. Sign color adds visual interest to the sign and adjoining streetscape. The use of too many colors will be avoided to reduce visual clutter. All sign colors are to be coordinated and themed accordingly.

Sign Lighting- Certain signs within Wellington Glen are to be illuminated. Lighting is used to enhance visibility of sign, safety, and are to be coordinated with sign materials. Under no circumstances is sign lighting to blink or cause undue visual distractions.



Wellington Glen

H. Review Procedures

1. Purpose of Regulations

Approval is required for all construction and improvements. To that end, a DRC shall be formed to carry out this review and approval responsibility. The DRC will establish rules governing the content of submission to builder's plans and the procedures for review of these plans. The DRC membership at the outset shall include, at a minimum, the developer, an architect, an engineer and, when available, a residential and a commercial member of the project community.

The purposed of these standards is to set forth requirements, procedures and technical criteria for the comprehensive review of site or development plans and exterior building elements. The DRC will establish criteria and enforcement policies that may go beyond government agency requirements, but will not take precedence over any governmental rules and regulations. Once County minimums are approved, additional criteria may be established by the DRC. The DRC shall have no authority to deny submissions for additions; alterations; or improvements that comply with the Design Guidelines.

The objective of the Wellington Glen DRC is to achieve equitable and consistent harmony between builders of this community and its neighbors. Plans requiring review will include: Development Plans, Site Plans, Architectural Plans, Material and Exterior Colors, Landscape Plans, Sales Area and Temporary Structure Plans, and Signage Plans.

2. Development Plans and Site Plans

Submission Requirements- The DRC reviews each submission presented. The following outline is required for submission to complete the approval process from design sketches to construction start, and the components are defined below in governing rules. Unless otherwise noted, this section deals only with Development Plans.

Information Required-

- 1. Basic information
- 2. Title block information
- 3. Base information
- 4. Submissions required
 - a. Preliminary submission
 - b. Schematic stage
 - c. Formal presentation stage
 - d. Final submission

Governing Rules- No development plan shall be submitted to Prince William County without the approval signature of the DRC. This approval may be granted after preliminary submission provided for below.

Prince William County submissions for development plan approval must not be made until the preliminary site plans have been approved with no changes or comments.

Building permits can be applied for, and site clearing and grading can begin after preliminary approval and proper County clearances have been granted. However, the actual construction start (excavation and the pouring of footings) will not commence until final plans have been approved without changes or comments.

3. Basic Information

Both submissions, preliminary and final, must contain the same basic information of TITLE BLOCK information as BASE information.

TITLE BLOCK Information- Title block information is to include (but not to be limited to) the name and address of the developer (builder) and the firm preparing the plan, parcel and/or lot designation(s), section, area, scale (minimum 1" = 30'-0"), north arrow, date of preparation and revisions to include an explanation of their nature and stage of submission (i.e. preliminary or final). **BASE Information-** Base information is to include (but not to be limited to) all existing conditions such as field-run topography at no more than two-foot intervals; existing trees with diameters (measured at a point twelve inches above the ground line) of four inches or greater (unless other criteria is approved by the DRC) located by elevation at base of tree, size, and common name; rock formations; springs; streams; etc. Also to be included (but not limited to) are existing manmade conditions such as properly labeled easements and rights-of-way, existing and proposed streets with names and elevations, proper labeling of lot or parcel with record plan dimensions, designations of adjacent lots, drainage systems, street trees, curb cuts and street lights.

Submissions- This submission may be done in two stages if the builder so elects, or if the project is of such complexity to so warrant. These would consist of a schematic stage and a formal preliminary stage. If the two-step procedure is not appropriate, please submit them as the formal preliminary stage.

Schematic Stage- The development plan should be a rough layout on the 'base' showing all proposed improvements to include (but not limited to)

building locations, vehicular systems, parking, pedestrian systems, outside storage, trash collection and facilities, and lighting plans.

If building plans are being developed with the development plan, the architecture at this stage shall be in concept form showing elevations and floor plans with basic dimensions.

The builder or his engineer is encouraged to tour the site and discuss his program with the DRC prior to starting the schematic. In the event a site sketch plan or parcel criteria has been developed, these documents shall be reflected in schematic submission unless previously discussed with the DRC.