



## COUNTY OF PRINCE WILLIAM

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PLANNING  
OFFICE

Rebecca Horner, AICP, CZA

Director of Planning

April 26, 2019

**TO:** Planning Commission

**FROM:** Keasha Chappell Hall  
Planning Office

**RE:** Special Use Permit #SUP2019-00001, Sheetz at Noble Pond Way  
**Occoquan Magisterial District**

**I. Background** is as follows:

- A. Request – This is a request for a Special Use Permit (SUP) to allow a motor vehicle fuel station with six double-sided pump islands, and a sign modification for additional signage.

Uses/Features	Existing	Proposed
<b>SUP Area</b>	N/A	±2.86 Acres
<b>Use(s)</b>	Vacant	Motor vehicle fuel station (retail) with quick service food store, restaurant, and sign modifications
<b>FAR</b>	0.40 maximum	0.04 proposed
<b>Building Height</b>	45 feet maximum	±35 feet
<b>Minimum Open Space</b>	20% as proffered	±34%

- B. Site Location. The property is addressed 3300 Noble Pond Way and is located on the north side of the intersection of Prince William Parkway and Noble Pond Way. The SUP site is identified on County maps as GPIN 8292-31-5455 (see maps in Attachment A).

- C. Comprehensive Plan – The site is predominately designated CEC, Commercial Employment Center, on the Long-Range Land Use Map in the Comprehensive Plan. A small portion of the site is designated ER, Environmental Resource.
- D. Zoning/Acreage – The ±2.86-acre site is zoned PBD, Planned Business District, and is designated as a commercial land bay pursuant to rezoning cases REZ#94-0028 as amended by REZ#97-0014 and PLN2000-00118. Lastly, the site is located in the Prince William Parkway Highway Corridor Overlay District.
- E. Surrounding Land Uses – The subject parcel is a part of the planned development Prince William Commons and is located along the Prince William Parkway commercial corridor. The site is surrounded by non-residential uses such as commercial and flexible use office facilities.
- F. Background and Context – The site is subject to proffers, pursuant to REZ#94-0028 as amended by REZ#97-0014 and PLN2000-00118, which will remain in effect if the SUP is approved.
- On September 6, 1988, the Board of County Supervisors (BOCS) approved #REZ1988-0044, which allowed the rezoning of 216.09-acres to PBD. Subsequent to rezoning case #REZ1988-0044, the proffers were superseded by REZ#94-0028 on October 26, 1994.
  - The proffers pursuant to #REZ94-0028 prohibited the following uses: car wash, funeral home, crematorium, motor vehicle sales, outside storage and automobile repair. The proffers further required a minimum of 65% of the total net floor area to be devoted to non-retail uses.
    - According to square footage calculations provided with the most recent site plan for Prince William Commons, the total non-retail area is 1,101,989-square-feet (SF), and the retail area is 207,503 SF. Currently the retail located in Prince William Commons is approximately 16% of the total net floor area.
  - On April 2, 1997, the BOCS approved proffer amendment REZ#97-0014, which supplemented the approved proffers pursuant to REZ#94-0028 with additional transportation improvements.
  - On July 25, 2000, the BOCS approved proffer amendment #PLN2000-00118, which supplemented the approved proffers pursuant to REZ#97-0014 and included language to allow for the development of a sports complex.

**II. Current Situation** is as follows:

- A. Planning Office Recommendation – Staff recommends approval of Special Use Permit #SUP2019-00001, subject to the conditions dated April 1, 2019, for the following reasons:
- The scale, architecture, and building material selection within the proposed SUP application are consistent with Community Design Policy Four in the Comprehensive Plan, which aims to upgrade the visual quality of major travel corridors.
  - As conditioned, the site shall be developed in a manner that exceeds the minimum standards in the areas of landscaping, open space, and pedestrian connectivity.
  - The proposed freestanding signage is human-scale, which is consistent with the Community Design Chapter of the Comprehensive Plan.
  - As conditioned, the anticipated impacts related to the development of the site have been adequately mitigated.
- B. Planning Commission Public Hearing – A public hearing before the Planning Commission has been advertised for May 8, 2019.

**III. Issues** in order of importance are as follows:

- A. Comprehensive Plan:
1. Long-Range Land Use – Is the proposed use consistent with those uses intended by the CEC, Commercial Employment Center, and ER, Environmental Resource, land-use designations?
  2. Level of Service – How does the proposal address the mitigation of impacts to existing levels of service?
- B. Strategic Plan
1. Robust Economy – How does the proposal help to foster a diverse local economy that creates a culture of innovation and achieves more quality jobs, economic opportunities, and an expanded commercial tax base?
- C. Community Input – Have members of the community raised any issues?
- D. Other Jurisdictional Comments – Have other jurisdictions raised any issues?

E. Legal Uses of the Property – What uses are allowed on the property? How are legal issues resulting from the Planning Commission’s action addressed?

F. Timing – When must the Planning Commission take action on this application?

**IV. Alternatives** beginning with the staff recommendation are as follows:

A. Recommend Approval of Special Use Permit, #SUP2019-00001, Sheetz at Noble Pond Way, subject to the conditions dated April 1, 2019.

1. Comprehensive Plan Consistency Analysis:

a) Long-Range Land Use – As previously mentioned, the subject site is zoned PBD and is designated CEC. The PBD is intended to implement the Office (O), Flexible Use Employment Center (FEC), and Regional Employment Center (REC), land use classifications of the Comprehensive Plan. Furthermore, the purpose of the CEC designation is to provide for areas of low- to mid-rise flexible use office space. Although the proposed auto-oriented use is a discouraged use within the CEC land use designation, the Applicant has included features that are consistent with the intended land use designations such as additional open space, pedestrian connectivity, and enhanced landscaping.

b) Community Design – The proposed SUP application is consistent with the Community Design Policy One, which encourages site, architectural, signage and landscape designs that complement the scale and character of the existing and planned development in the area. The proposed application utilizes high-quality finishes such as stone, glass, and cementitious building products on the facades. Additionally, the freestanding sign shall be limited to 10 feet, and shall have a decorative stone base. The design of the proposed use is consistent with the intent of the Community Design Chapter.

c) Level of Service (LOS) – The level of service impacts related to the request would be mitigated by the conditions as follows:

<b>Water Quality</b>	\$75 per acre	±2.86 acres	\$214.50
<b>Fire &amp; Rescue</b>	\$0.61 per SF of building area	±4,893 SF (new building)	\$2,984.73
<b>Total \$ Provided</b>			<b>\$ 3,199.23</b>

2. Strategic Plan:

a) Robust Economy – The SUP proposes a motor vehicle fueling station with an accompanying ±4,893-square-foot quick service food store with carry-out restaurant. Although the proposed application positively aligns with the Strategic Plan goal to increase the commercial tax base as a percentage of overall tax revenue to 35%, the vacant parcel is already designated for commercial uses. Therefore, proffered development of the site positively aligns with the Strategic Plan as well.

3. Community Input – Notice of the Special Use Permit application has been transmitted to property owners within 500 feet of the site. As of the date of this staff report, the Planning Office has not received any feedback from the community.

4. Other Jurisdictional Comments – The subject site is not located within the required notification area of any other jurisdiction.

5. Legal Uses of the Property – In addition to the proffered uses permitted pursuant to rezoning cases REZ#94-0028 as amended by REZ#97-0014 and PLN2000-00118, the site could be developed with a motor vehicle fuel station, subject an approved SUP. Legal issues resulting from the Planning Commission's action are appropriately addressed by the County Attorney's Office.

6. Timing – The Planning Commission has until August 6, 2019, which is 90 days from the first public hearing date, to take action on the SUP proposal. A recommendation to approve the SUP application would meet the 90-day requirement.

B. Recommend Denial of Special Use Permit, #SUP2019-00001, Sheetz at Noble Pond Way.

1. Comprehensive Plan Consistency Analysis:

a) Long-Range Land Use – A recommendation of denial of the SUP would not adversely impact the CEC, Commercial Employment Center, or ER, Environmental Resource, long-range land use designations for this property; and by-right uses permitted by the underlying proffers could be developed.

b) Level of Service – A recommendation of denial would not have an adverse impact on the existing level of service.

2. Strategic Plan:

a) Robust Economy – The SUP proposes a motor vehicle fueling station with an accompanying ±4,893 square-foot quick service food store with carry-out. Denial of the SUP would not impact the strategic goals to increase the commercial tax base by 35%. Currently, the subject site is proffered for commercial development which positively aligns with the Strategic Plan.

3. Community Input – Notice of the Special Use Permit application has been transmitted to property owners within 500 feet of the site. As of the date of this staff report, the Planning Office has not received any feedback from the community.

4. Other Jurisdictional Comments – The subject site is not located within the required notification area of any jurisdiction.

5. Legal Uses of the Property – If the Special Use Permit were denied, the property could be developed in accordance with the PBD, Planned Business District, in accordance with the proffers pursuant to rezoning cases REZ#94-0028 as amended by REZ#97-0014 and PLN2000-00118.

6. Timing – The Planning Commission has until August 6, 2019, which is 90 days from the first public hearing date, to take action on the SUP application. A recommendation to deny the SUP application would meet the 90-day requirement.

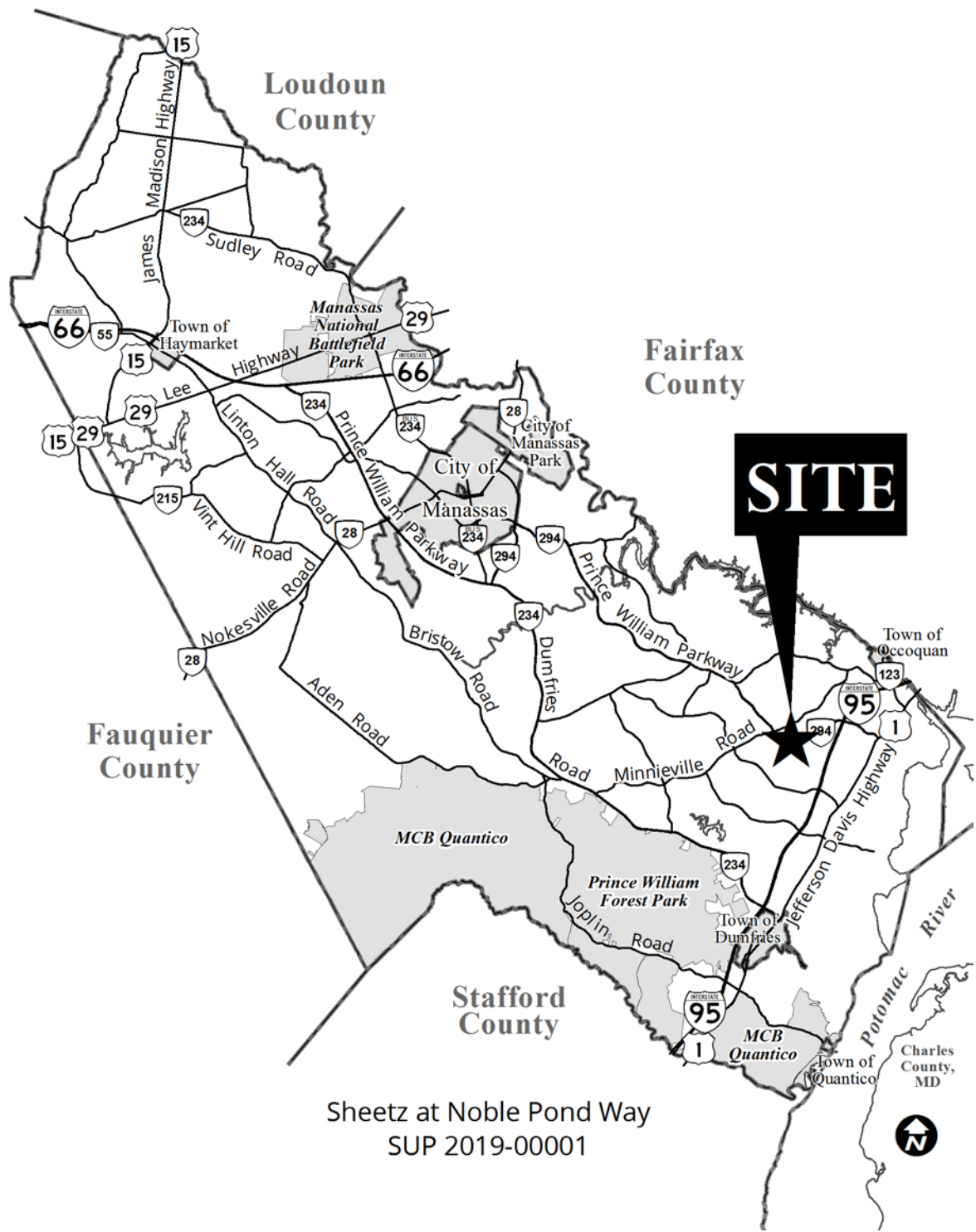
V. Recommendation is that the Planning Commission accept Alternative A and recommend approval of #SUP2019-00001, Sheetz at Noble Pond Way, subject to the conditions dated April 1, 2019.

**Staff:** Keasha Chappell Hall (ext. 6846)

**Attachments**

- A. Area Maps
- B. Staff Analysis
- C. Proposed Conditions
- D. SUP Plan
- E. Environmental Constraints Analysis (ECA)
- F. Building Elevations and Signage

Attachment A – Maps  
VICINITY MAP



Sheetz at Noble Pond Way  
SUP 2019-00001

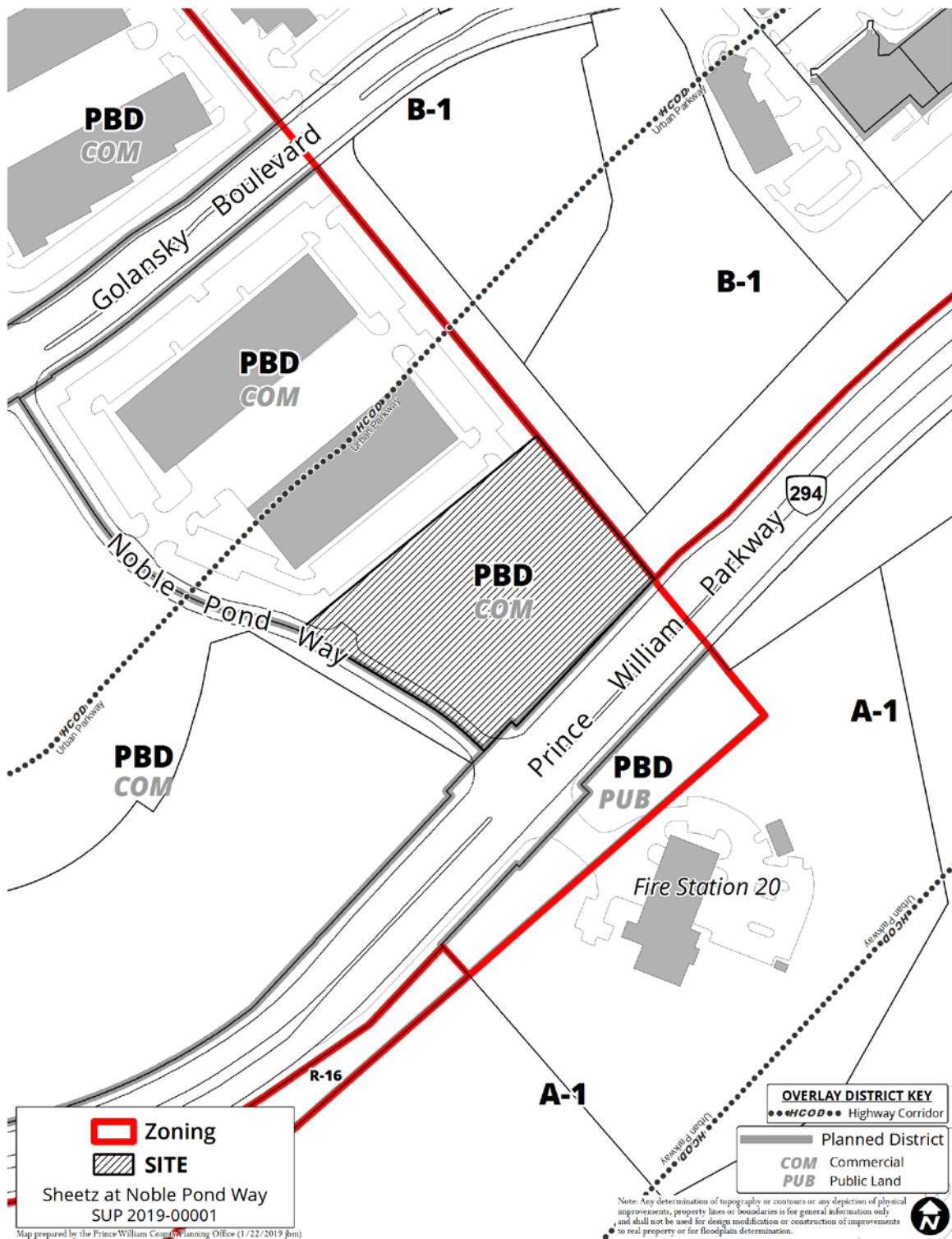


Attachment A – Maps  
AERIAL MAP

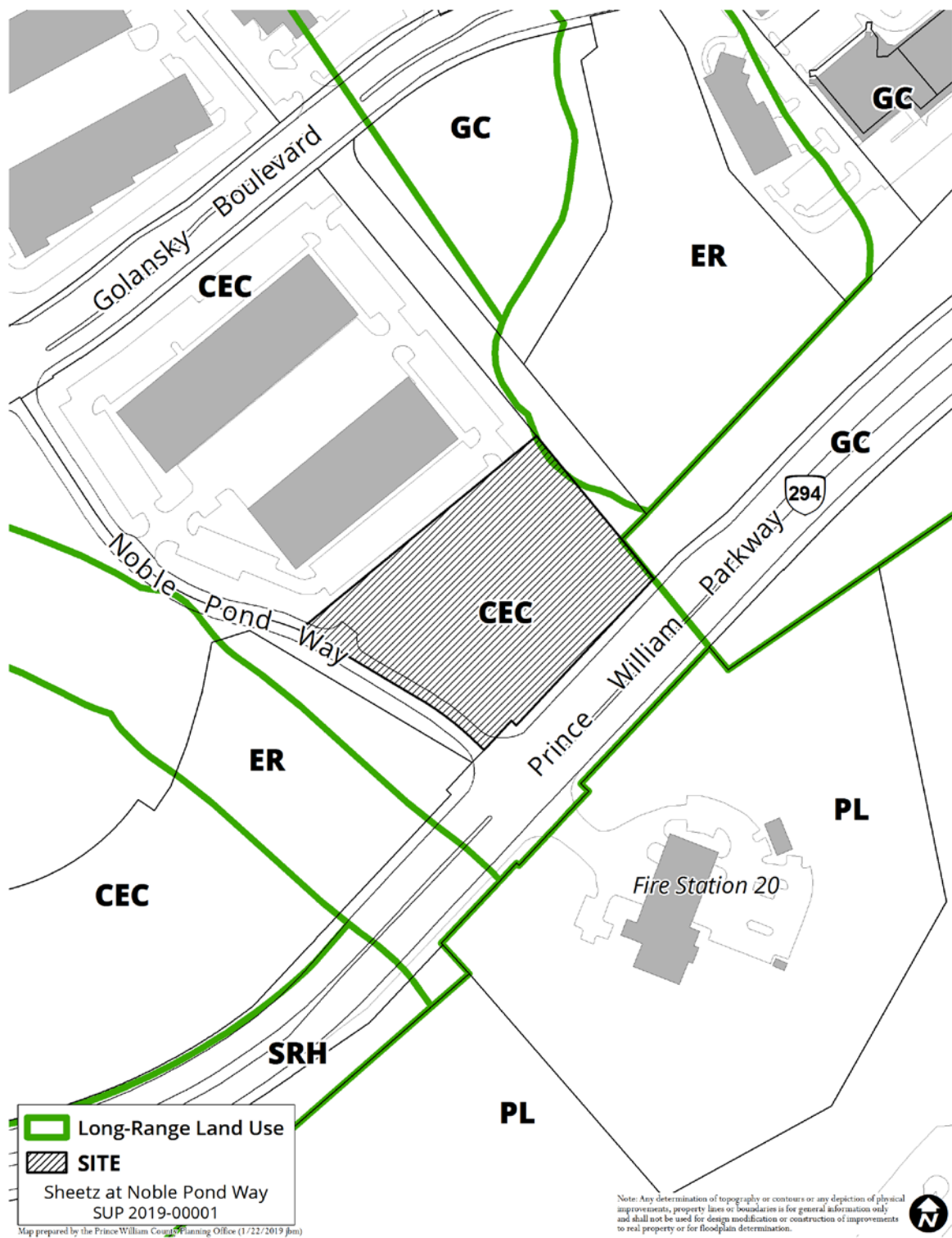




# Attachment A – Maps EXISTING ZONING MAP



Attachment A – Maps  
LONG-RANGE LAND USE MAP



<b>Part I. Summary of Comprehensive Plan Consistency</b>
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**Staff Recommendation: APPROVAL**

This summary analysis is based on the relevant Comprehensive Plan action strategies, goals, and policies. A complete analysis is provided in Part II of this report.

<b>Comprehensive Plan Sections</b>	<b>Plan Consistency</b>
Long-Range Land Use	Yes
Community Design	Yes
Environment	Yes
Fire & Rescue	Yes
Police	Yes
Potable Water	Yes
Sanitary Sewer	Yes
Transportation	Yes

<b>Part II. Comprehensive Plan Consistency Analysis</b>
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The following table summarizes the area characteristics (see maps in Attachment A):

<b>Direction</b>	<b>Land Use</b>	<b>Long-Range Future Land Use Map Designation</b>	<b>Zoning</b>
North	Office development	CEC	PBD
East	Small undeveloped parcels	GC, ER	B-1, A-1
South	Dale City Volunteer Fire State across Route 294	PL	PBD, A-1
West	Vacant parcels designated for office, research and development and/or commercial use.	CEC	PBD

**Long-Range Land Use Plan Analysis**

Through wise land use planning, the County ensures that landowners are provided a reasonable use of their land while the County is able to judiciously use its resources to provide the services for residents' and employers' needs. The Long-Range Land Use Plan sets out policies and action strategies that further the County's goal of concentrating on population, jobs, and infrastructure within vibrant, walkable, mixed-use centers serviced by transit. In addition to delineating land uses on the Long-Range Land Use Map, the Plan includes smart growth principles that promote a

## Attachment B – Staff Analysis

countywide pattern of land use that encourages fiscally sound development and achieves a high-quality living environment; promotes distinct centers of commerce and centers of community; complements and respects our cultural and natural resources, and preserves historic landscapes and site-specific cultural resources; provides adequate recreational, park, open space and trail amenities that contribute to a high quality of life for county residents; and revitalizes, protects, and preserves existing neighborhoods.

The subject site is in the Development Area of the County and is predominantly designated CEC, Community Employment Center, on the Long-Range Land Use Map, and a negligible portion of the site is designated ER, Environmental Resource. The following table summarizes the uses and densities intended within the CEC designation:

<b>Long-Range Land Use Map Designation</b>	<b>Intended Uses and Densities</b>
<b>Community Employment Center (CEC)</b>	The purpose of the Community Employment Center classification is to provide for areas of low- to mid-rise offices (including government offices, particularly those for Prince William County agencies), research and development, lodging, and mixed-use projects planned and developed in a comprehensive, coordinated manner. CEC projects shall be located at or near the intersection of principal arterials and major collector roads, or at commuter rail stations. Residential uses shall be considered secondary uses and shall represent no greater than 25 percent of the total CEC gross floor area of the project. Drive-in/drive-through uses are discouraged. Single-family attached or multifamily housing including elderly housing is permitted, at a density of 6-12 units per gross acre, less the ER designated portion of a property. Development in CEC projects shall occur according to an infrastructure implementation plan submitted at the time of rezoning. The intent of this plan is to ensure that critical infrastructure for office, employment, and lodging uses is developed adequately for each phase of the project. Development shall also occur according to a phasing plan that must ensure that office, employment, and lodging uses are always the primary uses within the area rezoned. Office development in CEC areas is encouraged to be in accordance with the <i>Illustrative Guidelines for Office Development</i> , provided as a supplement to the Community Design Plan chapter of the Comprehensive Plan and available from the Planning Office. A minimum office building height of 3-5 stories is preferred.
<b>Environmental Resource, (ER)</b>	This classification is explained in detail within the Environment Plan. Therein are located goals, policies, action strategies, and other Plan components designed to protect the sensitive nature of the identified resources. Environmental Resources include all 100-year floodplains as determined by the Federal Emergency Management Agency (FEMA), Flood Hazard Use Maps or natural 100-year floodplains as defined in the DCSM, and Resource Protection Areas (RPAs) as defined by the

	Chesapeake Bay Preservation Act. In addition, areas shown in an environmental constraints analysis submitted with a rezoning or special use permit application with wetlands; 25 percent or greater slopes; areas with 15 percent or greater slopes in conjunction with soils that have severe limitations; soils with a predominance of marine clays; public water supply sources; and critically erodible shorelines and stream banks are considered part of the Environmental Resource Designation.
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### **Proposal's Strengths**

- **Land Use Compatibility** – The subject parcel is currently zoned PBD, Planned Business District, which is not intended to implement the CEC long-range land use designation. The Zoning Ordinance explains the relationship between the PBD, Planned Business District and the Comprehensive Plan. Section 32-280.01(4) states the PBD is intended to implement the (O) Office, (FEC) Flexible Use Employment Center, and (REC) Regional Employment Center, land use classifications of the Comprehensive Plan. Although the PBD zoning classification was not intended to implement the CEC land use designation, the Comprehensive Plan indicates the two classifications can be developed compatibly.
- **Use Compliance** – The property is zoned PBD, and motor vehicle fueling stations are permitted subject to an approved SUP. Furthermore, the underlying proffers do not specifically exclude fueling stations within the list of prohibited uses.

### **Proposal's Weaknesses**

- **Land Use Inconsistency** – The CEC long-range land use classification of the Comprehensive Plan discourages drive-through/drive-in related uses. The proposed motor vehicle fueling station is not an encouraged primary use within the CEC.
- **Building Height** – Building heights of 3-5 stories are encouraged within the CEC. The subject application proposes a one-story building up to 20-feet tall with an accompanying gas canopy that may extend up to 22-feet tall.

**On balance**, the application is found to be consistent with the relevant components of the Long-Range Land Use Plan.

## **Community Design Plan Analysis**

An attractive, well-designed County will attract quality development, instill civic pride, improve the visual character of the community and create a strong, positive image of Prince William County. The Community Design Plan sets out policies and action strategies that further the County's goals of providing quality development and a quality living environment for residents, businesses and visitors, and creating livable and attractive communities. The Plan includes recommendations relating to building design, site layout, circulation, signage, access to transit,



## Attachment B – Staff Analysis

landscaping and streetscaping, community open spaces, natural and cultural amenities, stormwater management, and the preservation of environmental features.

### **Sign Modification Request**

Section 32-250.23 of the Zoning Ordinance allows the Board of County Supervisors to approve signage that is not consistent with the sign standards within the Zoning Ordinance as part of a rezoning or SUP request.

The Applicant is requesting the following additional signage:

Sign Type	Allowed	Proposed
Building Façade Signs	3 for corner lots 400 sf cumulative maximum	4 façade signs 104.34 sf cumulative maximum
Canopy Signs	2 canopy signs 20 sf per face	3 canopy signs 25.94 sf per face
Freestanding Signs	1 sign; max size per face = 40 sf Max height = 10' Min setback = 10'	1 sign; 61.64 sf max 10 feet, max height 10 feet, min set back

Pursuant to Section 32-250.23 of the Zoning Ordinance and in the context of this subject SUP proposal, the following criteria must be considered in order to grant modifications for signage:

a. *Nature of Proposed Use*

*The nature of the proposed use, including such factors as whether the use is a destination or one that relies more on drive-by visibility.*

The Applicant indicates the proposed use is a destination use that will frequently rely on drive-by visibility. Due to the nature of the proposed use, visibility of the signage and fuel pricing signs, are a key component of customer acquisition for motor vehicle fueling stations.

b. *Character of the Existing Area*

*The character of the existing area and the impact on the visual appearance of adjacent and nearby properties and rights-of-way, particularly entrances to the County from the interstate highways or surrounding jurisdictions, and the major streets leading from those entrances.*

As narrated by the Applicant, the subject site it is located within an area that is zoned PBD and is located along a high-volume transportation corridor, which relies on identifiable signage.

## Attachment B – Staff Analysis

c. Unique Situation

*Whether a unique situation exists, causing a need that is not recurring in nature.*

While a truly unique situation does not exist, the Applicant contends that a fuel facility by its very nature requires clear and distinct signage on site. Signage must be located precisely within the property limits in order to direct the customer through the site and provide adequate notice for navigation. The use therefore is unique in that it requires effective and purposeful signage that limits indiscriminate or random guessing on behalf of its patrons.

d. Comprehensive Plan Designation

*The area's designation on the County's Comprehensive Plan.*

The subject site is primarily designated CEC, Community Employment Center, on the Long-Range Land Use Map. Signage is not specifically addressed within this section of the Land Use chapter; but is encouraged to be in accordance with the Illustrative Guidelines for Office Development and Community Design Chapter of the Comprehensive Plan.

e. Special Visual Obstruction

*The existence of a special visual obstruction or difficulty in locating the use, making the application of the general provisions of this section too restrictive.*

There are no visual obstructions to the site.

f. Highway Corridor Overlay District (HCOD)

*Whether the use and/or proposed sign is within a Highway Corridor Overlay District (HCOD).*

The property is located within the Prince William Parkway Highway Corridor Overlay District, approved after February 20, 1996.

### **Proposal's Strengths**

- Open Space – The Applicant has exceeded the minimum requirements for open space by designating 34% of the site for open space. Further aligning with the proffered Prince William Commons Design Guidelines which aimed to create a “park-like” environment.
- Design – The Applicant has provided preliminary elevations that are consistent with the Community Design Chapter’s aesthetic goals and guidelines. The building materials utilized include quality finishes such as glass, natural stone, and cementitious materials. The proposed canopy is understated, which reduces its visual massing, and the proposed building architecture includes façade step backs and roofline variations.
- Pedestrian Accessibility – As illustrated on the SUP Plan, the Applicant shall provide a pedestrian connection from the class one trail along Prince William Parkway to the

## **Attachment B – Staff Analysis**

southern quadrant of the property. This addition positively aligns with Community Design Policy Two, which encourages site, building, and landscape designs that result in the creation of safe and accessible pedestrian circulation.

- Vehicular Accessibility – Community Design Policy Seven speaks to developing well-functioning commercial areas that enhance the existing commercial areas in the vicinity. Specifically, Design Strategy 7.4 encourages the consolidation of access points and reconfiguration of internal circulation drives to improve vehicular and traffic safety, in a manner that does not cause internal congestion and encourages the creation of interparcel connections to permit vehicular movement between adjacent commercial properties. As designed, interparcel access is provided to the neighboring uses, and by preserving the existing entrance point via Noble Pond Way the Applicant is not adding an additional access point from Prince William Parkway.
- Screening – As conditioned, the Applicant shall substantially conform to the Landscape Plan proposed, which includes an increased amount of plant units along Prince William Parkway.
- Site Layout – As depicted on the SUP Plan, the canopy is located perpendicular to Prince William Parkway which greatly reduces visual impacts such as glare and excessive light pollution.

### **Proposal's Weaknesses**

- None identified.

On balance, this application is found to be consistent with the relevant components of the Community Design Plan.

## **Environment Plan Analysis**

Prince William County has a diverse natural environment, extending from sea level to mountain crest. Sound environmental protection strategies will allow the natural environment to co-exist with a vibrant, growing economy. The Environment Plan sets out policies and action strategies that further the County's goal of preserving, protecting and enhancing significant environmental resources and features. The Plan includes recommendations relating to the incorporation of environmentally sensitive development techniques, improvement of air quality, identification of problematic soil issues, preservation of native vegetation, enhancement of surface and groundwater quality, limitations on impervious surfaces, and the protection of significant viewsheds.

As confirmed during a field survey, there are no Resource Protection Areas (RPA) located on the site. The site is located in watershed #835, which is in the Neabsco Creek watershed.

### **Proposal's Strengths**

- Environmental Features – There is no mapped RPA on the site.
- Impact Mitigation – As conditioned, the Applicant shall contribute \$75.00 per acre ( $\pm$  2.86 acres) as a condition of issuance of the final site plan approval.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Environment Plan.

## **Fire and Rescue Plan Analysis**

Quality fire and rescue services provide a measure of security and safety that both residents and businesses have come to expect from the County. The Fire and Rescue Plan sets out policies and action strategies that further the County's goal of protecting lives, property, and the environment through timely, professional, humanitarian services essential to the health, safety, and well-being of the community. The Plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility for fire and rescue facilities. The plan also includes recommendations to supplement response time and reduce risk of injury or death to County residents, establishment of educational programs, such as cardio-pulmonary resuscitation (CPR) training, automatic external defibrillators (AED), and encourage installation of additional fire protection systems—such as sprinklers, smoke detectors, and other architectural modifications.

The site is served by Fire and Rescue Station #20, Prince William Commons, which is located directly across PW Parkway. According to FY2017 figures, Fire Station #20 responded to 4,770 incidents, and the station's workload capacity is 2,200 incidents.

### **Proposal's Strengths**

- 8.0 Minute Response Time – The site is within the recommended 8.0-minute response time for advanced life support for Prince William County.
- 4.0 Minute Response Time – The site is within the recommended 4.0-minute response time for fire suppression and basic life support for Prince William County.
- Level of Service – As conditioned, the Applicant shall mitigate the associated LOS impacts in the form of a monetary contribution of \$0.61 per square foot of building and canopy area.

### **Proposal's Weaknesses**

- **Station Workload** – According to FY2017 figures, Fire and Rescue Station #20 is operating over capacity. Staff notes that this station workload data is reflective of conditions before the opening of Fire and Rescue Station #26 (Bacon Race) in September 2017. More recent station workload data is not currently available. There are no additional planned County Improvement Program (CIP) improvements in this immediate vicinity in FY2019-FY2024 for Fire and Rescue. Although, the addition of Station 22 (West End) and Station 27 (East End) could result in improved station workloads for many existing stations.

**On balance**, this application is found to be consistent with the relevant components of the Fire and Rescue Plan.

### **Police Plan Analysis**

Residents and businesses expect a high level of police service for their community. This service increases the sense of safety and protects community investments. The Police Plan is designed to promote Prince William County's public safety strategic goal to continue to be a safe community, reduce criminal activity, and prevent personal injury and loss of life and property, as well as to ensure effective and timely responses throughout the County. The Plan encourages funding and locating future police facilities to maximize public accessibility and police visibility as well as to permit effective, timely response to citizen needs and concerns. The Plan recommends educational initiatives, such as Neighborhood and Business Watch, and Crime Prevention through Environmental Design (CPTED), which encourages new development to be designed in a way that enhances crime prevention. The plan also encourages effective and reliable public safety communications linking emergency responders in the field with the Public Safety Communications Center.

The Police Station that serves the subject site is the Central District Police Station. During a one-year period from July 2017-July 2018 two of the Sheetz locations in the County experienced 332 calls for service. Staff encourages the Applicant to apply the best practices of Crime Prevention Through Environmental Design (CPTED) during the site plan review.

### **Proposal's Strengths**

- None identified.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Police Plan.



### **Potable Water Plan Analysis**

A safe, dependable drinking water source is a reasonable expectation of County residents and businesses. The Potable Water Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound drinking water system. The plan includes recommendations relating to system expansion, required connections to public water in the Development Area, and the use of private wells or public water in the Rural Area.

The property is located within the development area of the County and public water is currently available to the site.

#### **Proposal's Strengths**

- Public Water – As conditioned, the subject property shall be connected to public water. The applicant shall be responsible for the cost of providing all facility improvements necessary for the connection.

#### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Potable Water Plan.

### **Sanitary Sewer Plan Analysis**

Appropriate wastewater and sanitary facilities provide needed public health and environmental protections. The Sanitary Sewer Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound sanitary and stormwater sewer system. The plan includes recommendations relating to system expansion, required connections to public sewer in the development area, and the use of either private or public sewer systems in locations classified as Semi-Rural Residential (SRR), as well as the Rural Area.

The property is located within the Development Area of the County and public sewer is available to the subject site.

#### **Proposal's Strengths**

- Public Sewer – As conditioned, the subject property shall be connected to public sewer. The Applicant shall be responsible for the cost of providing all on and off-site facility improvements necessary for the connection.

### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Sanitary Sewer Plan.

### **Transportation Plan Analysis**

By providing a multi-modal approach to traffic circulation Prince William County promotes the safe and efficient movement of goods and people throughout the County and surrounding jurisdictions. The Transportation Plan sets out policies and action strategies that further the County's goal of creating and sustaining an environmentally friendly, multi-modal transportation system that meets the demands for intra- and inter-county trips, is integrated with existing and planned development, and provides a network of safe, efficient, and accessible modes of travel. The plan includes recommendations addressing safety, minimizing conflicts with environmental and cultural resources, maximizing cost effectiveness, increasing accessibility of all travel modes, minimizing projected trip demand, and providing sufficient network capacity. Projects should include strategies that result in a level of service (LOS) of "D" or better on all roadway corridors and intersections, reduce traffic demand through transportation demand management strategies, dedicate planned rights-of-way, provide and/or fund transit infrastructure, pedestrian and bicycle pathways, and improved and coordinated access to transit facilities.

A Traffic Impact Analysis (TIA) was conducted to confirm that the transportation system can adequately support the proposed development. Specifically, the analysis included:

- Year 2018 existing land use and transportation system conditions within the site vicinity;
- Forecast year 2020 background traffic conditions (without site development) during the weekday a.m., weekday p.m., and Saturday midday peak periods including in process/ approved developments and regional growth;
- Trip generation and distribution estimates for the proposed development;
- Forecast year 2020 total traffic conditions based on full build out of the development including queuing and turn lane analyses;
- Access management evaluation.

As narrated in the TIA, the development is estimated to generate approximately 1,174 net new weekday daily trips, 91 weekday a.m. (47 in, 44 out), and 90 weekday p.m. (47 in, 43 out) peak hour trips when fully built out in year 2020. The development is anticipated to generate 2,203 net new Saturday trips and 114 (56 in/58 out) Saturday midday peak hour trips.

### DAILY LEVEL OF SERVICE ANALYSIS

The daily level of service represents the relationship of the daily volume on a roadway to the capacity of that roadway. It also relates to the speed of traffic versus the expected speed of traffic over the course of a normal weekday. The daily level of service provides a planning tool to understand the relationship of travel patterns and to help understand the impacts of large land use changes and large-scale roadway changes within the County. The daily LOS from the County model (as referenced in Strategy R1.1 and Appendix A of the Comprehensive Plan) is not to be confused with a peak hour LOS analysis – which is generally derived from traffic impact analyses and focuses on the impacts of traffic signal timings, intersection lane geometries, turning movements, and peak hour volumes.

The following table provides information concerning the average annual weekday daily volumes and levels of services of roadways important to this development:

Roadway Name	Number of Lanes	2017 VDOT Volume	2015 Daily LOS
Prince William Parkway (Rt 294)	6	51,000 vpd	C

Per the Transportation Chapter of the Comprehensive Plan, Rezoning or Special Use Permits for residential and nonresidential use shall meet the established LOS standards for roadways and intersections. Applications that fail to meet the LOS standards shall be generally considered inconsistent with the Transportation Chapter of the Comprehensive Plan. As shown in the chart above, the transportation system meets the desired standards set forth in the Comprehensive Plan.

#### **Proposal's Strengths**

- Daily Level of Service – The proposed application will not have an adverse effect on current levels of service.
- Interparcel Connectivity – The Applicant has submitted a SUP Plan that incorporates access from the neighboring parcel.

#### **Proposal's Weaknesses**

- None identified.

**On balance**, this application is found to be consistent with the relevant components of the Transportation Plan.

### **Strategic Plan**

This section of the report is intended to address the project's alignment with the outcomes provided within the County's Strategic Plan. The Strategic Plan posits that individuals, families and businesses prefer communities with a robust economy; easy access to jobs, services and activities; that support even the most vulnerable in the community; are safe and secure; and provide a quality education that assures lifelong learning and steady employment. From this analysis, the Strategic Plan Team developed five strategic goal areas to guide Board actions: "Robust Economy," "Mobility," "Wellbeing," "Safe and Secure Community," and "Quality Education and Workforce Development." It is important to note that no single area is viewed as more critical than another. Rather, each are interrelated and have direct impact on each other. Collectively, these goal areas impact the quality of life in all facets of the community issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The aspects of the proposal relative to the Strategic Plan are as follows:

- **Robust Economy** – The SUP proposes a motor vehicle fueling station with an accompanying ±4,893 square-foot quick service food store with carry-out. The land is currently undeveloped and is designated for commercial uses. Although the proposed application positively aligns with the Strategic Plan goal to increase the commercial tax base as a percentage of overall tax revenue to 35%; the subject SUP is not proposing an untapped source of commercial revenue.

### **Materially Relevant Issues**

This section of the report is intended to identify issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The materially relevant issues in this case are as follows:

- None identified.

### **Agency Comments**

The following agencies have reviewed the proposal and their comments have been summarized in relevant comprehensive plan chapters of this report. Individual comments are in the case file in the Planning Office:

- PWC Planning Office – Case Manager, Zoning Administration
- PWC Department of Development Services – Land Development Division
- PWC Department of Fire & Rescue – Fire Marshal's Office

## **Attachment B – Staff Analysis**

- PWC Police Department – Crime Prevention
- PWC Public Works – Watershed Management
- PWC Service Authority
- PWC Transportation Department
- VDOT – Virginia Department of Transportation



## Attachment C – Proposed Conditions

### PROPOSED CONDITIONS

**Owner: Parkway East LLC**

**Applicant: Sheetz, Inc.**

**Special Use Permit: SUP2019-00001, Sheetz at Noble Pond Way**

**Sheetz at Noble Pond Way**

**Prince William County GPIN 8292-31-5455**

**Special Use Permit Area: +/-2.86 acres (the "Property")**

**Existing Zoning: PBD, Planned Business District**

**Magisterial District: Occoquan**

**Date: April 1, 2019**

The following conditions are intended to offset some of the impacts of the proposal and would render the application consistent with the applicable chapters of the Comprehensive Plan. If the conditions of this special use permit or the "SUP Plan" are in conflict with the Zoning Ordinance approved proffers or the Design and Construction Standards Manual (DCSM), the more restrictive shall apply unless otherwise specified herein.

The Applicant shall file a site plan within one (1) year of approval of this special use permit and shall have up to five (5) years from the date of final site plan approval to commence the proposed use. Issuance of an occupancy permit constitutes commencement of the use. The term "Applicant" as referenced herein shall include within its meaning the lessee and/or all current/future owners and successors in interest.

1. Site Development – The Property shall be developed in substantial conformance with the special use permit plan entitled "Special Use Permit for Sheetz Noble Pond Way," prepared by Bohler Engineering, dated June 27, 2018, revised April 1, 2019 (the "SUP Plan") subject to minor modifications in connection with final site plan review or final engineering. The uses permitted with this SUP do not limit or restrict the by-right uses otherwise allowed on the Property.
2. Use Parameters
  - a. Use Limitation – The use approved with this special use permit (SUP) shall be limited to a retail motor vehicle fuel station containing six (6) double sided fueling pumps, (i.e., twelve (12) fueling positions), which is in connection with a quick service food store and restaurant as shown on the SUP Plan.
  - b. Hours of Operation – Hours of operation may be twenty-four (24) hours per day, seven (7) days a week.
  - c. Outdoor Speaker System – Any outdoor speaker system shall be limited to one speaker per pump fueling position. Outdoor speakers shall not be audible beyond the limits of the SUP area.
  - d. Vehicle Service and Repair – Vehicle service and/or repair shall not be performed in association with the motor vehicle fueling station.

## Attachment C – Proposed Conditions

- e. Cessation of Use – If the sale of motor vehicle fuel should cease for a period of more than one year, the Applicant or any subsequent owner of the Property shall notify the County of the cessation of use and shall be required to submit a demolition plan to Building Development for the removal of the following structures within sixty (60) calendar days of approval of the demolition plan:

- i. Underground fuel storage tanks;
- ii. Fuel dispensers;
- iii. Pump islands;
- iv. Overhead canopy;
- v. Air and water dispensers; and
- vi. Signage related to motor vehicle fuel sales.

In the event that all uses are discontinued, and the site is vacant, the owner shall stabilize the site using erosion control measures acceptable to the Prince William County Division of Environmental Services.

### 3. Community Design

- a. Architecture – The design of the fuel station building and fuel facility canopy, shall substantially conform to the following architectural elevations, (collectively the “Elevations”):
- i) “Front and Left-side Exterior Elevations,” prepared by Sheetz, dated June 2018, revised February 2019 (Sheet 1 of 2); and
  - ii) “Rear and Right-side Exterior Elevations,” prepared by Sheetz, dated June 2018, revised February 2019 (Sheet 2 of 2).
  - iii) “Gas Canopy Awning Details,” prepared by Convenience Architecture and Design P.C., dated February 26, 2019, hereinafter referenced as “Canopy Exhibit.”

The Building Elevations may be subject to minor modification approved by the County in connection with site plan review. Additional changes to the architecture and materials may be made provided that any such changes are approved by the Planning Director or assigned designee, prior to the issuance of a building permit release letter. Such approval shall be based on a determination that the changes result in a building & canopy that is of equal or better quality than that shown on the Elevations. At least two weeks prior to requesting a building permit release letter from Development Services, the Applicant shall submit building and canopy elevations so that it may ensure compatibility of the canopy and the Elevations. The Board’s approval of this Special Use Permit and these conditions shall evidence compliance with Proffer #5.b approved with Rezoning #94-0028.

### b. Landscaping

- i. The Applicant shall provide landscaping on-site in substantial conformance with Sheet 3 of the SUP Plan, subject to minor changes approved by the

## Attachment C – Proposed Conditions

County during site plan review. Said landscaping shall meet the minimum requirements of the Design and Construction Standards Manual (DCSM). All the plantings shall be indigenous and drought-resistant or as otherwise approved at final site plan.

- ii. As shown on Sheet 3 of the SUP Plan, the Applicant shall provide a minimum of 34% open space. Compliance shall be demonstrated on the final approved site plan.
- c. Soil Remediation – To facilitate adequate expansion of tree and shrub roots to support healthy plants, all landscape areas, parking lot islands, and buffers, which have been subject to existing pavement and/or compaction shall have, prior to planting: a) all foreign materials (asphalt, concrete, rock, gravel, debris, etc.) removed and the soil loosened to a depth of a minimum of 3', and b) a top dressing of 4" to 6" of clean topsoil provided. This topsoil shall be a loam, sandy loam, clay loam, silt loam, or sandy clay loam. The topsoil shall not be a mixture of or contain contrasting textured subsoils. The topsoil shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, sticks, roots, trash, or other materials larger than 1" in diameter and shall not contain gravel. The topsoil shall contain a minimum of 5% natural fine organic matter, such as leaf mold, peat moss, etc.
- d. Existing Easements to be Vacated – As identified on Sheet 2 of the SUP Plan, the Applicant shall vacate those easements identified as "existing easement to be vacated," subject to County and/or Grantee approval.
- e. Outdoor Displays – The outdoor display of merchandise shall be limited to ice and propane and its placement shall be limited to placement along the east and south elevation.
- f. Signage – All signage is subject to approval of a sign permit per the Zoning Ordinance and shall comply with the standards set forth in the Zoning Ordinance and DCSM. Signage shall be in substantial conformance with the sign modifications described in Condition #11 of this SUP. In addition, the following shall apply to signage and advertisements on the Property:
  - i) Promotional/Advertising Materials – Except for grand opening events or special events (subject to temporary sign permit), the use of banners, balloons, streamers, pendants, figurines, and similar attention-getting devices shall be strictly prohibited, including promotional signs affixed to the façade of the building, on light poles, or on other fixtures on the Property.
  - ii) Handicapped Parking Signage – Parking and signage for handicapped customers shall be provided on-site or off-site, in accordance with the DCSM and other current standards.

## Attachment C – Proposed Conditions

- iii) Permits – Sign permits are required for all signs. Color, scaled renderings of all signage shall be submitted as part of the sign permit approval process.
- iv) Directional Signage – Directional signage shall be provided as required and/or needed.
- v) The Planning Director or assigned designee may approve any changes to overall sign design including logo, font size, color, illumination type and style, provided that the total sign area and the number of signs does not exceed the sign regulations of the Zoning Ordinance and/or the conditions of this SUP.

### d. Lighting

- i) Freestanding Light Fixtures – Freestanding light fixtures shall be limited to 24 feet in height, shall be full cutoff and directed downward, and shall not be directed towards the Property line.
- ii) Prohibited Lighting – There shall be no external neon and/or free-standing spot lighting fixtures.
- iii) Building Mounted Exterior Lighting – Building-mounted light fixtures shall be full cutoff and shall be directed downward.
- iv) Patriotic Flag – In the event the applicant provides a U.S. flag on the Property, the nighttime lighting for said flag may be provided pursuant to Section 32-250.207(1) of the Zoning Ordinance.

### 4. Maintenance of the Property

- a. Site Maintenance – The Applicant shall remove litter, trash and debris from the Property on a daily basis.
- b. Graffiti Removal – Graffiti on the site shall be removed promptly by the Applicant. Graffiti shall be deemed any inscription or marking on walls, buildings, or structures not permitted by sign regulations in Sec. 32-250.2(1) of the Zoning Ordinance. Any graffiti is to be reported to the Prince William County Police Department before removal.

### 5. Environment

- a. Water Quality – The Applicant shall contribute \$75 per acre (+/-2.86 acres) at the time of final site plan review to the Prince William County Board of County Supervisors to conduct water quality monitoring, stream restoration projects, and/or drainage improvements.

## Attachment C – Proposed Conditions

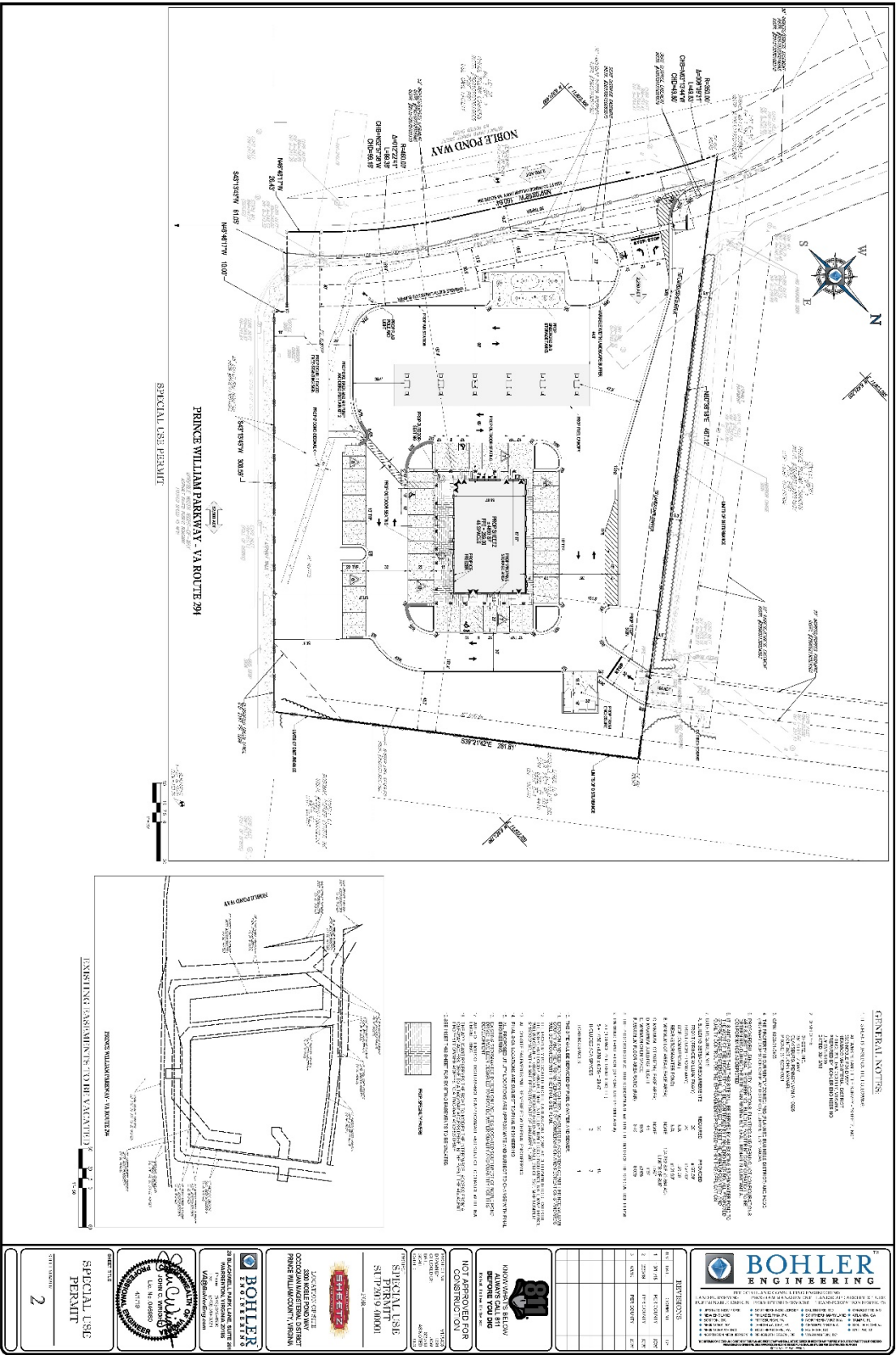
- b. Stormwater Management – SWM/BMP shall be provided on-site or off-site as determined at final site plan.
  - c. Hazardous Materials – The discharge of fuel, oil, solvents, anti-freeze, and/or other pollutants, hazardous materials, or flammable substances into the public sewer, storm drainage, or other surface waters is strictly prohibited.
6. Fire and Rescue
- a. Monetary Contribution – The Applicant shall make a monetary contribution of \$0.61 per square foot of building and under-canopy area for fire and rescue services to the Board of County Supervisors prior to, and as a condition of issuance of the final site plan approval.
  - b. Emergency Spill Contingency/Notification – The Applicant shall prepare an emergency spill notification contingency plan and shall have the same approved by the Fire Marshal's Office and posted on the premises before the issuance of any occupancy permits. The Applicant shall be responsible for notifying the Fire Marshal's Office immediately in the event of a spill of any petroleum or chemical waste on the Property. The Applicant shall assume full responsibility for the costs incurred in the cleanup of such spills.
7. Transportation
- a. Access – Access to the site shall be provided in accordance to the SUP Plan.
  - b. Obstruction of Travelways – The Applicant shall ensure that any vehicles associated with the use of the Property do not obstruct the travel ways, fire lanes, adjoining road network, or parking spaces as shown on the SUP Plan
8. Connection to Public Water & Sewer – The Property shall be connected to public water and sewer with the Applicant bearing all costs associated with providing all on- and off site facilities to make such connection.
9. Grease Trap – An appropriately sized and designed grease trap shall be provided on site and shown on the final site plan. The grease trap shall be properly maintained to prevent grease build-up in the force main or gravity sewer.
10. Monetary Escalator – In the event the monetary contributions set forth in the development conditions are paid to the Prince William Board of County Supervisors within eighteen (18) months of the approval of this special use permit, as applied for by the Applicant, said contributions shall be in the amounts stated herein. Any monetary contributions set forth in the development conditions which are paid after eighteen (18) months following the approval of this special use permit shall be adjusted in accordance with the Urban Consumer Price Index (CPI-U) published by the United States Department of Labor, such that at the time the contributions are paid they shall be adjusted by the percentage change

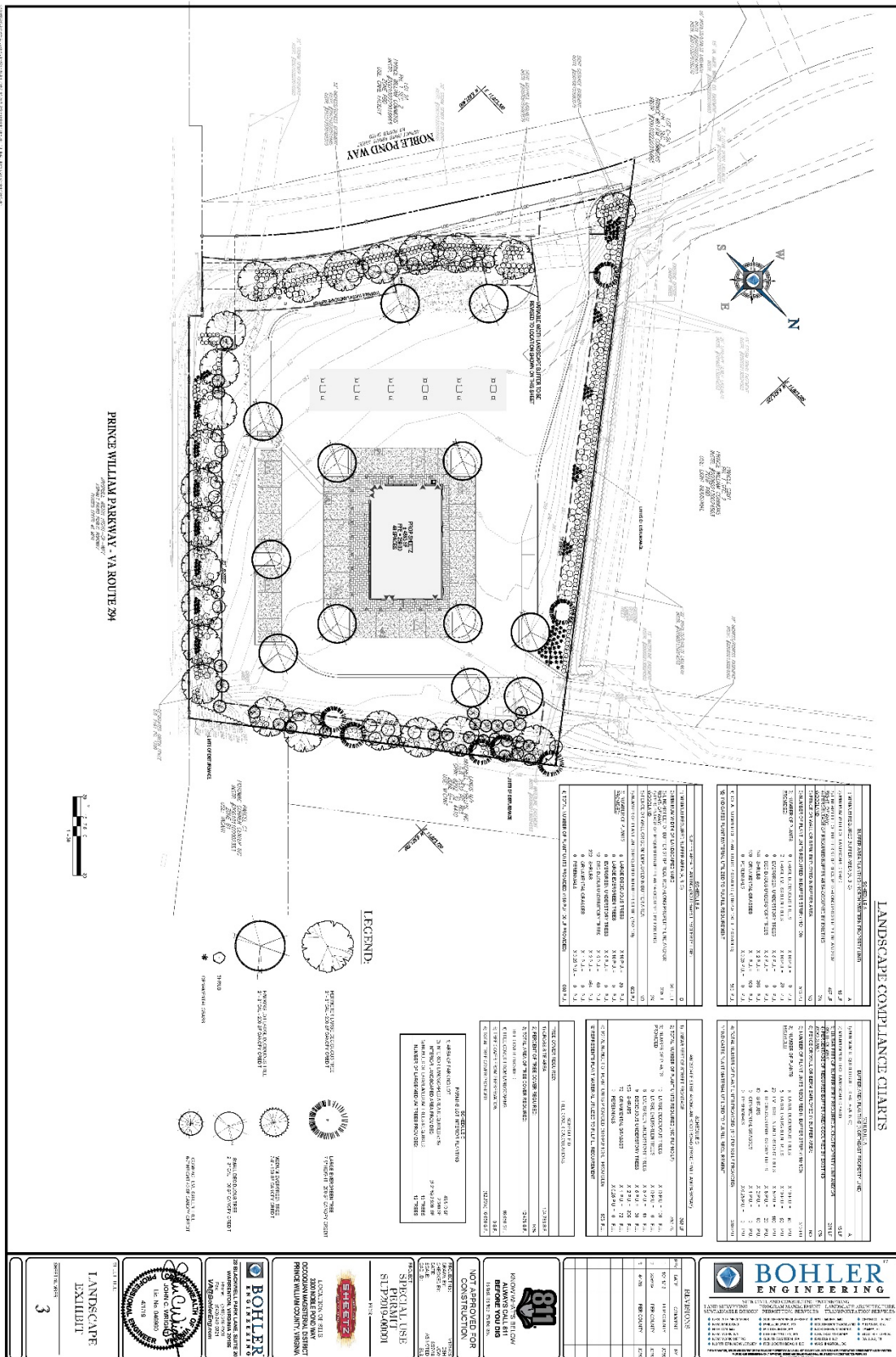


## Attachment C – Proposed Conditions

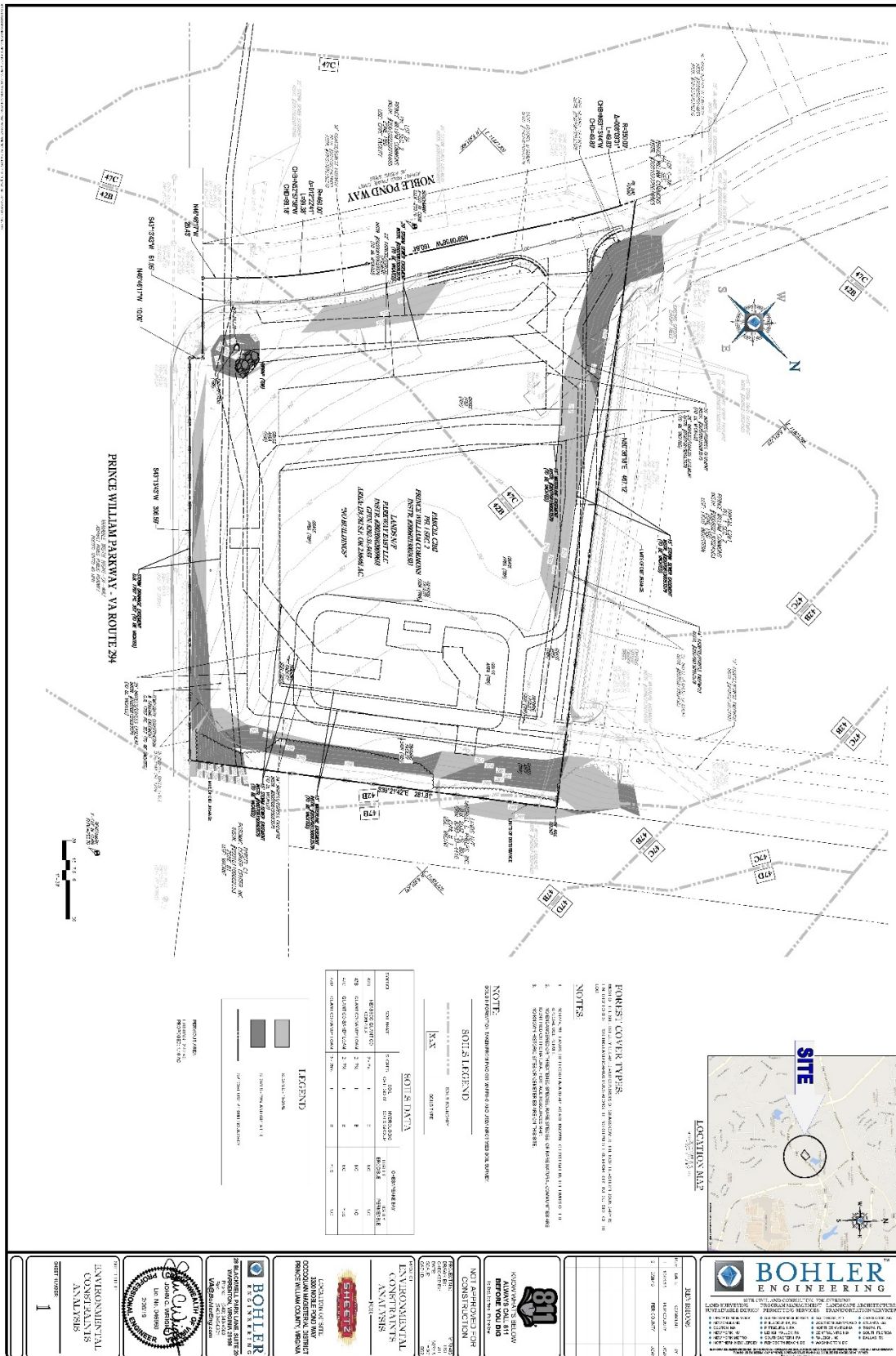
in the CPI-U from the date eighteen (18) months after the approval of this special use permit to the most recently available CPI-U to the date the contributions are paid, subject to a cap of six (6%) percent per year, non-compounded.

11. Sign Modifications: The following modifications to the requirements of the Zoning Ordinance shall be deemed granted and approved as provided by Section 32-250.23 of the Zoning Ordinance, (the following modifications are in addition to and supplement those conditions approved with SUP #PLN2006-00307):
  - a. Freestanding Signage – The freestanding monument signage shall be in substantial conformance with the sign elevation provided on the “Gas Price Monument Sign Exhibit,” (the “Monument Sign Exhibit”), prepared by Convenience Architecture and Design P.C., dated June 18, 2018. The sign shall be installed in the general location as shown on the SUP Plan.
  - b. Façade Signage – Façade signage shall be in substantial conformance with the sign elevations provided on the Elevation sheets. Up to four (4) facade signs shall be installed in the general locations as shown on the Elevation sheets.
  - c. Canopy Signs – Canopy signage shall be in substantial conformance with the sign elevations provided on the exhibit entitled “Gas Canopy Awning Details” identified above. The maximum number of canopy signs is three (3). The signs shall have a maximum sign area of 26 square feet per sign and shall be installed in the locations as generally shown on the Gas Canopy Awning Details exhibit.
  - d. Secondary Signs (Diesel Flag and Diesel Price Signs) – Secondary signage shall be in substantial conformance with the sign elevations provided on the Canopy Exhibit. The maximum number of secondary signs is four (4). The signs shall be installed in the general locations as shown on the Canopy Exhibit.





# Attachment E – Environmental Constraints Analysis (ECA)





Attachment F – Building Elevations & Signage

SOUTH-FRONT ELEVATION



WEST-LEFT ELEVATION

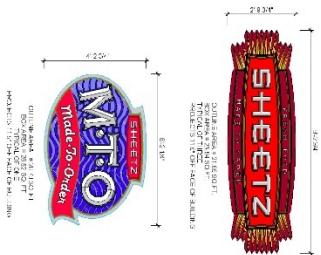


PROPOSED- EXTERIOR ELEVATIONS - NOBLE POND WAY

SHEETZ STORE  
WOODBRIDGE - PRINCE WILLIAM COUNTY  
3300 NOBLE POND WAY  
WOODBRIDGE, VA 22193

JUNE 2018  
REVISED FEBRUARY 2019  
SUP2019-00001

PREPARED BY SHEETZ  
BY: ALL  
SHEET 1 OF 2



**NORTH - REAR ELEVATION**



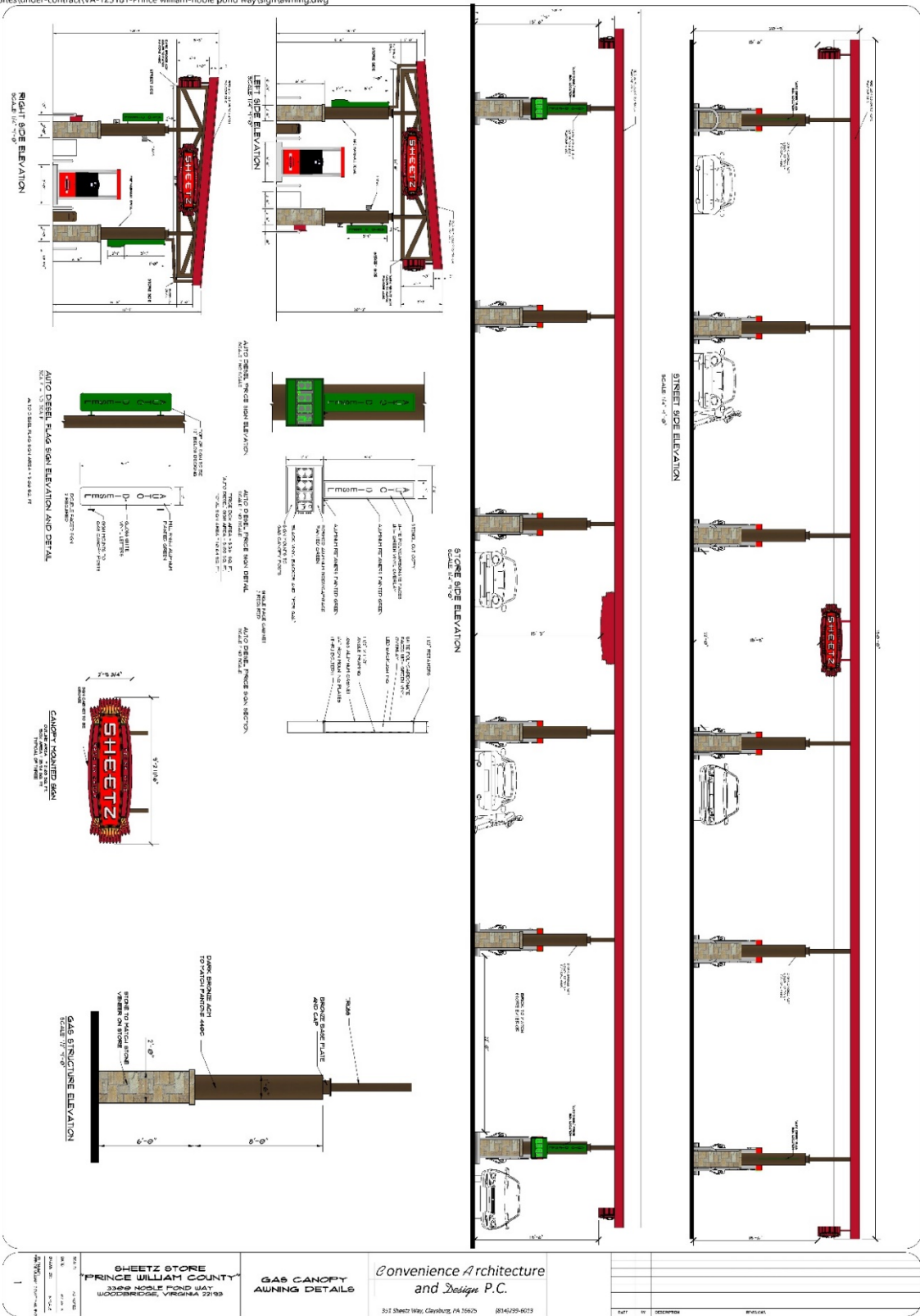
SHEETZ STORE  
WOODBRIDGE - PRINCE WILLIAM COUNTY  
3300 NOBLE POND WAY  
WOODBRIDGE, VA 22193

JUNE 2018  
REVISED FEBRUARY 2019  
SUP2019-00001

PREPARED BY SHEETZ  
BY:ALL  
SHEET 2 OF 2

Attachment F – Building Elevations & Signage

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**MONUMENT SIGN FRONT ELEVATION**  
SCALE 1/8" = 1'-0"

10'-0"

2'-4 1/4"

2'-4 1/4"

2'-4 1/4"

2'-4 1/4"

2'-0"

12'-3"

2'-0"

REG 97 2.28

REG 98 2.28

AUTO 2.28

DIESEL 2.28

6"-11/2" X 3'-10"-1/2" X 3'-7" COLE FACED PLYWOOD SIGN CABINET

1" AIR GAP TOP EACH SIDE

**MONUMENT SIGN SIDE ELEVATION**  
SCALE 1/8" = 1'-0"

10'-0"

2'-0"

DARK BRONZE ALUM. CAP

STONE COLLAR

STONE CAP TO MATCH BUILDING

STONE BASE TO MATCH BUILDING

STONE CABINET