

MOTION:

**March 10, 2020
Regular Meeting
Ord. No. 20-**

SECOND:

**RE: REZONING #REZ2016-00029, DEVLIN ROAD REZONING – BRENTSVILLE
MAGISTERIAL DISTRICT**

ACTION:

WHEREAS, this is a request to rezone ±269.9 acres from A-1, Agricultural, to PMR, Planning Mixed Residential, to allow for the development of a maximum of 516 single-family detached dwelling units; and

WHEREAS, the site is located on the north side of Linton Hall Road, generally between Devlin Road and Piney Branch. The site is identified on County maps as GPIN 7496-63-4377; and

WHEREAS, the site is designated SRL, Suburban Residential Low, and ER, Environmental Resource, in the Comprehensive Plan; and

WHEREAS, the site is zoned A-1, Agricultural, and is partially located in the Airport Safety Overlay District; and

WHEREAS, staff has reviewed the subject application and recommends approval, as stated in the staff report; and

WHEREAS, the Planning Commission, at its public hearing on September 19, 2018, recommended approval, as stated in Resolution Number 18-084; and

WHEREAS, a public hearing before the Board of County Supervisors, duly advertised in a local newspaper for a period of two weeks, was held on March 10, 2020, and interested citizens were heard; and

WHEREAS, the Prince William Board of County Supervisors finds that public necessity, convenience, general welfare, and good zoning practice are served by the approval of the request;

NOW, THEREFORE, BE IT ORDAINED that the Prince William Board of County Supervisors hereby approves Rezoning #REZ2016-00029, Devlin Road Rezoning, subject to the proffers dated February 25, 2020;

BE IT FURTHER ORDAINED that the Prince William Board of County Supervisors approval and adoption of any proffered conditions does not relieve the applicant, and/or subsequent owners, from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

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ATTACHMENT: Proffer Statement, dated February 25, 2020

Votes:

Ayes:

Nays:

Absent from Vote:

Absent from Meeting:

For Information:

Planning Director

Ms. Marian Harders
Walsh, Colucci, Lubeley & Walsh, P.C.
4310 Prince William Parkway, Suite 300
Woodbridge, VA 22192

ATTEST: _____

Clerk to the Board

PROFFER STATEMENT

RE: REZ2016-00029, 8008 Devlin Road

Record Owner: Edith H. Rameika, Trustee of the EV Hunter Trust
Contract Purchaser: Stanley Martin Companies, LLC
Property: GPIN 7496-63-4377
Brentsville Magisterial District
+/- 269.9 Acres, A-1, Agricultural, to Planned Mixed
Residential District (PMR)

Date: February 25, 2020

The undersigned hereby proffers that the use and development of the subject Property shall be in strict conformance with the following conditions. In the event the above referenced rezoning is not granted as applied for by Applicant, these proffers shall be withdrawn and are null and void. The headings of the proffers set forth below have been prepared for convenience or reference only and shall not control or affect the meaning or be taken as an interpretation of any provision of the proffers. Any improvements proffered herein below shall be provided at the time of development of the portion of the site served by the improvement, unless otherwise specified. The terms "Applicant" and "Developer" shall include all future owners and successors in interest.

"Final Rezoning", as the term is used herein, shall be defined as that zoning which is in effect on the day following the last day upon which the Prince William Board of County Supervisors' decision granting the rezoning may be contested in the appropriate court or, if contested, the day following entry of a final court order affirming the decision of the Board of Supervisors which has not been appealed, or if appealed, the day following which the decision has been affirmed on appeal.

References in this Proffer Statement to plans and exhibits shall include the following:

- Master Zoning Plan – 8008 Devlin Road, prepared by Dewberry Engineers, Inc. and dated June 16, 2016, last revised February 24, 2020, consisting of the following sheets ("MZP"):
 - a. Land Use Plan (sheet 1 of 3) ("Land Use Plan")
 - b. Open Space (sheet 2 of 3) ("Open Space Plan")
 - c. Transportation & Utility Plan (sheet 3 of 3) ("Transportation Plan")

- Exhibit entitled "8008 Devlin Road – Transportation Improvements Concept", prepared by Dewberry Engineers, Inc. and dated August 23, 2018, consisting of 4 sheets ("Road Improvement Plan").

- Exhibit entitled "8008 Devlin Road – Linton Hall Road – Improvements Exhibit," prepared by Dewberry Engineers, Inc. and dated May 16, 2018 ("Linton Hall Improvements Exhibit").

- Design Guidelines, prepared by Dewberry Engineers, Inc. and dated February 24, 2020 ("Design Guidelines").

USES AND SITE DEVELOPMENT

1. Development of the Property shall be in substantial conformance with the MZP. The exact boundaries and acreage of the Land Bays may be increased or decreased at the time of site plan/subdivision, not to exceed ten percent (10%) of the gross area of the larger Land Bay impacted by each such change.

2. The maximum number of residential units constructed on the Property shall not exceed 516 units, and all units shall be single family detached.

3. For purposes of calculating density on final site/subdivision plans for the Property, the maximum density as set forth on the MZP shall apply to the entire Land Bay, including areas that may be dedicated for public street purposes, and shall not affect the density calculation for any given parcel within a Land Bay.

4. For purposes of calculating open space and tree canopy coverage, the entire Property shall be utilized and such calculations shall not apply to individual Land Bays or parcels within a Land Bay. At the time of each site/subdivision plan, the Applicant shall provide a cumulative tabulation of the open space and tree canopy coverage calculations for the entire Property.
5. There shall be no individual driveway connections to residential lots on the Property from Linton Hall Road, Devlin Road or University Boulevard.
6. Residential lots that have a rear yard abutting a side yard of an adjacent lot shall be subject to the design standards set forth in the Design Guidelines.

TRANSPORTATION

7. University Boulevard and Linton Hall Road

a. Right of Way Dedication/Acquisition

- i. The Applicant shall reserve and dedicate, at no cost to Prince William County or the Virginia Department of Transportation (VDOT), right of way across the Property for a four lane divided roadway, up to a maximum of one hundred twenty-eight feet (128') in width, plus additional right of way as necessary for turn lanes, in the location as generally shown for University Boulevard on the MZP. Said right of way shall be dedicated to the County, at no cost, prior to or concurrent with the approval of the first final subdivision plan that reflects residential units on the Property (or such later time as approved by the County Transportation Department). In the event the Prince William Board of County Supervisors requests the dedication of right-of-way and/or easements prior to the Applicant processing a subdivision plan for the Property, the Applicant shall provide the dedication at no

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cost but shall not be responsible for the preparation of the documents necessary for said dedication.

- ii. The Applicant shall be responsible for the acquisition, or cost thereof, of off-site right of way, including any easements required for utilities, utility relocation and stormwater management, in accordance with Proffer #11 below, as required for University Boulevard as a four lane divided roadway from the eastern boundary of the Property to Devlin Road, as said right of way is generally shown on the MZP. Said right of way shall be dedicated to the County, at no cost, prior to or concurrent with the approval of the first final subdivision plan that reflects residential units on the Property (or such later time as approved by the County Transportation Department). In the event the Prince William Board of County Supervisors requests the dedication of right-of-way and/or easements prior to the Applicant processing a subdivision plan for the Property, the Applicant shall provide the dedication and/or easements at no cost but shall not be responsible for the preparation of the documents necessary for said dedication.

b. Construction

- i. Within existing right of way and right of way to be acquired and/or dedicated by the Applicant as set forth herein, the Applicant shall construct, subject to County and VDOT approval: (i) University Boulevard as a 2-lane, modified MC-1 road (½ section of the 4-lane divided road with a transition approved by the County Transportation Department and VDOT, plus necessary turn lanes on University Boulevard and Devlin Road) as shown on the MZP and on the Road Improvement Plan; and (ii) an extension of the existing eastbound left turn lane on Linton Hall Road, at its intersection with Devlin Road as shown on the Linton Hall Road Improvements Exhibit (collectively, the "University and Linton Hall

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Improvements"). The Applicant shall complete the construction of the University and Linton Hall Improvements prior to issuance of the first building permit for a residential unit in Landbay A or Landbay B (or such later time as approved by the County Transportation Department). For purposes of this proffer, "completed" shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance. The University and Linton Hall Improvements shall be subject to modifications as set forth in these proffers and/or as may be approved by the County Transportation Department and/or VDOT.

- ii. The Applicant may post bonds and escrows (and upon completion seek a bond and escrow release), for a ½ section of University Boulevard, with the ultimate section (and associated bonds and escrows) to be provided by others at a later time.
- iii. In the event the County initiates the design process of the University and/or Linton Hall Improvements before the Applicant files the first subdivision plan or Public Improvement Plan that includes said improvements, the Applicant shall reimburse the County for the design costs associated with the improvements. Actual costs will be provided by the County and final reimbursement by the Applicant shall be made prior to the issuance of the first building permit for any residential unit on Landbay A or Landbay B. In the event the County completes construction of the University and/or Linton Hall improvements before the Applicant files the first subdivision plan or public improvement plans that include said improvements, the Applicant shall reimburse the County for the right-of-way, easements, and construction costs associated with the improvements. Actual costs will be provided by the County and final reimbursement by the Applicant shall be made prior to the issuance of the first building permit for any residential unit on Landbay A or Landbay B.

c. Signalization

If not already installed by others, the Applicant shall be responsible for the design and installation of a traffic signal at the intersection of University Boulevard and Devlin Road, at such time as a warrant study establishes the need and the signal is approved by VDOT. A traffic signal warrant study shall be submitted for review at the intervals noted below, unless waived by the County Transportation Department and VDOT or unless a prior warrant study approves the signal and it is installed. Said signal shall include preemptive and pedestrian equipment as required by the County. The Applicant shall submit a traffic signal warrant study to VDOT for said signal prior to plan approval for the University and Linton Hall Transportation Improvements (unless constructed by others), the Devlin Road Transportation Improvements, and again prior to issuance of the last residential occupancy permit for the Property. If said signal has not been deemed warranted by VDOT and/or approved for installation prior to the issuance of the last residential occupancy permit for the Property, no additional warrant studies will be required and the Applicant shall have no further obligation to provide signalization on University Boulevard.

d. No Linton Hall Road Access

There shall be no vehicular access from Linton Hall Road into the Property.

8. Devlin Road (South of University Boulevard)

a. Right of Way Dedication

The Applicant shall reserve and dedicate, at no cost to Prince William County or VDOT, right of way along the Devlin Road frontage of the Property, up to a maximum of forty-six feet (46') in width from the existing centerline of Devlin Road, including, but not limited, any permanent or temporary easements required for utilities, utility relocation, and stormwater management, plus additional right of way as necessary for turn lanes, in the location as generally shown on the MZP. In the event the Prince William Board of County Supervisors requests the dedication of right-of-way and/or easements prior to the Applicant filing a final subdivision plan for the Property, the Applicant shall provide the dedication at no cost but shall not be responsible for the preparation of the documents necessary for said dedication. Said right of way and/or easements shall be dedicated to the County prior to or concurrent with the approval of the subdivision plans for Landbay B and Landbay C (or such later date approved by the County Transportation Department).

b. Natural Surface Path

Subject to County and VDOT approval, within the Devlin Road right of way to be dedicated (south of University Boulevard), or immediately adjacent to said right of way, the Applicant shall construct a natural surface path in the general area shown on the MZP. Said natural surface path shall be shown on the final site plan for development of the adjacent portion of the Property, and said natural surface path shall be constructed at the time the adjacent portion of the Property is developed unless the County has a funded project for widening Devlin Road south of University Blvd. or the County Transportation Department determines otherwise. The design of the layout of the trail shall minimize disturbance to mature trees.

9. Devlin Road (North) Improvements (North of University Boulevard)

a. Monetary Contribution

If the County Transportation Department does not request the Applicant to proceed with the design and construction of the Devlin Road (North) Improvements, as defined below, within 90 days of the approval of this rezoning, then the Applicant shall make a monetary contribution (in lieu of designing and constructing the Devlin Road (North) Improvements), in accordance with this Proffer 9.a.

- i. The Applicant shall make two monetary contributions to the Prince William Board of County Supervisors, to be used for transportation improvements in the area. Said contributions shall be paid as follows:
- ii. Payment #1, in the amount of \$5,800,000.00, shall be paid prior to and as a condition of issuance of the first residential occupancy permit for the Property.
- iii. Payment #2, in the amount of \$7,200,000.00, shall be paid prior to and as a condition of issuance of the 232nd residential occupancy permit for the Property.

b. Design and Construction of Devlin Road (North) Improvements

- i. If the County Transportation Department requests the Applicant to proceed with the design and construction of the Devlin Road (North) Improvements, as defined below in the Proffers, within 90 days of the approval of this rezoning, then the Applicant shall proceed with the design and construction of such transportation improvements in accordance with this Proffer 9.b.

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- ii. Right of Way Dedication/Acquisition: The Applicant shall be responsible for the acquisition, or cost thereof, of off-site right of way, including, but not limited to, any easements required for utilities, utility relocation, and stormwater management, in accordance with Proffer #11 below, as required for the Devlin Road (North) Improvements, as defined below, plus additional right of way as necessary for turn lanes, in the location as generally shown on the Road Improvement Plan, subject to modifications approved by the County to accommodate the final design of the Balls Ford Road/Prince William Parkway Interchange project.
- iii. Construction: If requested by the County, within existing right of way and right of way to be acquired and/or dedicated as set forth herein, the Applicant shall submit design plans for the Devlin Road (North) Improvements prior to issuance of the first residential occupancy permit for the Property or such later time as approved by the County Transportation Department and shall construct, subject to County and VDOT approval, Devlin Road as a 4-lane, modified MC-1 road (a 4-lane road, plus turn lanes and a 10 foot shared-use path on the western side) as shown on the Road Improvement Plan (collectively, the foregoing road improvements along with the traffic signal at Fog Light Way shall be referred to as the "Devlin Road (North) Improvements". The Applicant shall complete the construction of the Devlin Road (North) Improvements, including the Fog Light Way signal, if warranted, prior to the issuance of the first residential unit occupancy permit for a residential unit within Landbay B or C or such later time as approved by the County Transportation Department. For purposes of this proffer, "completed" shall mean that the improvements are constructed in accordance with approved plans and open to traffic, but not necessarily accepted into the State system for maintenance. The Devlin Road North Improvements shall be subject to modifications as set forth in these proffers and/or as

may be approved by the Prince William County Department of Transportation and/or VDOT.

- iv. Fog Light Way Signalization: The Applicant shall be responsible for the design and installation of a traffic signal at the intersection of Fog Light Way and Devlin Road, at such time as a warrant study establishes the need and the signal is approved by VDOT. A traffic signal warrant study shall be submitted for review at the intervals noted below, unless waived by the County Transportation Department and VDOT or unless a prior warrant study approves the signal and the signal is installed. Said signal shall include preemptive and pedestrian equipment as required by the County Transportation Department and/or VDOT. The Applicant shall submit a traffic signal warrant study to VDOT for said signal prior to plan approval for the University and Linton Hall Transportation Improvements (unless constructed by others), the Devlin Road North Improvements, and again prior to issuance of the last residential occupancy permit for the Property. If said signal has not been deemed warranted by VDOT and/or approved for installation prior to the issuance of the last residential occupancy permit for the Property, no additional warrant studies shall be required and the Applicant shall have no further obligation to provide signalization at Devlin Road and Fog Light Way.

10. Linton Hall Sidewalk

Subject to County Transportation Department and VDOT approval, within existing right of way or right of way to be dedicated by the Applicant, the Applicant shall construct (i) a five foot (5') wide sidewalk along the Linton Hall Road frontage of the Property; and (ii) a 5 foot sidewalk, on the off-site portion of Linton Hall Road, to connect to the existing sidewalk at Amberleigh Station, all as generally shown on the MZP. Said improvements shall be shown on the final site plan for Landbay C, and said improvements shall be constructed at the time the adjacent portion of Landbay C is developed.

11. Eminent Domain

In the event the Applicant is not able to acquire off-site right of way required in order to provide the improvements identified in the above proffers for roads identified in the Comprehensive Plan, including, but not limited to, any easements required for utilities, utility relocation, grading, and stormwater management for the road improvements, the Applicant shall request the County to acquire the right of way and easements by means of its condemnation powers at Applicant's expense. Applicant's request shall be in writing and shall comply in all respects with the County's Eminent Domain Policy. Said request shall be made to the appropriate County agency and shall be accompanied by the following:

- a. The names of the record owners, the property addresses, tax map parcel numbers, and GPIN numbers for each landowner from whom such right of way and/or easements are sought.
- b. Plats, plans, and profiles showing the necessary right of way and/or easements to be acquired and showing the details of the proposed transportation improvements to be located on each such property.
- c. Pursuant to Virginia Code § 25.1-417, a determination of the value of the Property shall be based on the following:
 - i. If the assessed value is less than \$25,000, then the value shall be determined by assessment records or other objective evidence; or
 - ii. If the assessed value is greater than \$25,000 an independent appraisal of the value of the right of way and easements to be acquired, and any and all damages to the residue of the involved property, said appraisal to be performed by an appraiser licensed in Virginia and approved by the County.
- d. A 60 year title search of each involved property.

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- e. Documentation demonstrating to the County's satisfaction Applicant's good faith, best efforts to acquire the right of way and/or easements, at a cost of at least the appraised value of the involved property interests.
- f. A letter of credit acceptable to the County, cash or equivalent (from a financial institution acceptable to the County) in an amount equal to the appraised value of the property to be acquired, and all damages to the residue, together with an amount representing the County's estimate of its cost of condemnation proceedings, in a form permitting the County to draw upon the same as necessary to effectuate the purposes hereof.
- g. An Agreement signed by Applicant's representative and approved by the County Attorney's Office whereby Applicant agrees to pay all costs of the condemnation, including expert witness fees, court costs, exhibit costs, court reporter fees, attorney fees for the Office of the County Attorney, and all other costs associated with the litigation, including appeals. The Agreement shall specifically provide that in the event the property owner is awarded in the condemnation suit more than the appraised value estimated by Applicant's appraiser, Applicant shall pay to the County the amount of the award in excess of the amount represented by the letter of credit or cash deposit within 15 days of the award.

In the event Prince William County does not acquire the right of way and/or easements for the Devlin Road (North) Improvements, the Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$25,194.00 per single family detached residential unit constructed on the Property to be used for transportation improvements in the area. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each said unit constructed on the Property. The Applicant shall receive a credit against said transportation level of service contributions for the

costs the Applicant incurs for the acquisition of right of way for the design and construction of, the Devlin Road (North) Improvements.

12. Interparcel Access to Bristow Commons

Subject to County and VDOT approval, the Applicant shall provide a vehicular interparcel connection to the Bristow Commons shopping center as generally shown on the MZP and as further identified on pages 8 and 18 of the Design Guidelines as a "Private Travelway." The exact location of the Private Travelway shall be determined by the Applicant in cooperation with the adjacent property owner. This Private Travelway across the Property shall be constructed when the interior street within Landbay C to which the Private Travelway connects, is constructed. The Private Travelway on the Property shall be open for use by the general public and shall be maintained by the HOA. The Applicant's obligation to construct the Private Travelway is subject to the adjacent property owner providing a reciprocal travelway/connection on its property.

COMMUNITY DESIGN

13. Development on the Property shall be in substantial conformance with the Design Guidelines. After consultation with, and approval by the Prince William County Planning Office, the Applicant may make minor modifications to the Design Guidelines. More substantial modifications to the Design Guidelines are permitted provided the overall concept and intent of the Design Guidelines is met and subject to approval of the Planning Office in accordance with Section 32-700.30.6 of the Zoning Ordinance. The Planning Director's written determination shall include specific references to those portions of the Design Guidelines or conditions of the rezoning which are the basis for such determination. In the event there is a conflict between the proffered conditions and the Design Guidelines, the proffers shall control.

14. A homeowners association ("HOA") shall be established for the Property to own, operate, and maintain open space, common areas, private roads, trails, sidewalks, signage, other recreation or common facilities (as applicable), and,

if appropriate, stormwater management/BMP Facilities installed by the Applicant for the Property, if not otherwise maintained by the County, in accordance with adopted County policies.

15. The Applicant shall remove any graffiti from nonresidential development on the Property. Graffiti shall be deemed any inscription or marking on walls, buildings or structures not permitted by the sign regulations in Section 32-250.21 *et seq* of the Zoning Ordinance. Any graffiti is to be reported to the Prince William County Police Department before removal.

16. Lanier Farms Subdivision

- a. The Applicant shall provide a buffer area having a minimum width of fifty feet (50') adjacent to the common Property boundary with the Lanier Farms, Section 2 subdivision (GPIN 7496-85-1274), as said buffer area is generally shown in the Design Guidelines. Said buffer shall be planted in accordance with the Type C buffer planting standard in the DCSCM. The Applicant shall consult with County Public Works Department's Watershed Division regarding the existing trees and vegetation within this buffer and shall retain existing quality trees and vegetation within this buffer to the extent feasible in connection with final engineering. Compliance with this proffer shall be demonstrated on the final site plan.
- b. All residential lots in Land Bay A, as said land bay is identified on the MZP, located immediately adjacent to the adjoining portion of the Lanier Farm, Section 2 subdivision (GPIN 7496-85-1274), shall be single family detached lots of a minimum size of 10,000 square feet.
- c. In the event a stormwater management pond is constructed in Land Bay A, near homes located at the southern terminus of Night Watch Court, said stormwater pond shall not be designed, engineered, or constructed as a wet pond. Compliance with this proffer shall be demonstrated on the final site plan.

17. Buffers, Landscaped Areas, and Open Space

- a. Buffers: The Applicant shall provide landscaped buffers on the Property as shown in the Design Guidelines. The buffers shall be planted in accordance with the DCSM planting standards with indigenous, native species. For those buffers shown as "Preserved Buffers" in the Design Guidelines, the Applicant shall retain existing quality trees and vegetation to the extent feasible in connection with final engineering and then such retained existing vegetation along with any supplemental landscaping shall be considered in the aggregate to meet the applicable DCSM planting requirements. Buffers shall be provided at the time the adjacent portions of the Property are developed and shall be shown on each respective final site plan.
- b. Community Entryways: The Applicant shall provide a fifty foot (50') wide landscaped buffer along each side of entrance roads B and C, as shown in the Design Guidelines. Said landscaped areas shall be planted as a Type C buffer. Compliance with this proffer shall be demonstrated on the final site plan.
- c. Neighborhood Open Space: The Applicant shall provide Community Open Space on the portions of the Property described in the Design Guidelines, which shall include: passive community open space, park areas, neighborhood open space, and the community recreation facility. The Community Open Space elements shall be developed in accordance with the Design Guidelines. Compliance with this proffer shall be demonstrated on the final site plan.

18. Street Tree Hierarchy

- a. The Applicant shall plant street trees along both sides of the proposed roadways on the Property in accordance with the Design Guidelines. Tree plantings shall be placed 50' apart, measured in the aggregate (i.e., on average) or otherwise clustered where needed to provide adequate sight distance and to avoid conflicts with utilities, driveways,

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etc. Street trees shall be provided at the time the adjacent portions of the Property are developed and shall be shown on each respective final site plan.

19. If signs/entrance features are constructed at the entrances to the Property (from Devlin Road, University Boulevard, and/or Fog Light Way), any such signs/entrance features shall be of a monument style and shall be subject to the issuance of a sign permit from Prince William County. The design of such signs/entrance features shall be in accordance with the Design Guidelines. The base of said entrance sign/feature shall be landscaped with shrubs, perennials, and ornamental grasses.

PARKS AND RECREATION

20. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$5,591.00 per single family detached residential unit constructed on the Property to be used for parks purposes. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each said unit constructed on the Property.
21. The Applicant shall provide an amenity package for the residents, which shall include, at a minimum, a clubhouse with bathhouse containing a minimum of 3,500 square feet of gross floor area, a 6-lane, 25 meter swimming pool (collectively, the clubhouse with bathhouse and pool shall be referred to as the "Pool Facilities"), two (2) tot lots, and two multi-purpose courts and/or tennis courts. The Applicant shall file a site plan for the Pool Facilities at or before the time a building permit is issued for the 200th residential unit on the Property and shall complete construction of the Pool Facilities by the time a building permit is issued for the 300th residential unit on the Property. Other amenities identified in the Design Guidelines, which include the Upper Activity Park, Dog Park, Basketball Court, Lower Activity Park, Eco Park, and Tot Lot shall be provided at the

time the adjacent portions of the Property are developed and shall be shown on each respective final site plan.

22. The Applicant shall make available a total of fifty (50) memberships for use of the Pool Facilities by the residents of the Amberleigh Station, Silver Leaf, Crossman Creek, and Lanier Farms subdivisions (collectively "the Area Subdivisions"). The memberships shall be made available to residents of these subdivisions through the respective homeowners associations for a minimum two year commitment at a time. There shall be no capital contribution for such memberships and the annual membership fee will be determined based only on that portion of the HOA fee associated with the Pool Facilities. The management and enforcement of this proffer obligation shall be the sole responsibility of the HOA. Compliance with this proffer shall be met by providing copies of the membership letters provided by the HOA to the homeowners associations of the Area Subdivisions to the Prince William County Planning Office prior to issuance of the 400th building permit.
23. The Applicant shall construct the Scenic Community Trail, as generally shown on the MZP, as a natural surface trail subject to issuance of any required County, state, or federal permits. Said trail shall be open for use by the general public, made subject to a public access easement, and shall be maintained by the HOA. Prior to the issuance of a building permit for the 325th residential unit on the Property, the Applicant shall have constructed said natural surface trails.
24. In the event the abutting property owner(s) to the north constructs a public trail segment from Wellington Road to the northern Property line, the Applicant shall allow the abutting trail to connect to the Scenic Community Trail on the Property, as described above. The exact location of the trail connection shall be determined by the Applicant in cooperation with the adjacent property owner(s) to the north. This trail connection across the Property shall be open for use by the general public, made subject to a public access easement, and shall be maintained by the HOA. The

Applicant's obligation to provide a pedestrian access easement is subject to the adjacent property owner(s) providing a reciprocal pedestrian access easement on its property.

ENVIRONMENTAL

25. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$75.00 per acre to conduct water quality monitoring, stream restoration projects, and/or drainage improvements. Said contribution shall be paid prior to and as a condition of the approval of each respective final site plan, based on the total acreage reflected on each site/subdivision plan.

26. The Applicant shall limit clearing and grading to within those areas depicted on the MZP subject to minor revisions in accordance with final engineering considerations at the time of final site plan review and approval. Those areas outside the limits of clearing and those areas identified on the MZP as Natural Open Space Areas shall remain in their natural undisturbed condition with the exception of clearing, grading and other land disturbing activity required for the installation and maintenance of utility connection points as generally shown on the MZP, maintenance of sanitary and storm outfalls, pedestrian trails, the vehicular connection to be provided as generally shown on the MZP, and supplemental planting as approved by the County. The foregoing restrictions shall not preclude the Applicant from utilizing the Natural Open Space Areas for stormwater management/BMP calculations and credits. The Property owner shall have the right to prune and remove objectionable vegetation, such as poison ivy, poison oak, etc., as well as damaged and/or diseased vegetation. A tree preservation plan for all Natural Open Space areas east of the utility easement (as shown on the MZP), shall be prepared by a certified arborist and shall be submitted to the Prince William County Public Works' Watershed Management Branch's County Arborist for review and approval at the time of final site plan review for that portion of the Property. The tree preservation plan shall be in

accordance with the Prince William County DCSM standards and shall be submitted at the time the adjacent portions of the Property are developed.

LIBRARIES

27. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$812.00 per single family detached residential unit constructed on the Property to be used for library purposes. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each said unit constructed on the Property.

FIRE & RESCUE

28. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$1,053.00 per single family detached residential unit constructed on the Property to be used for fire and rescue purposes. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each said residential unit constructed on the Property.

SCHOOLS

29. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$20,694.00 per single family detached residential unit constructed on the Property. Said contribution shall be paid prior to and as a condition of the occupancy permit issuance for each said unit constructed on the Property.
30. As a condition of the issuance of the 110th occupancy permit on the Property, the Applicant shall make an additional monetary contribution to the Prince William County Board of County Supervisors in the amount of \$45,000.00 for school purposes, in the event the 110th occupancy permit is requested prior

to September 1, 2021 (13th High School scheduled completion date per Prince William County Public Schools CIP).

AFFORDABLE HOUSING

31. The Applicant shall make a monetary contribution to the Prince William Board of County Supervisors in the amount of \$250.00 per residential unit constructed on the Property to be used for the Housing Preservation and Development Fund. Said contribution shall be paid prior to and as a condition of the issuance of an occupancy permit for each unit constructed on the Property.

WATER AND SEWER

32. The Property shall be served by public sanitary sewer and water and the Applicant shall be responsible for the costs and construction of those on and off-site improvements required in order to provide such service for the demand generated by the development on the Property.

CULTURAL RESOURCES

33. In the event the findings of the Phase I studies submitted to the County indicate that further investigation is warranted to justify a Phase II or Phase III investigation with reference to specific locations and/or resources on the Property, the Applicant shall conduct such Phase II and/or Phase III investigation in connection with such sites and resources to the extent that they are located on the Property and located in an area proposed to be disturbed in connection with development of the Property. Prior to the submission of the site/subdivision plan that includes any such significant site, the Applicant shall retain a qualified professional archeologist to conduct the Phase II evaluation and the scope of work shall be approved by the Planning Director or his designee. All reports shall be submitted to the County prior to the issuance of the first land disturbance permit in the area that includes any such significant site.

34. A mitigation plan shall be prepared for each site that has been determined to be significant as a result of a Phase II survey and is proposed to be disturbed in connection with development of the Property. The mitigation plan shall be submitted to the County for review and approval with the submission of the site/subdivision plan for any portion of the Property that includes any such significant site. Mitigation measures may include Phase III data recovery. Data recovery shall be carried out by a qualified archeologist and shall be approved by the Planning Director or his designee. All mitigation measures shall be completed prior to the issuance of the first land disturbance permit for any area that includes any such significant site.
35. Within one (1) year of "Final Rezoning", the Applicant shall curate with the County all artifacts, field records, laboratory records, photographic records, and other records recovered and produced as a result of the excavations undertaken in connection with the Phase I, Phase II, and Phase III investigations completed to date on the Property which the Applicant has in its possession, including those artifacts recovered by Cultural Resources, Inc. in 2005 that were returned to the Applicant. Artifacts and records generated from excavations after the approval of this rezoning shall be curated with the County within three (3) months after approval of the final report for the specific area or site. All artifacts and records submitted for curation shall meet current professional standards and *The Secretary of the Interior's Standards and Guidelines for Archeology and Historic Preservation*. The Applicant shall pay to the County a curation fee identical to VDHR's curation fee at the time of delivery to the County. Ownership of all records submitted for curation shall be transferred to the County with a letter of gift.

MISCELLANEOUS

36. In the event the monetary contributions set forth in the Proffer Statement (other than the transportation monetary contribution to be paid in accordance with Proffer 9.a) are paid to the Prince William County Board of County Supervisors ("Board") within eighteen (18) months of the approval of

this rezoning, as applied for by the Applicant, said contributions shall be in the amounts as stated herein. Any monetary contributions set forth in this Proffer Statement which are paid to the Board after eighteen (18) months following the approval of this rezoning shall be adjusted in accordance with the Urban Consumer Price Index ("CPI-U") published by the United States Department of Labor, such that at the time contributions are paid they shall be adjusted by the percentage change in the CPI-U from that date eighteen (18) months after the approval of this rezoning to the most recently available CPI-U to the date the contributions are paid, subject to a cap of 6 percent (6%) per year, noncompounded.

37. Bus Stop. If during the course of development of the Property, it is determined by the operator of the intra- or inter-County bus system that the Property is an appropriate location for a bus stop, the Applicant shall construct a bus shelter along the Devlin Road frontage of the Property conforming to the applicable transit company standards at a location acceptable to the Applicant and to the bus system operator for the use of the patrons of the bus system. The Applicant shall contact a representative of the applicable transit company at the time a preliminary plan is filed to determine whether a bus shelter shall be located on the Property and, if so, the appropriate location shall be identified on the applicable final plan.

WAIVERS/MODIFICATIONS

38. Waivers and modifications

- a. Waiver of Section 32-306.21 of the Zoning Ordinance to allow the elimination of the nonresidential secondary use requirement within the PMR District.
- b. Modification of Section 32-250.31.6 of the Zoning Ordinance and Section 802.47.B of the DCSM to modify the buffer and landscaping requirements around the recreation facilities identified in the Design

PROFFER STATEMENT
REZ2016-00029, 8008 Devlin Road
Edith H. Rameika, Trustee
February 25, 2020

ATTACHMENT
March 10, 2020
Ord. No. 20-
Page 23 of 24

Guidelines as Upper Activity Park (found on pages 40/41), Recreation Park (found on pages 42/43), Lower Activity Park (found on pages 46/47), and Eco Park (found on pages 48/49).

[Signature Page to Follow]

PROFFER STATEMENT
REZ2016-00029, 8008 Devlin Road
Edith H. Rameika, Trustee
February 25, 2020

ATTACHMENT
March 10, 2020
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SIGNATURE PAGE

Edith H. Rameika, Trustee (E.V. Hunter Trust)

P0975878.DOC



PRINCE WILLIAM COUNTY

Office of the County Executive
Christopher E. Martino

STAFF REPORT

The Board of County Supervisors

- Hon. Ann B. Wheeler, Chair
- Hon. Victor S. Angry, Vice Chair
- Hon. Andrea O. Bailey
- Hon. Kenny A. Boddye
- Hon. Pete Candland
- Hon. Margaret Angela Franklin
- Hon. Jeanine M. Lawson
- Hon. Yesli Vega

| | |
|----------------------------|---|
| Board Meeting Date: | March 10, 2020 |
| Agenda Title: | Rezoning #REZ2016-00029, Devlin Road |
| District Impact: | Brentsville Magisterial District |
| Requested Action: | Approve Rezoning #REZ2016-00029, Devlin Road, subject to the proffers dated February 25, 2020 |
| Department: | Planning |
| Staff Lead: | Rebecca Horner, AICP, CZA – Deputy County Executive & Acting Planning Director |

EXECUTIVE SUMMARY

This is a request to rezone 269.9 acres from A-1, Agricultural, to PMR, Planned Mixed Residential, to allow for the development of a maximum of 516 single-family detached dwelling units. The subject property is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch.

It is the recommendation of staff that the Board of County Supervisors (BOCS) approve Rezoning #REZ2016-00029, Devlin Road, subject to the proffers dated February 25, 2020.

BACKGROUND

- A. **Request:** This is a request to rezone ±269.9 acres from A-1, Agricultural, to PMR, Planned Mixed Residential, to allow for the development of a maximum of 516 single-family detached dwelling units. The project shown on the Master Zoning Plan consists of three landbays, with a landbay designation of PMR – LDR / OS, Low Density Residential / Open Space. The proposed net density (less the ER, Environmental Resource, area) of the project is ±2.09 dwelling units per acre.

This rezoning application is not subject to Virginia Code Section 15.2-2303.4 because it was submitted prior to July 1, 2016, and the Applicant chooses to proceed under the law as it existed at that time.

| Uses/Features | Existing | Proposed |
|-------------------------------|--|---|
| Zoning | A-1, Agricultural - ±269.9 acres | PMR, Planned Mixed Residential – LDR / OS, Low Density Residential / Open Space ±269.9 acres |
| Use(s) | Vacant | Up to 516 single-family detached dwelling units |
| Uses/Features | Required (PMR District) | Proposed |
| Minimum Acreage | 10 | ±269.9 |
| Density | PMR (Low Density Residential, LDR/OS) = 1 - 4 dwelling units per acre (d/u/acre) | Gross: PMR – LDR/OS = ±1.91 d.u./acre Net per Comprehensive plan (less the ER of 23.2 acres) = ±2.09 d.u./acre |
| Residential Unit Types | 3 unit types (minimum) | 3 unit types: Provided per Zoning Ordinance “Cluster house” “Reduced Setback House” “Village House” |

| | | |
|-------------------|--|--|
| Open Space | 30% (±81.0 acres) per PMR development standards | 40.3% of site (±108.9 acres, which includes utility easement) 30.3% (±81.7 acres) – Provided w/exclusion of easement |
|-------------------|--|--|

- B. **Site Location:** The site is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch. The site extends northward from Linton Hall Rd. to the general area of Chris Yung Elementary School. The site is identified on County maps as GPIN 7496-63-4377.
- C. **Comprehensive Plan:** The site is primarily designated as SRL, Suburban Residential Low, in the Comprehensive Plan. A small portion along the west side of the project is designated ER, Environmental Resource.
- D. **Zoning/Acreage:** The site is zoned A-1, Agricultural, without proffers, and is partially located in the Airport Safety Overlay District (ASOD).
- E. **Surrounding Land Uses:** The site is currently undeveloped except for an electric transmission line traversing the site from north to south just east of Piney Branch. The properties to the north of the site are zoned M-2, Light Industrial, and A-1, Agricultural, and are vacant/undeveloped, planned FEC, Flexible Use Employment Center. Properties to the east of the property largely consist of single-family detached residential development. Chris Yung Elementary School is also located on the east side of the property adjacent to the existing Lanier Farms residential development. On the south side of the property, the existing development is predominantly residential, consisting of single-family detached and townhouse units. There are also two elementary schools in the area to the south and west of the site (Bristow Run Elementary and Piney Branch Elementary, respectively). Bristow Commons Shopping Center, a neighborhood-serving commercial property consisting of a retail and retail service uses and secondary office uses, is located to the south of site at the corner of Linton Hall Rd. and Devlin Rd. To the west, the property is bordered by vacant agricultural and industrial-zoned properties.
- F. **Background and Context:** Throughout 2014 and 2015, there was a rezoning under review by the County known as Stonehaven (Rezoning PLN2014-00127), which included the subject rezoning site as part of a +/-718 acre mixed use development. The rezoning request was to permit development of up to 1,006 residential units consisting of single-family detached (SFD) and townhouse units and a maximum of 1,124,175 square feet of office/flex/light industrial development. Prior to final action by the Board of County Supervisors, the Applicant withdrew the application in December of 2015. The Devlin Road Rezoning was submitted June 20, 2016.

RECOMMENDATION

Planning Commission Recommendation: At the September 19, 2018 public hearing, the Planning Commission recommended approval of Rezoning #REZ2016-00029, Devlin Road, subject to the proffers dated August 23, 2018, with the following items to be considered prior to the public hearing with the Board of County Supervisors:

- Increase lot sizes to be comparable to the surrounding communities of Sheffield Manor, Lanier Farms – 10,000 SF lot minimum.
Applicant Response: The Applicant has redesigned the lot layout within the community to commit to providing a minimum of thirty-one (31) 10,000 square foot lots. This is an increase of 17 lots over the previous submission. In doing so, the Applicant reduced the total unit count to 516 units.
- Revise the schools impact statement in light of all that is occurring with the CIP.
Applicant Response: The Applicant recommended this is best addressed by the School Board and its staff.
Schools Planning staff has provided a revised Schools Impact Statement issued by the School Board dated February 24, 2020. The Impact Statement is included in the Staff Analysis section of this report.
- Transportation proffer – Complete Devlin Road improvements before occupancy permits are issued for other landbays (before occupancy of units in 2nd landbay).
Applicant Response: The Applicant has revised Proffer #9.b and clarified that Devlin Road (north) improvements will be completed before occupancy permits are issued for either landbay B or C.
- Consider the construction of a trail along Devlin Road from University Blvd. to Linton Hall Rd.
Applicant Response: The Applicant has included a commitment to construct a natural surface path along the Devlin Road frontage of the property from University Boulevard south towards Linton Hall Road.
- Reword Proffer #13 - Eminent domain language to be revised to require payment of LOS monetary contribution in the event the road cannot be built because of inability to obtain necessary ROW.
Applicant Response: Clarification has been added to the last paragraph of Proffer #11 (renumbered proffer addressing eminent domain).
- Provide interparcel connection to Bristow Commons shopping center
Applicant Response: A new vehicular interparcel connection (i.e., "Private Travelway") has been added to Bristow Commons.
- Provide pedestrian connection to Chris Yung Elementary school.

Applicant Response: The Applicant has added pedestrian connections to the Chris Yung Elementary School, as shown on Page 3 of 3 of the Master Zoning Plan and the Design Guidelines.

- Identify bus stop location.
Applicant Response: A new proffer has been added with a bus stop commitment. See Proffer #37.
- Work with staff regarding tree save area along Linton Hall Road.
Applicant Response: The Applicant has worked with staff and has updated the Open Space Plan to provide a minimum 50' wide undisturbed natural open space area along Linton Hall Road.
- Increase distance between house/lots and the utility easement per staff's comment.
Applicant Response: The Applicant has removed 42 homes adjacent to the utility easement and has added a 50' wide buffer along the utility easement.
- Increase the open space to ensure 30% of qualified open space provided.
Applicant Response: As noted on the updated Open Space Plan, the Applicant is providing 81.7 acres (30.3%) of open space, excluding the utility easement area.
- Continue to work with Commissioner McKay to address her concerns.
Applicant Response: The Applicant met with Commissioner McKay after the Planning Commission public hearing to address her concerns.

In addition to the changes provided in response to the Planning Commission concerns, the proffers have been revised to reflect the decisions made during discussions with Prince William County Department of Transportation (PWCDOT) and based on final agency comments. Changes to the Design Guidelines include adding architecture elevations for a "Rambler" single-family detached option (page 35), and clarification that the "50' Type C Planted Buffer" will be provided outside of the 15' utility easement (page 61).

Staff Recommendation: Staff recommends approval of Rezoning #REZ2016-00029, Devlin Road Rezoning, subject to the proffers dated February 25, 2020, for the following reasons:

- The requested PMR - Low Density Residential zoning district, implements the SRL Long Range Land Use designation of the Comprehensive Plan.
- The proffered design guidelines for the project implement the Community Design Plan.
- Considerable off-site transportation and pedestrian improvements are proposed that will be a benefit to the overall area.
- The project addresses level of service impacts in accordance with guidelines in effect at the time the application was submitted.

Comprehensive Plan Consistency Analysis

Long-Range Land Use: The site is primarily designated SRL, Suburban Residential Low. The requested PMR-LDR/OS zoning district implements the SRL designation. The Applicant's proposed density of +/-2.09 d.u./ac.is consistent with the density range envisioned in the Comprehensive Plan for the SRL. The Applicant also proposes design guidelines for the project that implement the Community Design Plan.

Level of Service (LOS): This subject rezoning proposal is not subject to the new proffer legislation, as per Virginia State Code Section 15.2-2303.4, it was filed prior to July 1, 2016 and the Applicant chose to proceed under the law as it existed at that time. The LOS impacts related to this rezoning request would be mitigated by the suggested LOS proffers in effect at the time the application was submitted:

| | Standard LOS | Proposed | Total |
|-------------------------------|---|---|------------------------|
| Water Quality | \$75 per acre | ±269.9 acres | \$20,242.50 |
| Fire & Rescue | \$1,053 per single-family detached (SFD) unit | \$1,053 x 516 units | \$543,348.00 |
| Housing | \$250 per unit | \$250 x 516 units | \$129,000.00 |
| Libraries | \$812 per SFD unit | \$812 x 516 units | \$418,992.00 |
| Parks & Recreation | \$5,591 per SFD unit | \$5,591 x 516 units | \$2,884,956.00 |
| Schools | \$20,694 per SFD unit | \$20,694 x 516 units \$45,000 @ 110 th unit | \$10,723,104.00 |
| Transportation | \$16,780 per SFD unit | Two \$ contributions: #1 - \$5,800,000 #2 - \$7,200,000 | \$13,000,000.00 |
| TOTAL | | | \$27,719,642.50 |

Community Input

Notice of this rezoning request has been transmitted to property owners within 500 feet of the site. Additionally, the Applicant has reportedly met with seven Home Owners Associations (HOA) of surrounding communities throughout the review process. Those community HOAs include: Silver Leaf, Bridlewood Manor, Foxborough, Victory Lakes, Sheffield Manor, Lanier Farms, and Crossman Creek. Prior to the Planning Commission public hearing, the Applicant held a community meeting on July 30, 2018, held at the Springhill Suites Hotel at The Promenade at Virginia Gateway. The Applicant invited the HOAs listed above and the HOAs of Kingsbrooke and Amberleigh Station. The HOAs were encouraged to share the invitation with the community residents.

The Planning Commission public hearing was well attended with a majority of the speakers in opposition to the development project. The majority of the concerns raised at the hearing related to impacts to schools and traffic. As noted above, the Planning Commission responded to the feedback provided during the meeting by providing a list of items that should to be addressed prior to the case advancing to the Board of County Supervisors for a vote.

For roughly a year, there had been little activity on the project following the Planning Commission hearing. In November 2019, the Applicant requested the rezoning application to be scheduled for a hearing in December 2019. Staff strongly urged the Applicant to reengage with the community to share updates on the project before requesting a Board of County Supervisors public hearing. Ultimately, the case was not heard in December of 2019. However, the Applicant has since requested this case be scheduled for the March 10, 2020, Board of County Supervisors public hearing and has held community meetings to discuss the project. Additionally, Brentsville District Supervisor Lawson held a town hall on the evening of February 24, 2020, to discuss the case with interested citizens.

Other Jurisdiction Comments

The subject site is located outside of the required notification area of any jurisdiction.

Legal Issues

If the rezoning is approved, the site could be developed pursuant to the PMR zoning district, as proffered, with up to 516 single-family detached dwelling units. Legal issues resulting from Board of County Supervisors action are appropriately addressed by the County Attorney's Office.

Timing

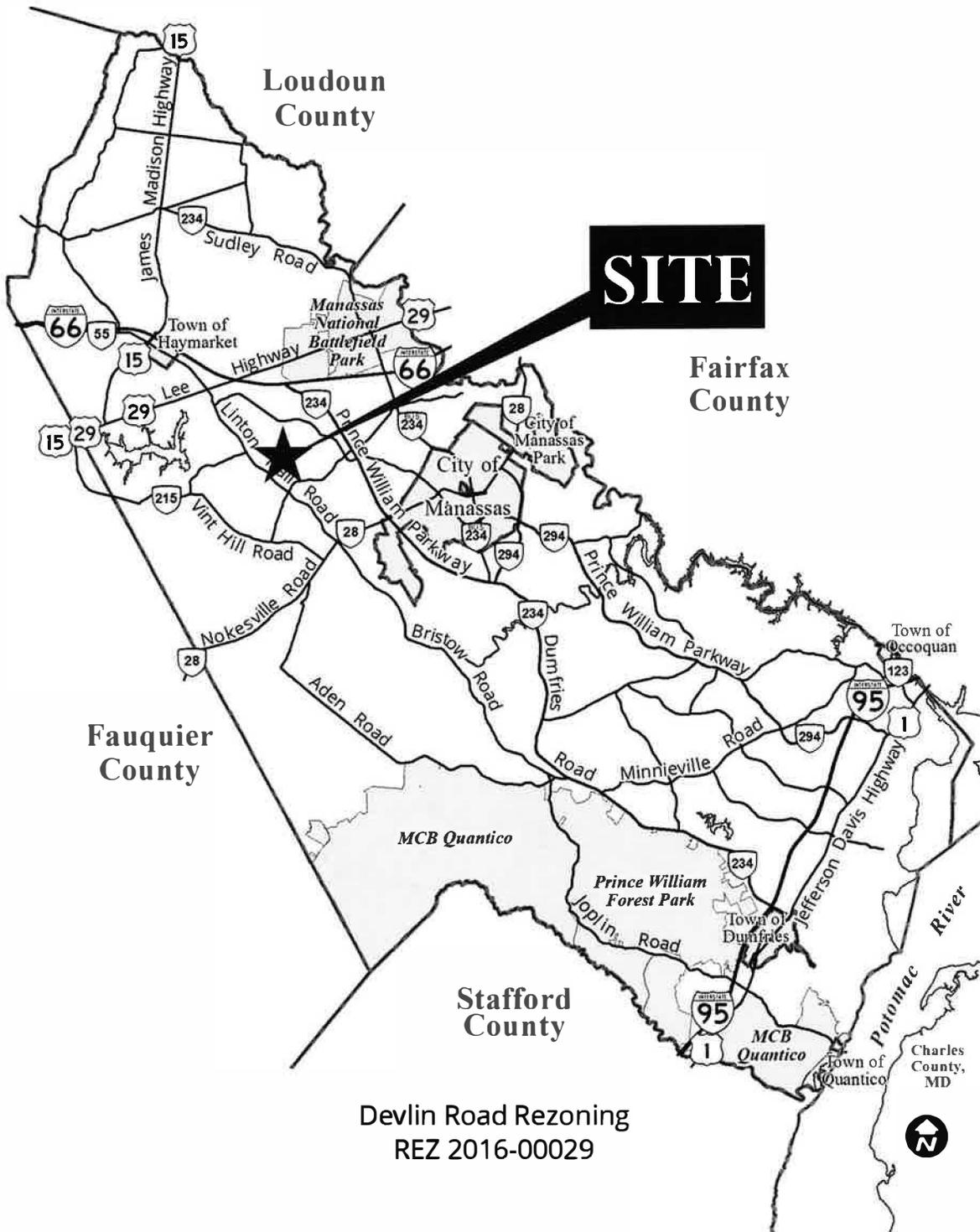
The Board of County Supervisors generally has one year from the date of acceptance to take action on a rezoning request. The one-year time frame ended on June 20, 2017. Due to prolonged periods of inactivity by the Applicant, this project has experienced multiple delays and was unable to proceed to public hearing within the one-year time frame.

STAFF CONTACT INFORMATION

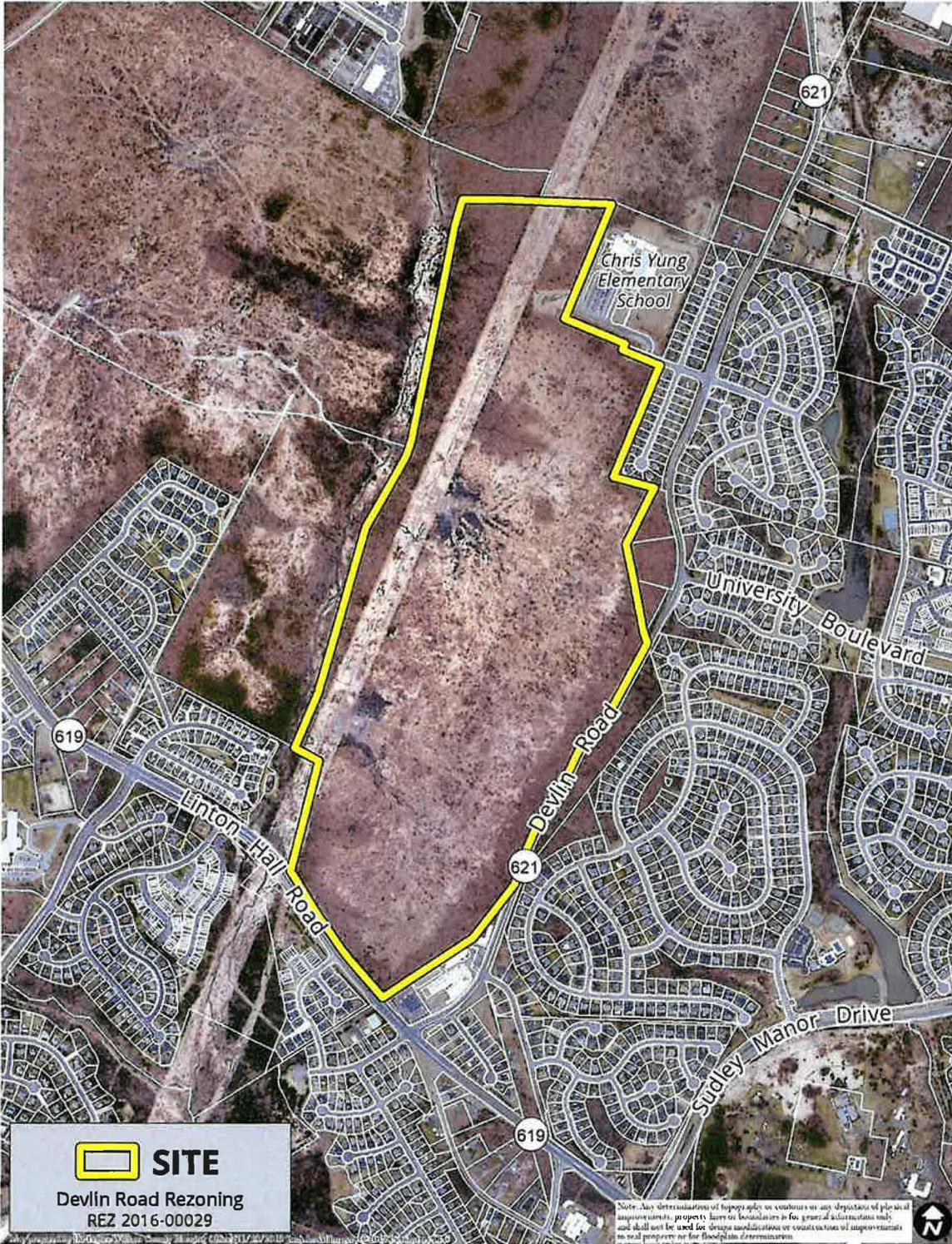
Stephen L. Donohoe, AICP | (703) 792-5282
sdonohoe@pwcgov.org

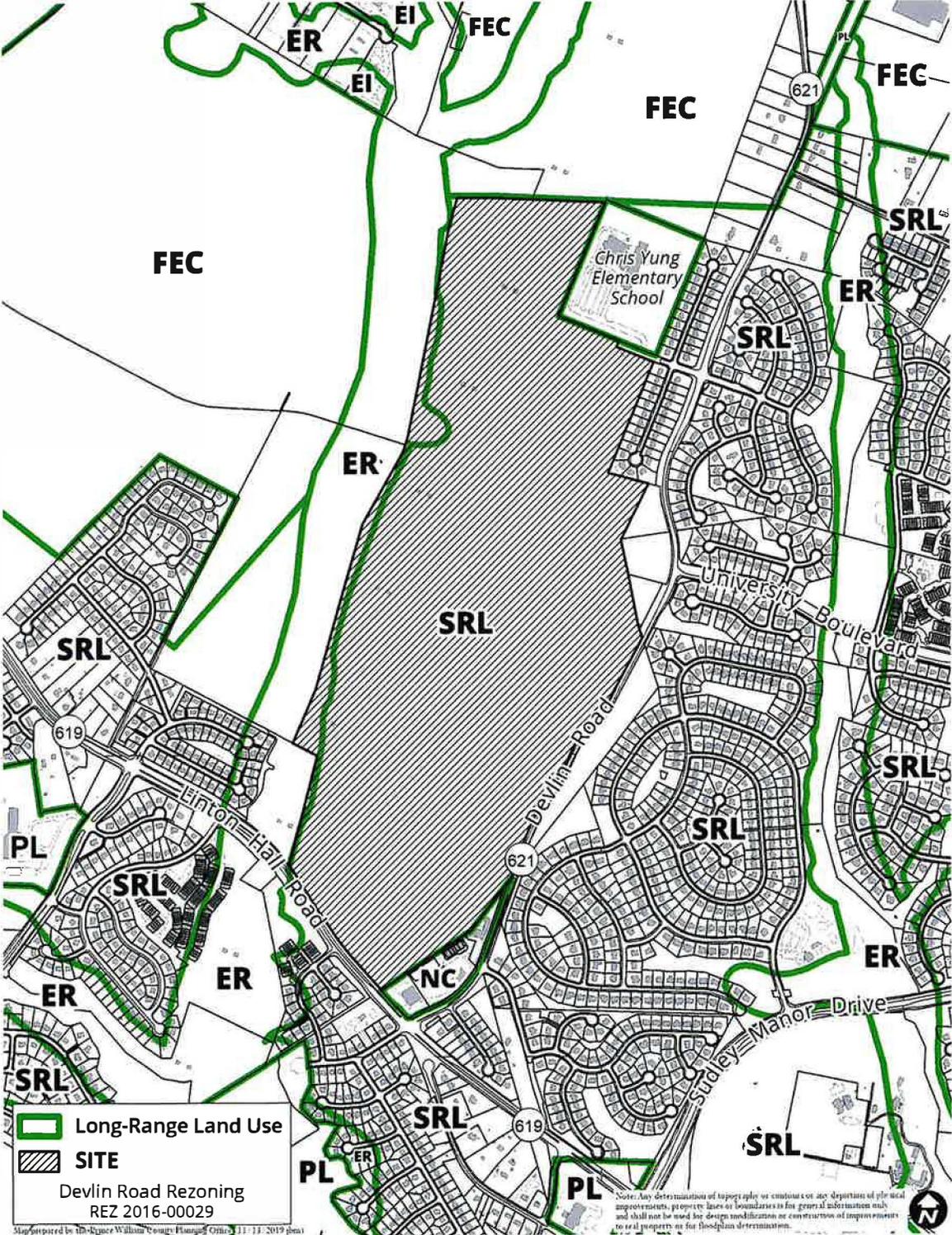
ATTACHMENTS

Area Maps
Staff Analysis
Master Zoning Plan & Transportation Improvement Exhibit
Design Guidelines
Environmental Constraints Analysis
Planning Commission Resolution



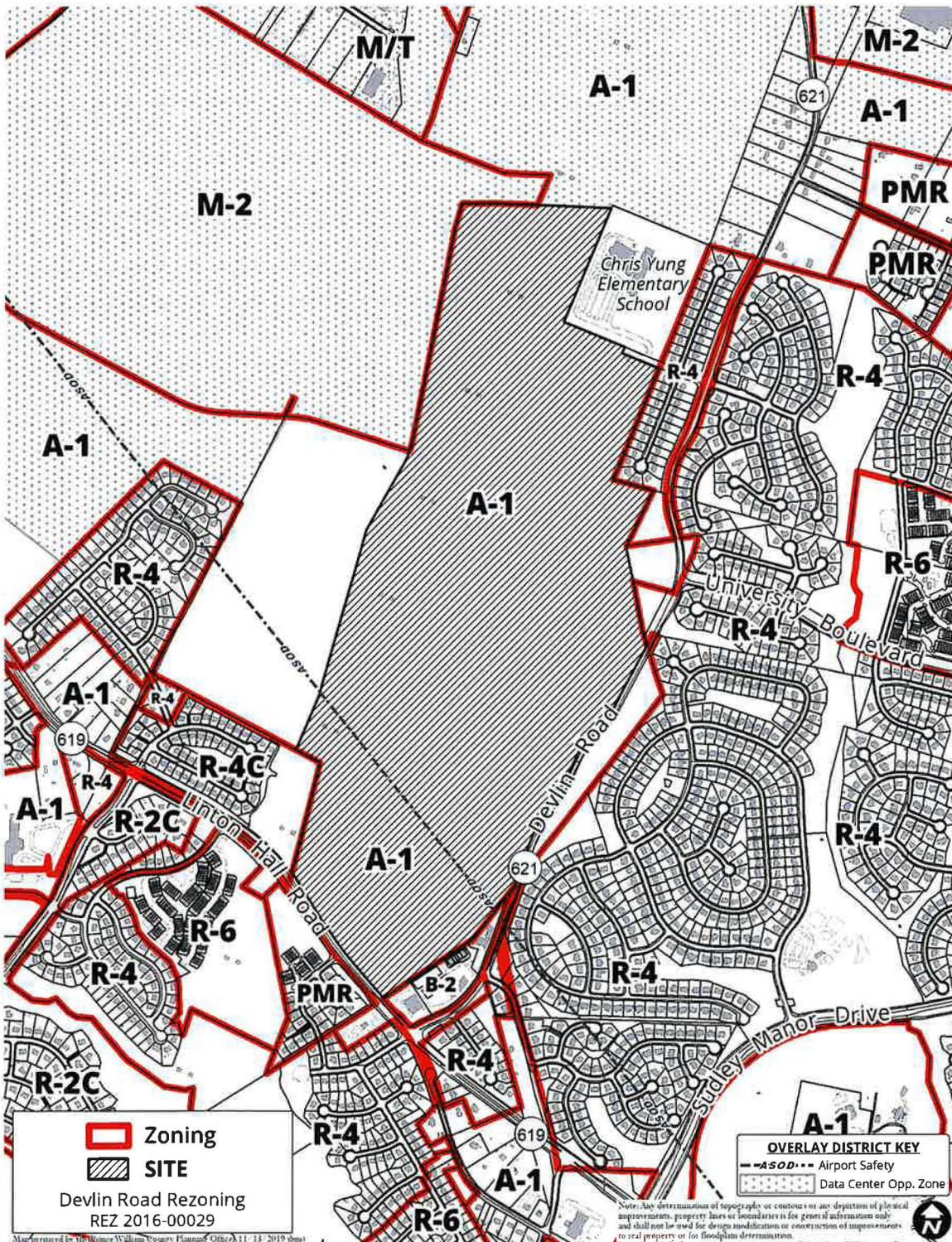
Devlin Road Rezoning
REZ 2016-00029





Map prepared by the Prince William County Planning Office 11-13-2019 (pwa)

Note: Any determination of topography or contours or any depiction of physical improvements, property lines or boundaries is for general information only and shall not be used for design modification or construction of improvements to real property or for floodplain determination.



Part I. Summary of Comprehensive Plan Consistency

Staff Recommendation: Approval

This analysis is based on the relevant Comprehensive Plan action strategies, goals, and policies. A complete analysis is provided in Part II of this report.

| Comprehensive Plan Sections | Plan Consistency |
|-----------------------------|------------------|
| Long-Range Land Use | Yes |
| Community Design | Yes |
| Cultural Resources | Yes |
| Environment | Yes |
| Fire and Rescue | Yes |
| Housing | Yes |
| Libraries | Yes |
| Parks and Recreation | Yes |
| Police | Yes |
| Potable Water | Yes |
| Sanitary Sewer | Yes |
| Schools | Yes |
| Transportation | Yes |

Part II. Comprehensive Plan Consistency Analysis

The following table summarizes the area characteristics (see maps in Attachment A):

| Direction | Land Use | Long Range Future Land Use Map Designation | Zoning |
|-----------|---|--|--------------------------|
| North | Vacant / Undeveloped | FEC | M-2 & A-1 |
| South | Bristow Commons Commercial Center including various retail, pharmacy, child care facility; Single-family detached dwellings, townhouses | SRL, NC & ER | R-4, R-6, PMR, A-1 & B-2 |
| East | Chris Yung Elementary School, Single-family detached dwellings | SRL | R-4 & A-1 |
| West | Vacant / Undeveloped, Single-family detached dwellings | SRL, FEC & ER | A-1, R-4C & M-2 |

Long-Range Land Use Plan Analysis

Through wise land use planning, the County ensures that landowners are provided a reasonable use of their land while the County is able to judiciously use its resources to provide the services for residents and employers' needs. The Long Range Land Use Plan sets out policies and action strategies that further the County's goal of concentrating population, jobs, and infrastructure within vibrant, walkable, mixed-use centers serviced by transit. In addition to delineating land uses on the Long Range Land Use Map, the Plan includes smart growth principles that promote a countywide pattern of land use that encourages fiscally sound development and achieves a high-quality living environment; promotes distinct centers of commerce and centers of community; complements and respects our cultural and natural resources, and preserves historic landscapes and site-specific cultural resources; provides adequate recreational, park, open space and trail amenities that contribute to a high quality of life for County residents; and revitalizes, protects, and preserves existing neighborhoods.

This site is located within the Development Area, and is classified as SRL, Suburban Residential Low, and ER, Environmental Resource, on the Long Range Land Use Map. The following table summarizes the uses and densities intended within the long range land use designations:

| Long Range Land Use Map Designation | Intended Uses and Densities |
|--|--|
| Suburban Residential Low (SRL) | The purpose of the Suburban Residential Low classification is to provide for housing opportunities at a low suburban density. The housing type in this classification is single-family detached, but up to 25 percent of the total land area may be single-family attached. The density range in SRL projects is 1-4 units per gross acre, less the ER-, Environmental Resource-designated portion of a property. Cluster housing and the use of the planned unit development concept may occur, provided that such clustering and planned district development furthers valuable environmental objectives as stated in EN-Policy 1 and EN-Policy 4 of the Environment Plan. |
| Environmental Resource (ER) | This classification is explained in detail within the Environment Plan. Therein are located goals, policies, action strategies, and other Plan components designed to protect the sensitive nature of the identified resources. Environmental Resources include all 100-year floodplains as determined by the Federal Emergency Management Agency (FEMA), Flood Hazard Use Maps or natural 100-year floodplains as defined in the <i>DCSM</i> , and Resource Protection Areas (RPAs) as defined by the <i>Chesapeake Bay Preservation Act</i> . In addition, areas shown in an environmental constraints analysis submitted with a rezoning or special use permit application with wetlands; 25 percent or greater slopes; areas with 15 percent or greater slopes in conjunction with soils that have severe limitations; soils with a predominance of marine clays; public water supply sources; and |

| | |
|--|--|
| | critically erodible shorelines and stream banks are considered part of the Environmental Resource Designation. |
|--|--|

This is a request to rezone ±269.9 acres from A-1, Agricultural, to PMR, Planned Mixed Residential, to allow for the development of a maximum of 516 single-family detached dwelling units. The project shown on the Master Zoning Plan consisting of three landbays, with a landbay designation of PMR – LDR / OS, Low Density Residential / Open Space. The proposed net density (less the ER, Environmental Resource, area) of the project is ±2.09 dwelling units per acre.

The site is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch. The site extends northward from Linton Hall Rd. to the general area of Chris Yung Elementary School. The site is identified on County maps as GPIN 7496-63-4377.

Devlin Road Rezoning Proposed Unit Reduction Throughout Review Process:

- June 20, 2016 – Original rezoning submission – Proposal for a maximum of 650 single-family detached dwellings
- July 25, 2018 – Submission (6th) – Proposal reduced not to exceed 551 single-family detached dwellings
- November 15, 2018 – Post Planning Commission submission – Proposal reduced not to exceed 516 single-family detached dwellings.

The Master Zoning Plan includes three land bays on the subject site. In addition to the residential units, each landbay will include passive and active open space, trails, community parks and tot lots. Land Bay A is a ±88.1 acre land bay located on the northern end of the project and is proposed to have no more than 135 dwelling units. Landbay B is the largest of the three landbays at ±108.8 and will be developed with a maximum of 235 units. Landbay B will include the community recreation amenity that will include a clubhouse with bathhouse facilities, community pool, multi-purpose court and dog park. Landbay C is located on the southern end of the project and consists of ±73 acres. Landbay C will have no more than 160 residential units. As noted on the MZP, the total number of units shall not exceed 516. Throughout the natural open space area on the west side of the project there will be a public trail constructed that will connect to the sidewalk along Linton Hall Road and will link with multiple trail heads. Additionally, a vehicular and pedestrian connection to the Bristow Commons commercial center will be provided.

The property has a 240 foot wide utility easement that extends along the entire western edge of the development portion of this property. The utility easement includes high voltage electrical transmission wires that preclude development within the easement. Only trail connections are proposed as crossings into the natural open space area that will include extensive natural surface trails. The utility easement consists of roughly 27.2 acres. Although the utility easement area is calculated in the overall open space provided by the project, no development can occur within easement. As noted in the table above, the 30% open space requirement for the project is met without factoring in the utility easement acreage. Furthermore, upon calculating the overall project density, less the +/-27.2 acre utility easement, the density is +/-2.13 du/ac., within the density range for the SRL land use designation.

Previous Community Outreach - This site has been targeted for residential development in the past. Community outreach meetings associated with previous development efforts resulted in the development concepts/themes provided below:

Community Feedback - Preserve open space and provide opportunities for passive recreation. A recreational open space corridor should be provided along Piney Branch. Opportunities to connect this open space with development areas within the project area and to adjacent communities should be considered.

How Devlin Rd. Rezoning addresses this?

The area is shown on the MZP as natural open space that will be left undisturbed with exception of utility easements, University Boulevard ROW, and construction of the proposed trail network. The developer shall provide trails will have multiple connections points in the community and will connect to the proposed sidewalk along Linton Hall Road. The trails provided throughout the natural open space area will be open to the public.

Community Feedback - Special attention should be given to tree preservation and to providing appropriate buffers along existing neighborhoods. In addition, significant tree preservation along Linton Hall Road should be provided.

How Devlin Rd. Rezoning addresses this?

As proffered, a 50 ft. wide buffer will be provided between the proposed development and the existing homes within the Lanier Farms community. However, there is no commitment that the buffer will be provided through preservation. Additionally, the proposed lots that abut Lanier Farms will be a minimum of 10,000 square feet.

Community Feedback - School impacts (particularly the need for a high school), transportation impacts, and the need for public facilities (e.g. active recreation, community facilities, etc.) should be addressed

How Devlin Rd. Rezoning addresses this?

Level of service impacts were identified, analyzed, and addressed in the proffers. Refer to the LOS table provided on page 6 of the Staff Report.

Community Feedback - Direct access to Linton Hall Road should be minimized.

How Devlin Rd. Rezoning addresses this?

Project does not include direct access along Linton Hall Road.

Community Feedback - Pursue completion of Rollins Ford Road and University Boulevard should be provided.

How Devlin Rd. Rezoning addresses this?

Given the scope of the project changing significantly since the previously proposed Stone Haven development project, the focus on road improvements shifted to Devlin Road. However, ROW dedication and construction of a half section of University Boulevard is proffered.

Proposal's Strengths

- **Zoning and Long-Range Land Use Compatibility:** The property is zoned A-1, Agricultural and designated SRL, Suburban Residential Low, in the Comprehensive Plan. The existing A-1 zoning does not implement the SRL designation. The Applicant proposes to rezone the property to PMR. The proposed PMR zoning is considered an implementation tool for the SRL Long-Range Land Use designation.
- **Overall Project Density:** Per the Comprehensive Plan, the density range for projects in the SRL, Suburban Residential Low, classification is 1-4 units per gross acre, less the ER, Environmental Resource. The project's density is within the range envisioned in the Comprehensive Plan. The net density, when calculated using guidance provided in the Comprehensive Plan, is 2.09 dwelling units per acre.
 - Total Site: 269.9 acre site
 - Proposed # Units 516
 - Gross Density = 1.91 du/ac.
 - Net Density (less the ER of +/-23.2 ac.) = 2.09 du/ac.
- **Trail Connectivity:** The project will include a scenic trail throughout the natural open space area on the west side of the property. The project will include a location for a future trail connection to points north towards Wellington Road, as well as the construction of the trail with Linton Hall Road. This trail will complement the nearby Broad Run Linear trail network.

Proposal's Weaknesses

- **Open Space:** The project's open space calculation relies heavily on the encumbered open space associated with the electrical utility easement that traverses the property. Although the project meets the minimum 30% open space requirement, and does so without including the utility easement acreage, it is preferable, that the layout better incorporate the provided open space throughout the "development portion" of the project.

On balance, this application is found to be consistent with the relevant components of the Long-Range Land Use Plan.

Community Design Plan Analysis

An attractive, well-designed County will attract quality development, instill civic pride, improve the visual character of the community and create a strong, positive image of Prince William County. The Community Design Plan sets out policies and action strategies that further the County's goals of providing quality development and a quality living environment for residents, businesses and visitors, and creating livable and attractive communities. The Plan includes recommendations relating to building design, site layout, circulation, signage, access to transit, landscaping and streetscaping, community open spaces, natural and cultural amenities, stormwater management, and the preservation of environmental features.

Proposal's Strengths

- **Conformity to Plans:** As proffered, the site shall be constructed in substantial conformance with the MZP, Transportation Improvement Exhibits, and the Design Guidelines.
- **Design Guidelines:** The Comprehensive Plan recommends that general development plans submitted with applications for rezonings, include architectural, sign, lighting, and landscape concepts for all developments. In addition, proposed layouts and architectural elevations for all nonresidential projects are recommended. Design Guidelines have been proposed with the project that address each of these recommendations. The Applicant has proffered substantial conformance with the design concepts and details contained within the Design Guidelines. Minor changes to the Design Guidelines may be considered, but require approval by the Planning Director.
- **Pedestrian Circulation:** The Comprehensive Plan recommends the provision of pedestrian links between and among commercial properties, community facilities, and nearby residential neighborhoods. The application proposes a network for the community with sidewalks and trail facilities.
- **Landscape Plan and Street Hierarchy:** The Comprehensive Plan recommends that development proposals reinforce the hierarchy of streets, through the use of trees, shrubs, ground covers, lighting, and signage that are scaled appropriately to the street's width and function. The plan includes a streetscape design that promotes street hierarchy. The community entryways shall have planted buffers, include decorative stone walls and/or fencing, and coordinated signage. The buffers provided along University Blvd. and along the entrances from University Blvd. and Devlin Rd. exceed minimum design standards.
- **Layout:** The layout of the proposed 516 lots is included in the Design Guidelines provided. Development of the community will include the following:
 - Preserved natural Open Space areas of varying width along Devlin Rd. and Linton Hall Rd.
 - 50 ft. buffer and minimum 10,000 SF lot size for development that abuts the Lanier Farm community.
 - Multiple parks with varying design and focus.
 - Plan will not include the use of flag lots, pipe stems and alleys.
 - Community connections to Bristow Commons shopping center.
 - Pedestrian connections and trails will be provided to allow connection to existing trail network

Proposal's Weaknesses

- **Proximity to Electrical Transmission Utility Easement:** Placement of lots near the 240 ft. wide 500 kv electrical transmission utility easement is a community design weakness. Staff's recommendation to include greater separation and screening between the easement. As shown on the illustrative layout plan, a minimum of 34 lots will be located along the edge of the electrical utility easement. Since the Planning Commission hearing, the Applicant has provided a 50' buffer to lessen this concern, however, greater separation and screening through preservation has been a point of discussion since the original submission of the project.

On balance, this application is found to be consistent with the relevant components of the Community Design Plan.

Cultural Resources Plan Analysis

Prince William County promotes the identification, evaluation, and protection of cultural resource sites throughout the County, as well as the tourism opportunities these sites present. The Cultural Resources Plan recommends identifying, preserving, and protecting Prince William County's significant historical, archaeological, architectural, and other cultural resources—including those significant to the County's minority communities—for the benefit of all of the County's citizens and visitors. To facilitate the identification and protection of known significant properties that have cultural resource values worthy of preservation, the land use classification County Registered Historic Site (CRHS) is used in the Comprehensive Plan. The Plan includes areas of potentially significant known but ill-defined or suspected pre-historic sites, Civil War sites, historic viewsheds, landscapes or areas of potential impact to important historic sites, and encourages the identification, preservation, protection, and maintenance of all cemeteries and/or gravesites located within the County.

The Historical Commission was sent the application for review and comment. No cultural resource studies were requested on the subject site. A Historical Commission resolution dated May 9, 2017, recommends no further work.

Proposal's Strengths

- **Historical Commission Review:** The Historical Commission reviewed this proposal at its May 9, 2017, meeting, and determined that no further work was needed. Additionally, the proffers address the comments provided by the County Archaeologist.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Cultural Resources Plan.

Environment Plan Analysis

Prince William County has a diverse natural environment, extending from sea level to mountain crest. Sound environmental protection strategies will allow the natural environment to co-exist with a vibrant, growing economy. The Environment Plan sets out policies and action strategies that further the County's goal of preserving, protecting and enhancing significant environmental resources and features. The Plan includes recommendations relating to the incorporation of environmentally sensitive development techniques, improvement of air quality, identification of problematic soil issues, preservation of native

vegetation, enhancement of surface and groundwater quality, limitations on impervious surfaces, and the protection of significant viewsheds.

The Applicant submitted an Environmental Constraint Analysis (ECA). The ECA includes information of the mapped Resource Protection Area (RPA) and delineated floodplain. The site was primarily wooded but has had large sections cleared with logging activity having occurred on property. The property does contain mapped Resource Protection Area (RPA), wetlands, and steep slopes in portions of the site. As shown on the ECA, the site has a mapped ER, Environmental Resource area of approximately 10.7 acres. Additionally, the ECA shows another 12.5 acres that qualify as ER due to the combination of slopes and erodible soils. The total ER as shown on the Applicant's ECA is 23.2 acres.

This site is located in Subwatersheds #244 and 260, which flows into Rocky Branch in the Broad Run watershed. Stormwater management will be addressed for each phase of development as determined at site plan review.

STORMWATER MANAGEMENT

State law requires that properties and waterways downstream from new development sites be protected from sediment deposition, erosion, and damage due to increases in the volume, velocity, and peak flow rate of stormwater runoff. Concentrated stormwater runoff leaving a development site shall be discharged directly into a well-defined natural, restored, or man-made on-site or off-site receiving conveyance system. To satisfy these requirements, the adequacy of all man-made (including pipes), restored, and natural stormwater conveyance systems shall be verified in accordance with the channel protection and flood protection requirements of the Design and Construction Standards Manual (DCSM).

In addition to concentrated stormwater runoff leaving a development, increased volumes of sheet flow must be identified and evaluated for potential impacts on down-gradient properties or resources. Increased volumes of sheet flow that will cause or contribute to erosion, sedimentation, or flooding of down gradient properties or resources shall be diverted to a stormwater management facility or a stormwater conveyance system that conveys the runoff without causing down-gradient erosion, sedimentation, or flooding.

The proposal will comply with the stormwater regulations. A stormwater management plan and an erosion/sediment control plan must be approved prior to site/subdivision plan approval. County site inspectors will inspect stormwater management facilities during construction as well as after construction, prior to bond release, to ensure the facilities are built according to the approved plans.

At time of rezoning, the Applicant is required to provide conceptual information that indicates how onsite stormwater may be managed. No additional information is required at this time, as stormwater management will be addressed in detail prior to the issuance of building permits.

Proposal's Strengths

- **Water Quality:** A \$75 per acre monetary contribution for water quality monitoring, stream restoration, and/or drainage improvements has been proffered.
- **Limits of Clearing & Grading:** A defined limits of clearing and grading for the site is proposed. The limits of clearing and grading will preserve existing RPA, steep slopes, and wetlands that exist on the western side of the site. The areas outside of the limits of clearing and grading shall remain in their natural undisturbed condition with the exception of the disturbance associated with utility easements and construction of the "scenic community trails." The Applicant will limit clearing and grading on the

property to those areas depicted on the Open Space Plan, subject to minor revisions in accordance with final engineering considerations at the time of plan review and approval.

- **Tree Preservation:** As proffered, a tree preservation plan for the trees located Linton Hall Road and Devlin Road will be prepared by a certified arborist and shall be submitted to the Prince William County Watershed Management Division for review.

Proposal's Weaknesses

- **Preservation for Buffers:** The total tree preservation proposed on site is approximately 14.3% of the total site area. The buffers shown on the plan will primarily be provided as replanted areas instead of being provided through preservation. The Applicant was requested to provide all of the required tree cover, which is 20% of the site, through tree preservation.

On balance, the application is found to be consistent with the relevant components of the Environment Plan.

Fire and Rescue Plan Analysis

Quality fire and rescue services provide a measure of security and safety that both residents and businesses have come to expect from the County. The Fire and Rescue Plan sets out policies and action strategies that further the County's goal of protecting lives, property, and the environment through timely, professional, humanitarian services essential to the health, safety, and well-being of the community. The Plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility for fire and rescue facilities. The Plan also includes recommendations to supplement response time and reduce risk of injury or death to County residents, establishment of educational programs, such as cardio-pulmonary resuscitation (CPR) training, automatic external defibrillators (AED), and encourage installation of additional fire protection systems—such as sprinklers, smoke detectors, and other architectural modifications.

The first due responding station is the Linton Hall (Braemar) Fire and Rescue Station #25. According to the most recent figures, Fire Station #25 responded to 3,350 incidents in FY19, and the station's workload capacity is 4,000 incidents. The station is located approximately 1.9 miles west of the subject site and is located within the 4.0-minute response time for basic life support and fire suppression. The site is also located within the 8.0-minute response time for advanced life support.

Capital Improvement Projects in the Area

Planning staff notes that the Groveton Fire and Rescue station #22 is planned and under construction near the subject site's designated service area. Fire & Rescue Station #22 will be located at 11600 Balls Ford Road in the west end of the County and is planned to be approximately 21,000 square feet. Construction of Fire and Rescue Station #22 is scheduled to be completed in January 2021 (FY21) and occupancy is planned for March 2021 (FY21). The station will house a pumper, rescue unit, collapse unit, and an Advanced Life Support (ALS) ambulance. Career staffing will be provided for a 24-hour pumper unit, 24-hour rescue unit, and a 24-hour medic unit. The building will include sleeping quarters, a kitchen, dayroom, physical fitness room, training room, storage for heavy tactical rescue equipment, and offices. Additionally, the station will include three to four apparatus bays, an area for personal protective equipment, and an exterior training

tower. Station #25 is anticipated to experience response time improvements as a result of the completion of the new Station #22. Additionally, staff anticipates systemwide response time improvements once the new fire and rescue station is operational.

Proposal's Strengths

- **Monetary Contribution:** The Applicant has proffered a per unit monetary contribution in accordance with the policy guidelines in effect at the time the application was submitted.
- **4.0 Minute Response Time:** The majority of the site is within the recommended 4.0-minute response time for fire suppression and basic life support.
- **8.0 Minute Response Time:** The site is within the recommended 8.0-minute response time for advanced life support.
- **Station Workload:** Fire and Rescue Station #25 responded to 3,350 incidents, and the station's workload capacity is 4,000 incidents. The station's workload capacity is within the recommended standard.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Fire and Rescue Plan.

Housing Plan Analysis

Prince William County is committed to clean, safe and attractive neighborhoods for all its residents, and the elimination of neighborhood blight and substandard housing. The Housing Plan sets out policies and action strategies that further the County's goal of identifying locations and criteria for the provision of diverse housing opportunities for all segments of our population and to promote economic development. The Plan includes recommendations relating to neighborhood preservation and improvement, affordable housing, special needs housing, and public/private partnerships to address housing needs.

Proposal's Strengths

- **Monetary Contributions:** The Applicant proffers monetary contributions to the Housing Preservation and Development Fund in the amount of \$250. This assists with the provision of affordable housing in Prince William County.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Housing Plan.

Library Plan Analysis

Access to a variety of information is a valuable service provided by the County. The Library Plan sets out policies and action strategies that further the County’s goal of providing adequate library facilities and information resources to our residents. The Plan includes recommendations relating to siting criteria, appropriate levels of service, and land use compatibility.

Proposal’s Strengths

- **Level of Service:** The Applicant proffers monetary contributions for libraries. These monetary contributions are in accordance with County’s 2014 LOS Policy Guidelines, which were in effect at the time the rezoning was originally submitted.

Proposal’s Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Library Plan.

Parks, Open Space and Trails Plan Analysis

The quality of life for residents of Prince William County is linked closely to the development and management of a well-maintained system of parks, trails, and open space. Prince William County contains a diversity of park, open space, and trail resources. These parklands, open spaces, and recreational facilities play a key role in shaping both the landscape and the quality of life of Prince William County residents through the conservation of natural and cultural resources, protection of environmental quality, and provision of recreational facilities. The Parks, Open Space and Trails Plan sets out policies and action strategies that further the County’s goal of providing park lands and recreational facilities of a quantity, variety, and quality appropriate to meet the needs of the current and future residents of Prince William County. The Plan includes recommendations to preserve existing protected open space, maintain high quality open space, expand the amount of protected open space within the County, and to plan and implement a comprehensive countywide network of trails.

The proposed residential development is near the following area parks and trails:

| Type | Name |
|---------------------------|--|
| Neighborhood | Braemar Park |
| Community | Rollins Ford Park (scheduled completion – Spring 2022) |
| Regional | Prince William Golf Course |
| Linear and Resource-Based | Bridlewood-Rocky Branch Park, Broad Run Linear Park |
| Trails | Broad Run Greenway |

Proposal's Strengths

- **Level of Service:** The Applicant proffers monetary contributions for parks in accordance with the County's 2014 LOS Policy Guidelines for the new dwelling units proposed with the subject rezoning.
- **Community Amenities:** The Applicant proposes an amenity package for the residents, including a clubhouse with bathhouse facilities, a 6-lane, 25-meter swimming pool, two tot lots and two multi-purpose and/or tennis courts, and other amenities as depicted in the Design Guidelines.
- **Trails:** The Applicant has proposed to construct several pedestrian facility types, including sidewalks, Class I trail, and a scenic trail throughout the natural open space area of the project. The Applicant has added the provision for public access and the trail connectivity to the northern Property line and to the Bristow Commons shopping center. The proposed scenic trail throughout the natural open space area will have multiple trailheads within the community and will connect to the sidewalk the Applicant will construct along Linton Hall Road. This trail will be made available to the public and will be a significant addition to the network of trails in the area.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Parks, Open Space and Trails Plan.

Police Plan Analysis

Residents and businesses expect a high level of police service for their community. This service increases the sense of safety and protects community investments. The Police Plan is designed to promote Prince William County's public safety strategic goal to continue to be a safe community, reduce criminal activity, and prevent personal injury and loss of life and property, as well as to ensure effective and timely responses throughout the County. The Plan encourages funding and locating future police facilities to maximize public accessibility and police visibility as well as to permit effective, timely response to citizen needs and concerns. The Plan recommends educational initiatives, such as Neighborhood and Business Watch, and Crime Prevention through Environmental Design (CPTED), which encourages new development to be designed in a way that enhances crime prevention. The Plan also encourages effective and reliable public safety communications linking emergency responders in the field with the Public Safety Communications Center.

The Prince William County Police CPTED Manual, *Crime Prevention Through Environmental Design: A guide to safe environments in Prince William County, Virginia*, can be found at <http://www.pwccgov.org/government/dept/police/Pages/CPTED.aspx> . We encourage the Applicant to pay particular attention to the following sections:

- CPTED Techniques Single-Family Homes, pages 4 - 6
- Neighborhood, page 6
- Parks, Trails and Open Spaces, pages 19 - 20
- Lighting and Landscaping, page 24
- Neighborhood Watch, page 25

The developer/applicant is encouraged to pay particular attention to the CPTED manual and apply design principles during the final site design phase.

Proposal's Strengths

- **HOA Establishment:** As proffered, the Applicant shall create a Homeowners' Association (HOA) which shall be responsible for the maintenance of any common open space, trails, sidewalks, signage, and recreational features.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Police Plan.

Potable Water Plan Analysis

A safe, dependable drinking water source is a reasonable expectation of County residents and businesses. The Potable Water Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound drinking water system. The Plan includes recommendations relating to system expansion, required connections to public water in the Development Area, and the use of private wells or public water in the Rural Area.

The property is within the Prince William County Service Authority service area. Public water is available to the property from an existing 24-inch transmission main located south of the subject parcel along Linton Hall Road and from an existing 12-inch stub out located near the northern boundary at Chris Yung Elementary School. The Applicant will be required to install a minimum 12-inch diameter main through their site connecting the existing 24-inch and the 12-inch stub out.

Proposal's Strengths

- **Water Connection & Service:** The Applicant has proffered to be responsible for all on-site and off-site improvements required to provide the water service demand generated by the development.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Potable Water Plan.

Sanitary Sewer Plan Analysis

Appropriate wastewater and sanitary facilities provide needed public health and environmental protections. The Sanitary Sewer Plan sets out policies and action strategies that further the County's goal of providing an economically and environmentally sound sanitary sewer system. The Plan includes recommendations relating to system expansion, required connections to public sewer in the Development Area, and the use of either private or public sewer systems in locations classified as Semi-Rural Residential (SRR), as well as the Rural Area.

The property is within the Prince William County Service Authority area. Public sewer is available to the property to the site from an existing 24-inch gravity sewer main located south of the subject parcel in the Amberleigh Station subdivision.

Proposal's Strengths

- **Sewer Connection & Service:** The Applicant has proffered to be responsible for all on-site and off-site improvements required to provide the sewer service demand generated by the development.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Sanitary Sewer Plan.

Schools Plan Analysis

The Schools Plan establishes level of service standards for schools countywide, based on available or projected program capabilities. The Schools Plan recommends that proposed developments offset impacts on County schools by providing land for future schools and/or monetary contributions for construction of schools.

The following information was provided by the Schools Division in the Development Impact Statement dated February 24, 2020.



Prince William County
PUBLIC SCHOOLS
Providing A World-Class Education

Prince William County School Board–Impact Statement

| | | | |
|------------------------------|---|------------------------------------|------------------------------------|
| Date: | February 24, 2020 | | |
| Case Number: | REZ2016-00029 | | |
| Case Name: | DEVLIN ROAD | | |
| Magisterial District: | Brentsville | | |
| Description: | Rezone 269.9 acres from A-1, Agricultural to PMR, Planned Mixed Residential | | |
| Proffer Evaluation Category: | <input checked="" type="checkbox"/> Pre-2016 | <input type="checkbox"/> 2016-2019 | <input type="checkbox"/> Post-2019 |

| Proposed Residential Rezoning (number of units) | Student Generation for Proposed Rezoning | | | | | | | | | | | | | | | | | | | | |
|---|--|--|---------------|-----|-----------|---|--------------|---|--------------|------------|--|--------------------|--|------------|-----|--------|----|------|-----|--------------|------------|
| <table border="1"> <thead> <tr> <th colspan="2">Housing Units Proposed</th> </tr> </thead> <tbody> <tr> <td>Single-Family</td> <td style="text-align: right;">516</td> </tr> <tr> <td>Townhouse</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Multi-family</td> <td style="text-align: right;">0</td> </tr> <tr> <td>Total</td> <td style="text-align: right;">516</td> </tr> </tbody> </table> | Housing Units Proposed | | Single-Family | 516 | Townhouse | 0 | Multi-family | 0 | Total | 516 | <table border="1"> <thead> <tr> <th colspan="2">Students Generated</th> </tr> </thead> <tbody> <tr> <td>Elementary</td> <td style="text-align: right;">151</td> </tr> <tr> <td>Middle</td> <td style="text-align: right;">84</td> </tr> <tr> <td>High</td> <td style="text-align: right;">116</td> </tr> <tr> <td>Total</td> <td style="text-align: right;">351</td> </tr> </tbody> </table> | Students Generated | | Elementary | 151 | Middle | 84 | High | 116 | Total | 351 |
| Housing Units Proposed | | | | | | | | | | | | | | | | | | | | | |
| Single-Family | 516 | | | | | | | | | | | | | | | | | | | | |
| Townhouse | 0 | | | | | | | | | | | | | | | | | | | | |
| Multi-family | 0 | | | | | | | | | | | | | | | | | | | | |
| Total | 516 | | | | | | | | | | | | | | | | | | | | |
| Students Generated | | | | | | | | | | | | | | | | | | | | | |
| Elementary | 151 | | | | | | | | | | | | | | | | | | | | |
| Middle | 84 | | | | | | | | | | | | | | | | | | | | |
| High | 116 | | | | | | | | | | | | | | | | | | | | |
| Total | 351 | | | | | | | | | | | | | | | | | | | | |

| Developer Proposed Mitigation | | | |
|---|---|------------------------------|---|
| Monetary proffers are consistent with Monetary Policy Guide (for cases prior to July 1, 2016)? | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No | <input type="checkbox"/> N/A |
| School site, if offered, addresses a need identified in the School Division’s CIP? | <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input checked="" type="checkbox"/> N/A |
| The location and size of the school site, if offered, is acceptable to the School Division? | <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input checked="" type="checkbox"/> N/A |
| For cases July 1, 2016 to present | | | |
| The student generation methodology in the developer’s impact analysis is acceptable? | <input type="checkbox"/> Yes | <input type="checkbox"/> No* | <input checked="" type="checkbox"/> N/A |
| *If No, what is the correct student generation? | Elementary School | 0 | Total Students 0 |
| | Middle School | 0 | |
| | High School | 0 | |
| Monetary proffers, if offered, are based on adopted CIP projects, in terms of cost and in the geographic area of the rezoning, in the developer’s impact statement? | <input type="checkbox"/> Yes | <input type="checkbox"/> No | <input checked="" type="checkbox"/> N/A |

Developer Proposed Mitigation

- The developer’s Proffer Statement dated February 10, 2020, indicates a Level of Service (LOS) monetary contribution of \$20,694 per single-family unit. Monetary proffers will generate approximately \$10,678,104.
- In addition to the per unit contribution, the developer has proffered an additional monetary contribution to the Prince William Board of County Supervisors in the amount of \$45,000 for school purposes, in the event the 110th occupancy permit is requested prior to September 1, 2021.

Countywide Current and Projected Student Enrollment & Capacity Utilization

| School Level | Available Space | | 2019–20 | | | 2024–25 | | | 2029–30 | | |
|-------------------|--|---------------------|----------|-----------------------|-----------|----------|-----------------------|-----------|----------|-----------------------|-----------|
| | Capacity | Portable Classrooms | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) |
| Elementary School | 43,053 | 72 | 40,422 | 2,631 | 93.9% | 41,239 | 1,814 | 95.8% | 44,254 | -1,201 | 102.8% |
| Middle School | 20,949 | 50 | 21,357 | -408 | 101.9% | 21,596 | -647 | 103.1% | 22,554 | -1,605 | 107.7% |
| High School | 26,197 ¹ 28,754 ² | 61 | 28,056 | -1,859 | 107.1% | 30,078 | -1,324 | 104.6% | 31,406 | -2,652 | 109.2% |

¹ Capacity on which available space is calculated for the 2019–20 and 2020–21 school years.

² Capacity on which available space is calculated for the 2021–22 through 2029–30 school years.

**Current and Projected Student Enrollment & Capacity Utilization
– Schools in same attendance area as Proposed Rezoning**

Under the School Division’s 2019–20 school attendance area assignments, students generated from the Proposed Rezoning will attend the following schools:

| School Level | Available Space | | 2019–20 | | | 2024–25 | | | 2029–30 | | |
|----------------------|-----------------|---------------------|----------|-----------------------|-----------|----------|-----------------------|-----------|----------|-----------------------|-----------|
| | Capacity | Portable Classrooms | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) |
| Yung ES | 839 | 0 | 727 | 112 | 86.7% | 786 | 53 | 93.7% | 897 | -58 | 106.9% |
| Gainesville MS | 1,233 | 7 | 1,427 | -194 | 115.7% | 1,419 | -186 | 115.1% | 1,310 | -77 | 106.2% |
| Stonewall Jackson HS | 2,409 | 7 | 2,593 | -184 | 107.6% | 2,067 | 342 | 85.8% | 2,388 | 21 | 99.1% |
| 13th HS | 2,557 | 0 | 0 | 2,557 | 0.0% | 2,628 | -71 | 102.8% | 2,585 | -28 | 101.1% |

The proposed rezoning area is assigned to the 13th High School when it opens in 2021.

**Current and Projected Student Enrollment & Capacity Utilization
– Schools in same CIP Planning Area as Proposed Rezoning**

| School Level | Available Space | | 2019–20 | | | 2024–25 | | | 2029–30 | | |
|-------------------|-----------------|---------------------|----------|-----------------------|-----------|----------|-----------------------|-----------|----------|-----------------------|-----------|
| | Capacity | Portable Classrooms | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) |
| Bristow Run ES | 828 | 0 | 622 | 206 | 75.1% | 553 | 275 | 66.8% | 571 | 257 | 69.0% |
| Cedar Point ES | 838 | 0 | 575 | 263 | 68.6% | 601 | 237 | 71.7% | 663 | 175 | 79.1% |
| Ellis ES | 492 | 3 | 507 | -15 | 103.0% | 470 | 22 | 95.5% | 513 | -21 | 104.2% |
| Nokesville School | 641 | 0 | 670 | -29 | 104.5% | 772 | -131 | 120.4% | 949 | -308 | 148.0% |
| Piney Branch ES | 931 | 0 | 777 | 154 | 83.5% | 735 | 196 | 78.9% | 757 | 174 | 81.4% |
| Victory ES | 874 | 0 | 660 | 214 | 75.5% | 719 | 155 | 82.3% | 754 | 120 | 86.3% |
| Wood ES | 950 | 0 | 912 | 38 | 96.0% | 814 | 136 | 85.7% | 841 | 109 | 88.5% |

Current and Projected Student Enrollment & Capacity Utilization
– Schools in same attendance area as Proposed Rezoning, including the effect of students generated from proposed rezoning

| School Level | Available Space | | 2019–20 | | | 2024–25 | | | 2029–30 | | |
|----------------------|-----------------|---------------------|----------|-----------------------|-----------|----------|-----------------------|-----------|----------|-----------------------|-----------|
| | Capacity | Portable Classrooms | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) | Students | Space Available (+/-) | Util. (%) |
| Yung ES | 839 | 0 | 727 | 112 | 86.7% | 937 | -98 | 111.7% | 1,048 | -209 | 124.9% |
| Gainesville MS | 1,233 | 7 | 1,427 | -194 | 115.7% | 1,419 | -186 | 115.1% | 1,310 | -77 | 106.2% |
| Stonewall Jackson HS | 2,409 | 7 | 2,593 | -184 | 107.6% | 2,067 | 342 | 85.8% | 2,388 | 21 | 99.1% |
| 13th HS | 2,557 | 0 | 0 | 2,557 | 0.0% | 2,744 | -187 | 107.3% | 2,701 | -144 | 105.6% |

The proposed rezoning area is assigned to the 13th High School when it opens in 2021.

Schools Capital Improvements Program (CIP) Projects
that may impact schools in attendance areas of the Proposed Rezoning (with year anticipated)

| | |
|-------------------|---|
| Elementary School | Elementary School (Rosemount Lewis) (2022) |
| Middle School | Gainesville MS (11 room addition) (2022), Marsteller MS (11-room addition) (2022) |
| High School | 13 th High School (2021) |

Note: The capacity utilization of an individual school due to the impact of future Schools CIP projects will vary based upon the attendance area modifications approved by the School Board.

School Board Comments and Concerns

- The School Board is opposed to any rezoning application that causes student enrollment either Divisionwide, by school level, or by student enrollment at any assigned school, to exceed 100% of capacity.
- Current Divisionwide enrollment levels at middle and high schools in the aggregate exceed capacity.
- Current enrollment exceeds capacity at the assigned middle school (Gainesville) and assigned high school (Stonewall Jackson).
- As indicated above, the assigned elementary and middle schools are expected to exceed capacity within five years by approximately 11.7 to 15.1 percent with the additional students under this application. The assigned high school, (13th HS), is expected to exceed capacity by approximately 7.3 percent in five years. The anticipated additional students will further strain the operational and capital resources of the assigned schools and add to the School Division’s need to create new space for students.
- Transferring or reassigning students to other PWCS schools to relieve the additional overcapacity created by this application is not a solution acceptable to the School Board, nor likely to be well received by the school community. While the School Board must adjust school boundaries upon the opening of new schools or additions to existing schools, and does so only with community input and recommendations, it is opposed to boundary changes precipitated by the approval of individual residential developments.
- For these reasons, the School Board is opposed to the subject application.

Proposal's Strengths

- Monetary Contribution: The Applicant has proffered a per unit monetary contribution in accordance with the policy guidelines in effect at the time the application was submitted.
- Additional Schools Contribution: The Applicant's proffer statement proposes an additional \$45,000 monetary contribution, which was requested by Schools, and can be used for temporary improvements that may be necessary until permanent solutions, identified in the County Improvement Project (CIP), are provided. The contribution will be provided if the 110th occupancy permit is requested prior to September 21, 2021, which is the scheduled completion date for the 13th High School.
- Schools Capacity Improvements: As noted in the Schools Impact Statement, there are planned CIP projects for Rosemount Lewis Elementary, and Gainesville Middle expansion. The projected enrollment figures provided in the Impact Statement do not include the effect of the completion of Gainesville Middle school expansion nor the Rosemount Lewis Elementary school will have on enrollment and capacity. Both projects will increase facility space and may positively impact the school enrollment figures for the elementary and middle school levels.

Proposal's Weaknesses

- School Capacity: Although the effects of the approved CIP projects on the elementary and middle schools are not included in this Impact Statement, the enrollment figures are overcapacity for all three school levels for the 5-year and 10-year projections. The Devlin Road project area currently falls within the Stonewall Jackson High School boundary, however, that is changing for the 2021-2022 School year, because it will be redistricted into the 13th High School boundary. The enrollment figures provided include the enrollment projection for the new 13th High School, showing the 5-year and 10-year projections as overcapacity.

On balance, due to the Applicant's proffered per unit monetary contribution provided in conformance with the policy guidelines in effect at the time the application was submitted, this application is found to be consistent with the relevant components of the Schools Plan.

Transportation Plan Analysis

By providing a multi-modal approach to traffic circulation, Prince William County promotes the safe and efficient movement of goods and people throughout the County and surrounding jurisdictions. The Transportation Plan sets out policies and action strategies that further the County's goal of providing a complete, safe and efficient multimodal circulation system that includes sufficient capacity to meet the demands placed upon it. The Plan includes recommendations relating to improving existing service levels, increasing capacity of the current system, minimizing negative impacts to environmental and cultural resources, supporting targeted industries and major activity centers, exploring innovative funding mechanisms, promoting regional approaches to transportation issues, and promoting transit opportunities. At a minimum, projects should include strategies that result in a level of service of "D" or better on all

roadways, the dedication of planned rights-of-way, the provision of pedestrian pathways, and access to mass transit and other commuter facilities, as appropriate.

Vehicular access to the site will be from three locations as shown on the MZP, located along Devlin Road, University Boulevard, and from Fog Light Way. This project includes proffered improvements, both on-site and off-site, to Devlin Road, Linton Hall Road, and the extension /construction of a half section of University Boulevard west of Devlin Road. Additionally, the project includes two new traffic signals along Devlin Road to be constructed by the Applicant. A traffic impact analysis (TIA) was required for this application. The following table provides information concerning the daily volumes and levels of service of roadways important to this development.

| Roadway Name | Number of Lanes | 2018 VDOT Count Data | 2015 Daily LOS |
|----------------------------|-----------------|----------------------|----------------|
| Wellington Road (Rt. 674) | 2 - 4 | 15,000 vpd | D |
| Linton Hall Road (Rt. 619) | 4 | 29,000 vpd | B |
| Devlin Road (Rt. 621) | 2 | 9,100 vpd | D |

The full buildout of this project would generate approximately 5,200 vehicle trips per day. The TIA shows the percentage split of the trips as 50% using Devlin Road, 25% using Linton Hall Road northbound, and 25% using Linton Hall Road southbound. As such, the Applicant's proposed roadway improvements (in conjunction with the improvements proposed in the Comprehensive Plan) must provide sufficient capacity to handle these volumes and maintain acceptable levels of service.

Proposal's Strengths

- **University Boulevard:** As proffered, the Applicant shall dedicate 128 ft. of right of way (ROW) in accordance with the Thoroughfare Plan in the Comprehensive Plan. Additional ROW will be provided to accommodate turn lanes. The ROW dedication will be provided from Devlin Road to the western property line. The Applicant shall construct a half section of the road from Devlin Road to the access to the development in accordance with the Transportation and Utility Plan. The Applicant shall complete the construction prior to issuance of the first building permit for a residential unit within Landbay A or B.
- **Signalization:** As proffered, the Applicant shall design and install a traffic signal at the intersection of University Boulevard and Devlin Road, subject to a signal warrant study approved by VDOT. The Applicant will also be responsible for a signal at the intersection of Fog Light Way and Devlin Road if warranted prior to issuance of the last residential occupancy permit for the property.
- **Monetary Contributions:** As proffered, the Applicant shall provide monetary contributions for transportation improvements to be used to fund the widening of Devlin Road in conformance with the Thoroughfare Plan.
- **Devlin Road:**
 - **Devlin Road - North of University Boulevard to Balls Ford Road Relocated:** As proffered, the Applicant shall acquire ROW and improve Devlin Road to a 4-lane road with 10 ft wide shared-use path. The Applicant shall construct Devlin Road (and shall be completed prior to the issuance of the first occupancy permit for residential units within Landbay C. If the County determines that the

Applicant shall pay a monetary contribution in lieu of constructing this improvement, the Applicant will pay \$5.8 million at the first certificate of occupancy and \$7.2 million at the 232nd certificate of occupancy.

- Devlin Road – South of University Boulevard: As proffered, the Applicant shall dedicate up to 46 ft., plus additional ROW necessary for turn lanes.
- Linton Hall Road & Devlin Road Intersection: The Applicant shall extend the eastbound left turn lane on Linton Hall Road at the intersection with Devlin Road in conformance with the proffered Linton Hall Road Improvements Exhibit. The Applicant shall complete the construction prior to issuance of the first building permit for a residential unit within Landbay A or B.
- Linton Hall Road Pedestrian Connection: The Applicant will construct a five foot wide sidewalk to eliminate the gap along Linton Hall Road in this area.
- Linton Hall Road Access Prohibited: As proffered and shown on the plan, there shall be no direct vehicular access onto Linton Hall Road.

Proposal's Weaknesses

- None identified.

On balance, this application is found to be consistent with the relevant components of the Transportation Plan.

Materially Relevant Issues

This section of the report is intended to identify issues raised during the review of the proposal, which are not directly related to the policies, goals, or action strategies of the Comprehensive Plan, but which are materially relevant to the County's responsibilities in considering land use issues. The materially relevant issues in this case are as follows:

- None.

Minimum Design Criteria

Staff and other agencies that have reviewed the proposal noted the following minimum design criteria. The development proposal will be reviewed for compliance with all minimum standards at the time that the Applicant submits detailed site development information prior to the issuance of construction permits. The listing of these issues is provided to ensure that these concerns are a part of the development record. Such issues are more appropriately addressed during the site plan review.

- None.

Waivers and Modifications

Pursuant to Section 32-700.25 of the Zoning Ordinance, an application for a planned development zoning district may include waivers and/or modifications to specific development standards of the subdivision ordinance, the Zoning Ordinance, or the requirements of the DCSM. The waivers and modifications incorporated into the Applicant's proffer statement are as follows:

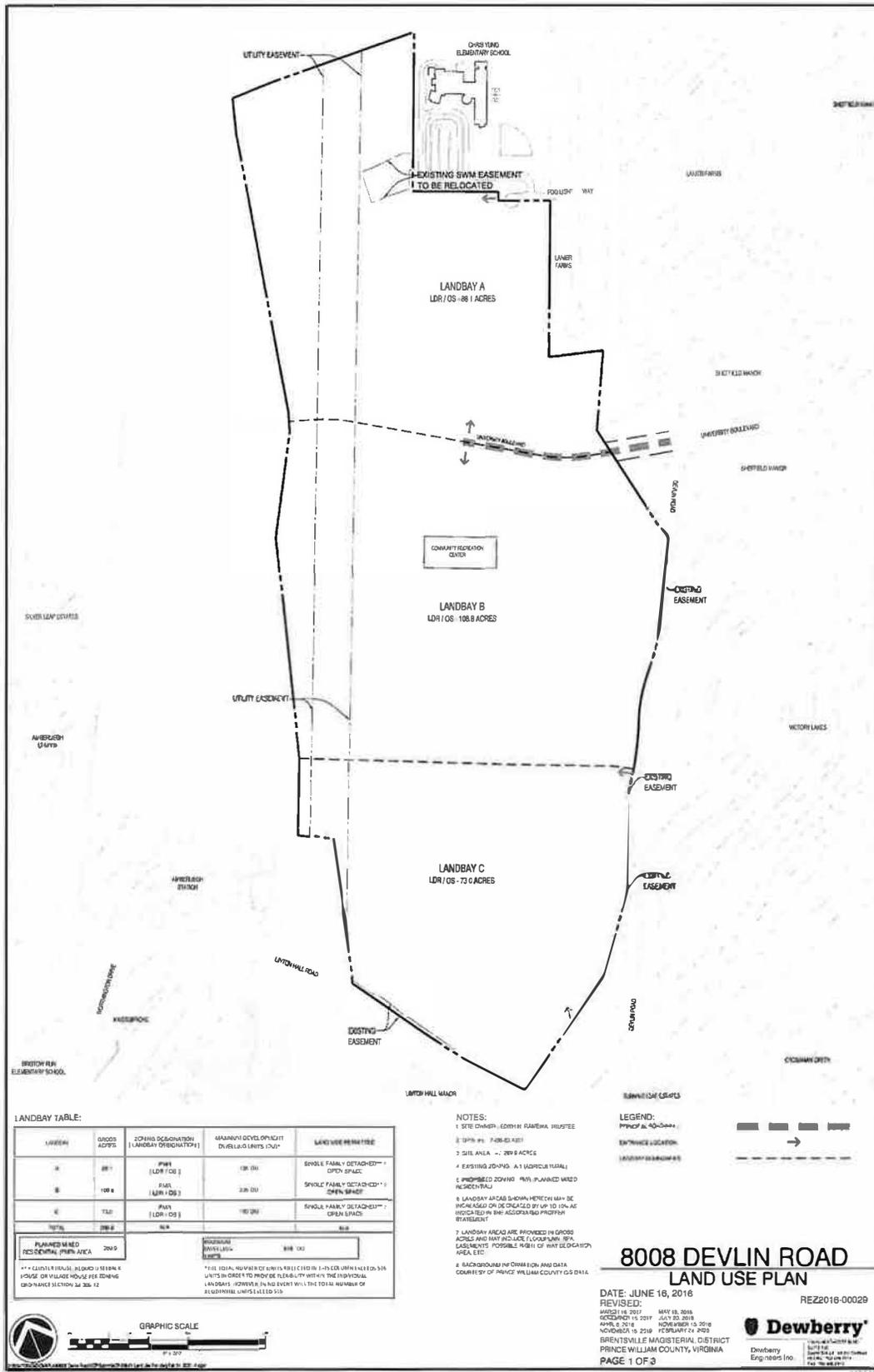
- Waiver of Section 32-306.21 of the Zoning Ordinance to allow the elimination of the nonresidential secondary use requirement within the PMR District.
 - Staff is supportive of this request. Additional commercial uses within this project area, which is designated SRL, Suburban Residential Low, should not be required given the presence of existing nearby neighborhood-serving retail. The Master Zoning Plan includes an interparcel connection to the Bristow Commons Shopping Center.
- Modification of Section 32-250.31.6 of the Zoning Ordinance and Section 802.47(B) of the DCSM to modify the buffer and landscaping requirements around the recreation facilities identified in the Design Guidelines as Upper Activity Park (found on pages 40/41), Recreation Park (found on pages 42/43), Lower Park (found on pages 46/47), and Eco Park (found on pages 48/49).
 - Staff supports this modification. Given the design and location of the recreation facility, a buffer provided along the street is not the intention of the requirement. Buffers along the street may reduce access to the park space and reduce visibility of activities occurring within. The required buffers will be provided for parks with abutting residential lots.

Agency Comments

The following agencies have reviewed the proposal and their comments have been summarized in relevant Comprehensive Plan chapters of this report. Individual comments are in the case file in the Planning Office:

Fire and Rescue
Historical Commission
Planning Office - Case Manager, Long Range Planning, Proffer and Zoning Administration
PWC Department of Transportation
PWC Parks and Recreation
PWC Public Schools
PWC Service Authority
PWC Watershed Management
PWC Library Systems
VDOT

Master Zoning Plan & Transportation Improvement Exhibits



1. LANDBAY TABLE:

| LANDBAY | GROSS ACRES | ZONING DESIGNATION (LANDBAY DESIGNATION) | APPROXIMATE DEVELOPMENT DENSITY (UNITS/ACRE) | LAND USE PERMITTED |
|---------|-------------|--|--|-------------------------------------|
| A | 108.1 | PHS (LDR/OS) | 100 (DU) | SINGLE FAMILY DETACHED - OPEN SPACE |
| B | 108.8 | PHS (LDR/OS) | 200 (DU) | SINGLE FAMILY DETACHED - OPEN SPACE |
| C | 73.0 | PHS (LDR/OS) | 100 (DU) | SINGLE FAMILY DETACHED - OPEN SPACE |
| | 289.9 | | | |

| | | | |
|-------------------------------------|-------|------------------------------|----------|
| PLANNED MED RESIDENTIAL PUBLIC AREA | 200.0 | MAXIMUM DENSITY (UNITS/ACRE) | 100 (DU) |
|-------------------------------------|-------|------------------------------|----------|

** - GROSS ACRES, INCLUDING HOUSE OR VILLAGE HOUSE PER ZONING DISTRICT SECTION 22.306.12.
 *** - THE TOTAL NUMBER OF UNITS PERMITTED IN THIS DEVELOPMENT SHALL BE LIMITED TO THE TOTAL NUMBER OF ADJUSTABLE UNITS ALLOWED.

- NOTES:
1. SITE DESIGN - SEE THE SUBMITTAL INSTRUMENT.
 2. SITE AREA - 7,200 SQ FEET.
 3. SITE AREA - 200.0 ACRES.
 4. EXISTING ZONING - A-1 (AGRICULTURAL).
 5. PROPOSED ZONING - PHS (PLANNED MED RESIDENTIAL).
 6. LANDBAY A-C-B SHOWS HEREIN MAY BE INCREASED OR DECREASED BY UP TO 10% AS INDICATED IN THE ACCORDING PROFFER INSTRUMENT.
 7. LANDBAY AREAS ARE PROPOSED IN GROSS ACRES AND MAY INCLUDE LOGSKYWAY, WPA, EASEMENTS, POSSIBLE RIGHT OF WAY DEDICATION AREA, ETC.
 8. BACKGROUND INFORMATION AND DATA COURTESY OF PRINCE WILLIAM COUNTY GIS DATA.

- LEGEND:
- PROPERTY LINE
 - EASEMENT LOCATION
 - EASEMENT BOUNDARY

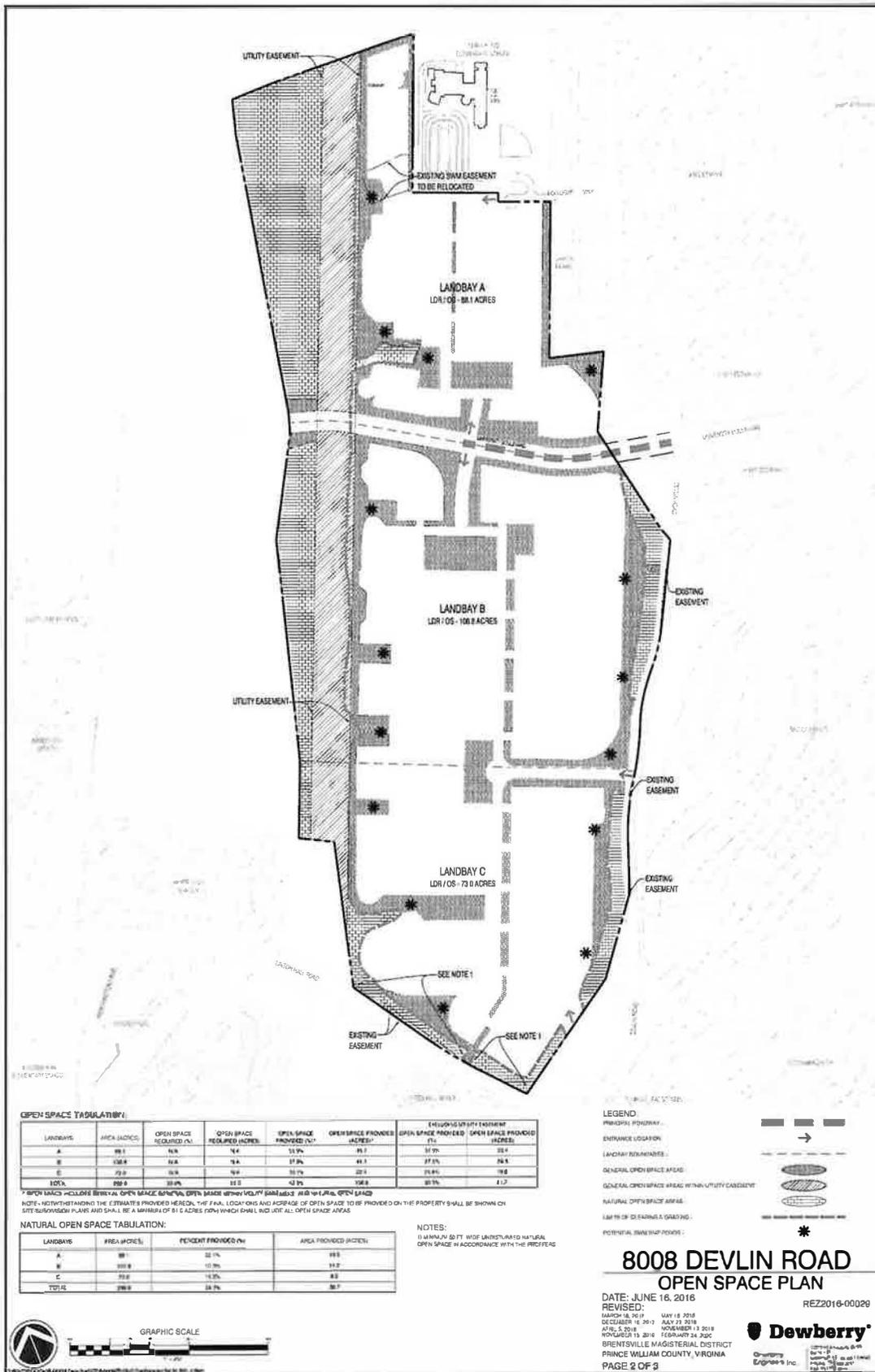
8008 DEVLIN ROAD LAND USE PLAN

DATE: JUNE 16, 2016
 REZ2016-00029

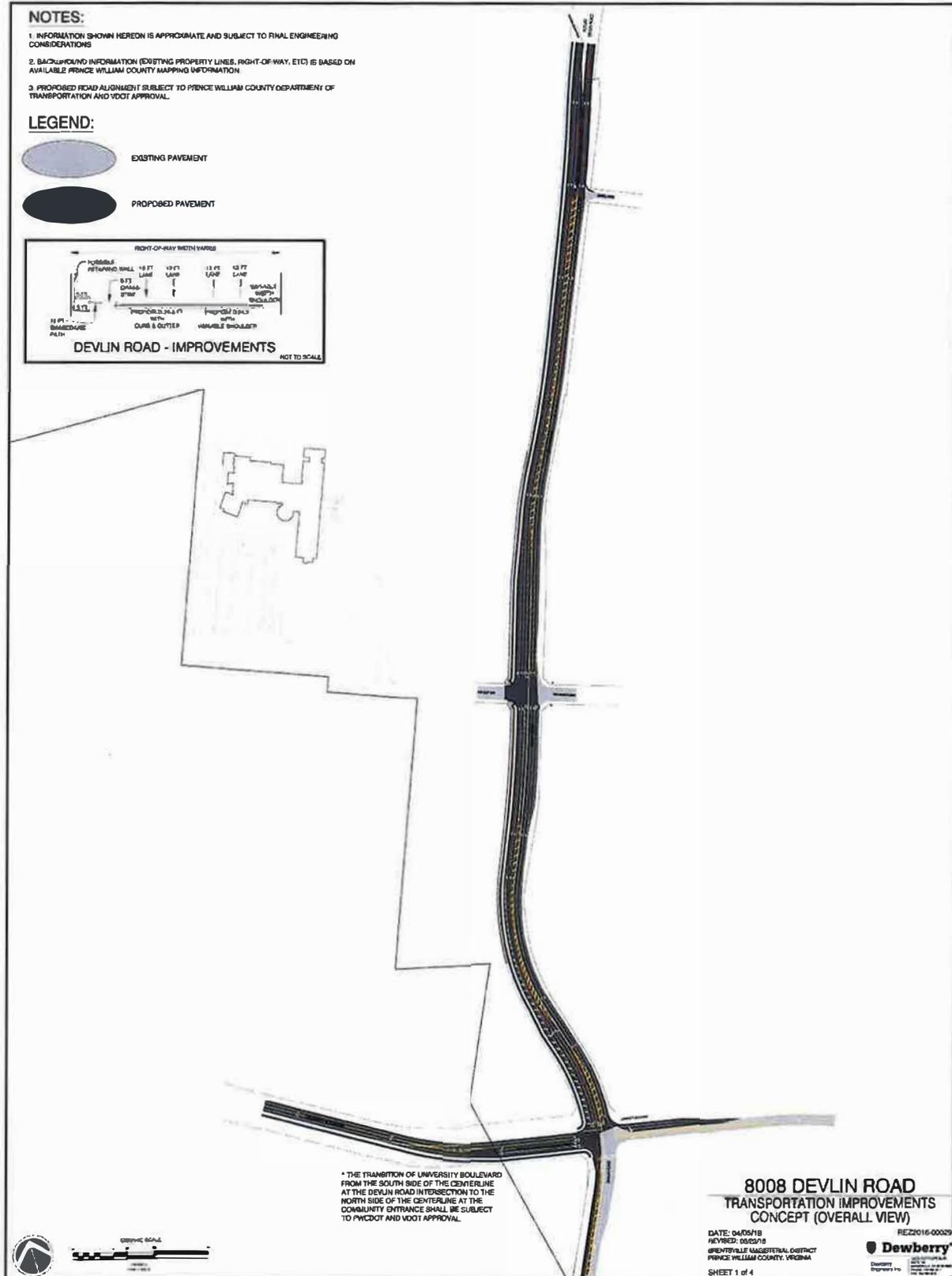
REVISIONS:
 MARCH 16, 2017
 OCTOBER 14, 2017
 APRIL 6, 2018
 NOVEMBER 19, 2019
 MAY 18, 2016
 JULY 23, 2016
 NOVEMBER 19, 2016
 FEBRUARY 24, 2019

BRENTSWILLE MAGISTERIAL DISTRICT
 PRINCE WILLIAM COUNTY, VIRGINIA
 Dewberry
 Engineers Inc.

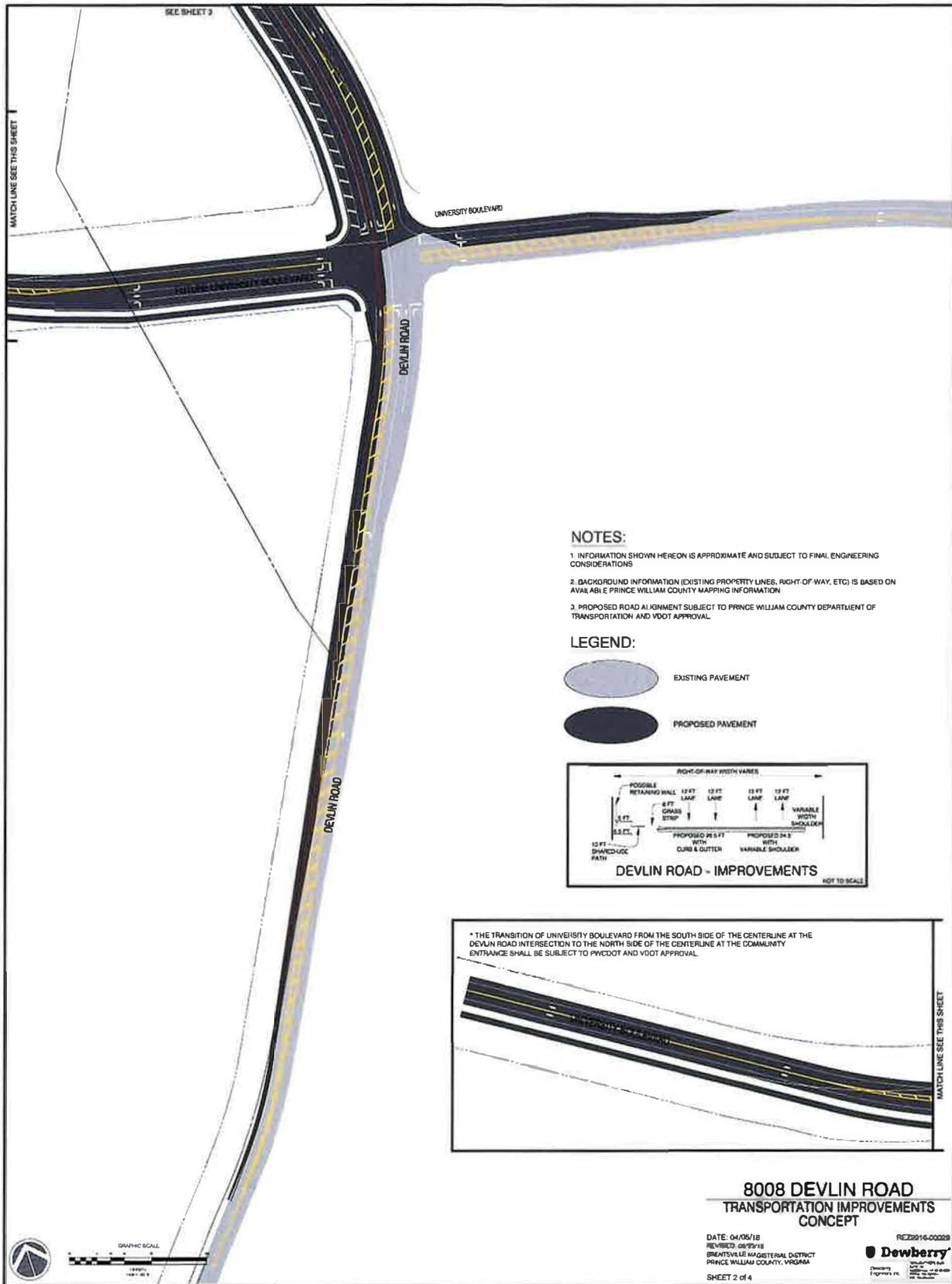
Master Zoning Plan & Transportation Improvement Exhibits



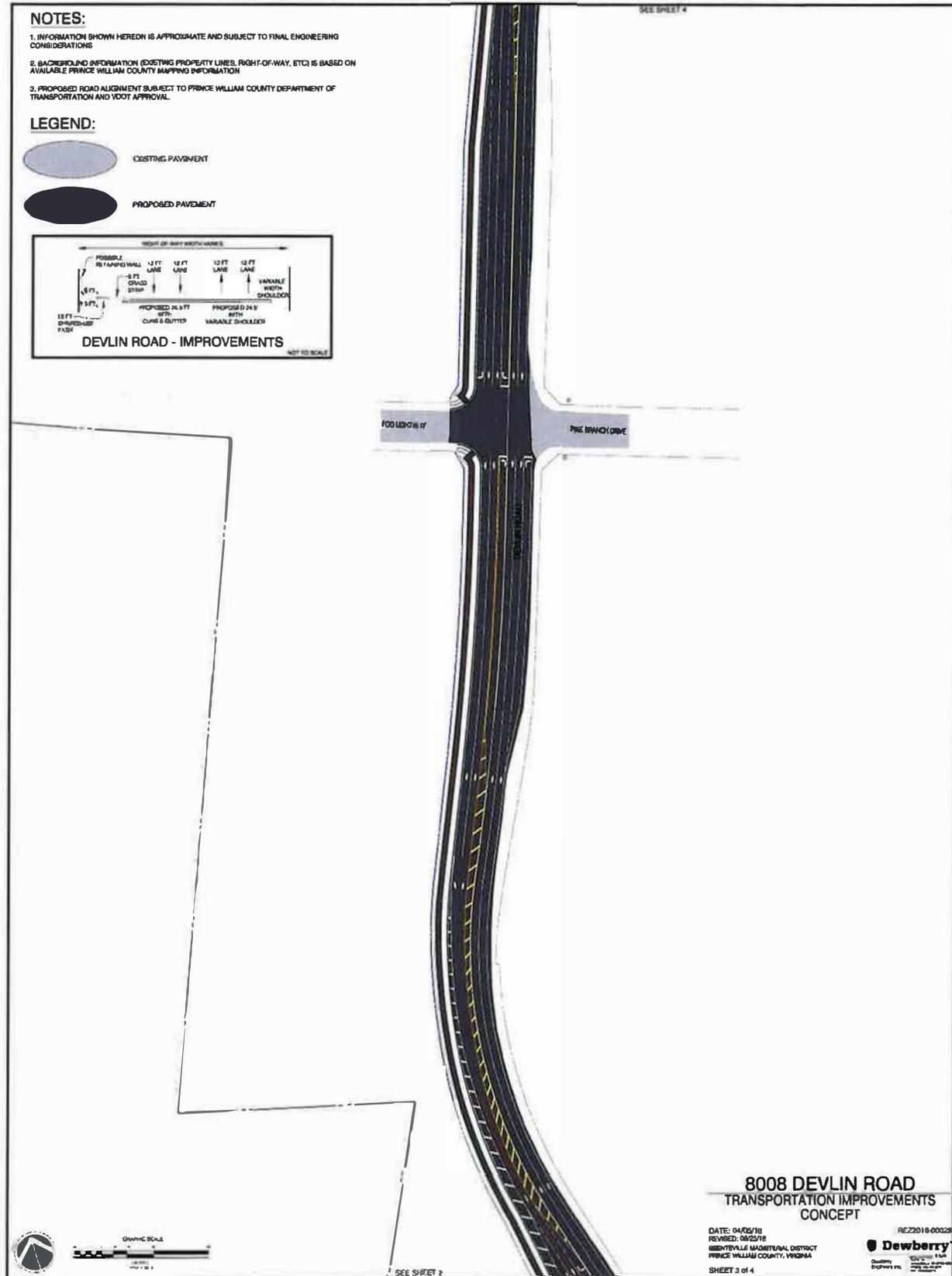
Master Zoning Plan & Transportation Improvement Exhibits



Master Zoning Plan & Transportation Improvement Exhibits



Master Zoning Plan & Transportation Improvement Exhibits



Master Zoning Plan & Transportation Improvement Exhibits



DEVLIN COMMUNITY

DESIGN GUIDELINES

PRINCE WILLIAM COUNTY, VIRGINIA

Prepared By:



Dewberry Engineers Inc.
 13575 Heathcote Boulevard, Suite 130
 Gainesville, VA 20155-6693

December 15, 2017

Revised:
 April 5, 2018
 May 16, 2018
 June 15, 2018
 July 23, 2018
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PROJECT SUMMARY

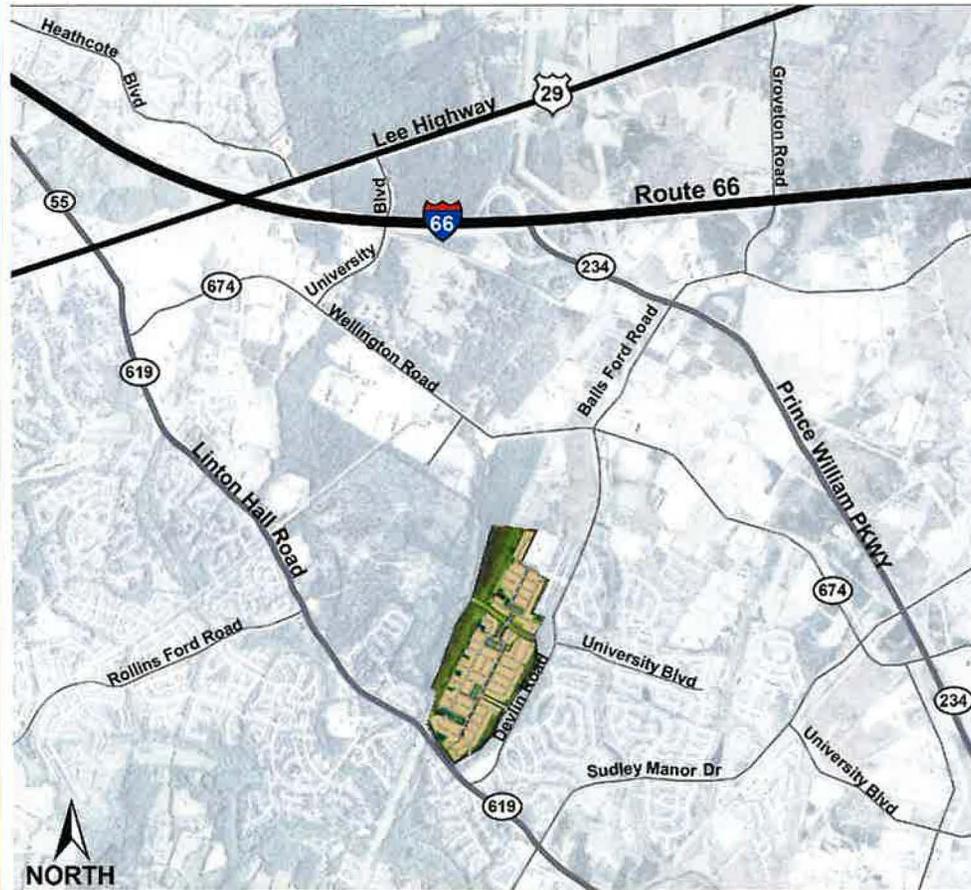
4

PROJECT SUMMARY

The Devlin Community is proposed to be a residential community comprised of integrated neighborhoods offering a variety of housing types. The design of the homes will be harmonious with surrounding development in the area and the scale of the community is comparable with other communities in the Linton Hall Corridor. The layout of the community is based on a network of centrally located community parks that are linked together with a pedestrian promenade that traverses from the northern portion of the community south to Linton Hall Road. The periphery of the development proposes tree save areas along Devlin Road and Linton Hall Road, landscape buffers along existing communities, and a substantial passive recreation area along the western boundary.

Devlin Community Design Guidelines
Project Number: 2016-00029

SITE LOCATION



The Devlin Community is located in western Prince William County approximately three miles south east of Linton Hall Road and Route 29 Interchange and approximately one mile south of Interstate 66.

It is comprised of approximately 269 acres, located between Linton Hall Road, and Devlin Road. The site is located in the Brentsville Magisterial District and is known in Prince William County records as GPIN# 7496-63-4377.

The project is centrally located along the Linton Hall corridor. Future residence will have convenient access to Interstates 66, Innovation, and the retail and entertainment options in Gainesville and Bristow.

Design Guidelines, Devlin Community
Prince William County, Virginia

THE PLAN



NOT-TO-SCALE
 A scaled copy illustrative can be found at the end of the Design Guidelines.

The Devlin Community Plan proposes a mixture of 516 single-family detached homes. The primary access to the community is proposed by means of an extension of University Boulevard from Devlin Road and will provide access to the site from two entry ways, one to the northern neighborhood and one to the southern neighborhood. Both the northern and southern entrances are proposed to have inviting landscaping and hardscape features that will help frame the view of a community park located at the terminus of these entryways. A similar entryway will also be provided from Devlin Road. The homes are thoughtfully located within walking distance of proposed community parks. These parks are linked together through a pedestrian promenade which will essentially create a centrally located park that will traverse the community from Linton Hall Road to Chris Yung Elementary School. Pedestrian links are also provided east to Devlin Road and west to a passive recreation area with trail system. Through the use of proposed and existing vegetation the community will be well buffered around the periphery from existing roadways and communities.

COMMUNITY ENTRYWAYS

COMMUNITY ENTRYWAYS

COMMUNITY ENTRYWAYS

ENTRYWAY PLAN

LEGEND

-  PROPOSED GRAND ENTRANCE
-  PROPOSED SECONDARY ENTRANCE
-  PROPOSED MINOR ENTRANCE
-  UNIVERSITY BOULEVARD ENTRANCE
-  PRIVATE TRAVELWAY
-  ENTRY ROAD "A"
-  ENTRY ROAD "B"
-  ENTRY ROAD "C"



Four entry locations will be provided to the Devlin Community. The grand entrance to the community will be located at the northern and southern entrances from the University Boulevard extension (entry roads A and B). An allee of vegetation and hardscape treatments to the north and south will create a park like entrance. The softscape and hardscape materials, such as stone, board fencing, or paving materials used in the allee entrance will let residents and visitors alike know that the northern and southern neighborhoods are one community. An allee will also be created using similar materials, in a scaled back approach, for the secondary entrance from Devlin Road (entry road C). A community park will be provided at the terminus of entryways A, B, & C. The entrance from Fog Light Way will be a minor entrance. Small signage will be provided at this entrance using similar hardscape materials. The remaining entrance to the community will be provided via private travelway from the adjacent Bristow Commons Commercial Center.

COMMUNITY ENTRYWAYS

UNIVERSITY BOULEVARD

Note: Images contained on this page are for illustrative purposes only.



Conceptual Allee



Conceptual Softscape Vegetation



UNIVERSITY BOULEVARD

*Design Guidelines, Devlin Community
Prince William County, Virginia*

CONCEPTUAL GRAND ENTRANCE FEATURES (ENTRY ROAD B)

COMMUNITY ENTRYWAYS

CONCEPTUAL GRAND ENTRANCE FEATURES (ENTRY ROAD B)



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Devlin Community, Design Guidelines
Prince William County, Virginia

COMMUNITY ENTRYWAYS

CONCEPTUAL GRAND ENTRANCE FEATURES (ENTRY ROAD B)

Entry road B shall incorporate a stone wall or fence as shown hereon or a combination of both.

Note: Images contained on this page are for illustrative purposes only.

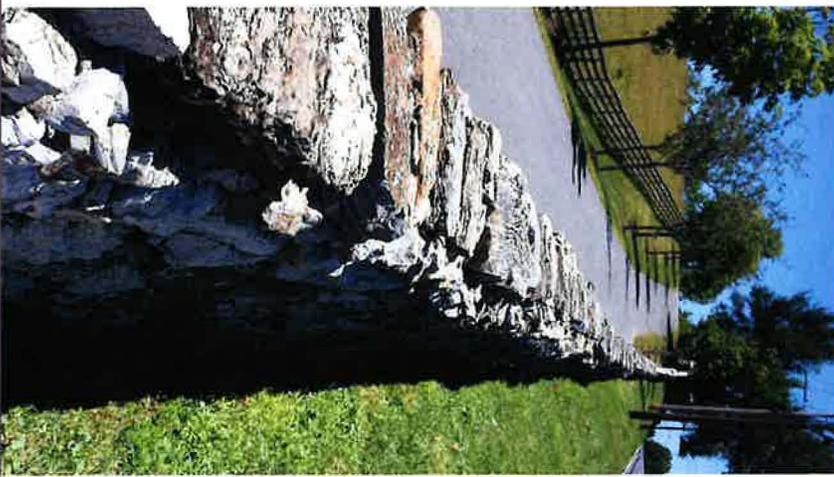
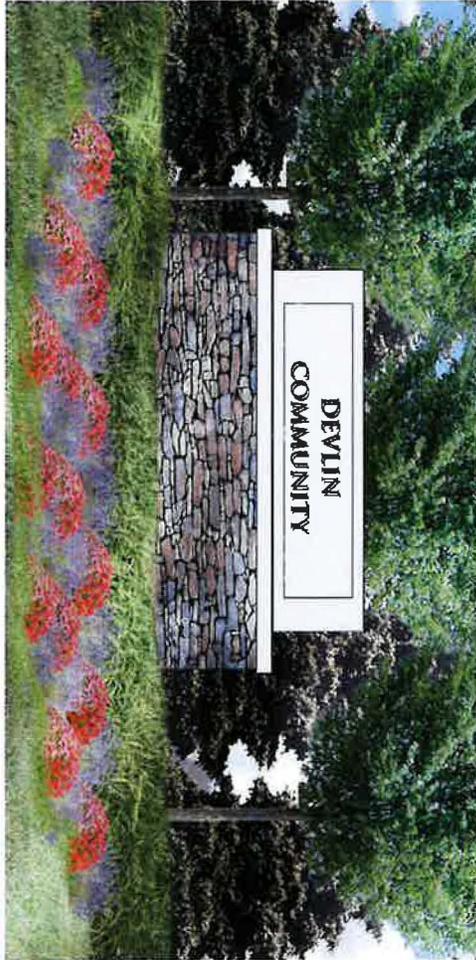


Design Guidelines, Devlin Community
Prince William County, Virginia

CONCEPTUAL SECONDARY ENTRANCE FEATURES (ENTRY ROAD C)

COMMUNITY ENTRYWAYS

CONCEPTUAL SECONDARY ENTRANCE FEATURES (ENTRY ROAD C)



*Devlin Community, Design Guidelines
Prince William County, Virginia*

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COMMUNITY ENTRYWAYS

CONCEPTUAL MINOR ENTRANCE FEATURE

STONE COLUMN WITH HANGING SIGN OPTION



Design Guidelines, Devlin Community
Prince William County, Virginia

STREETS

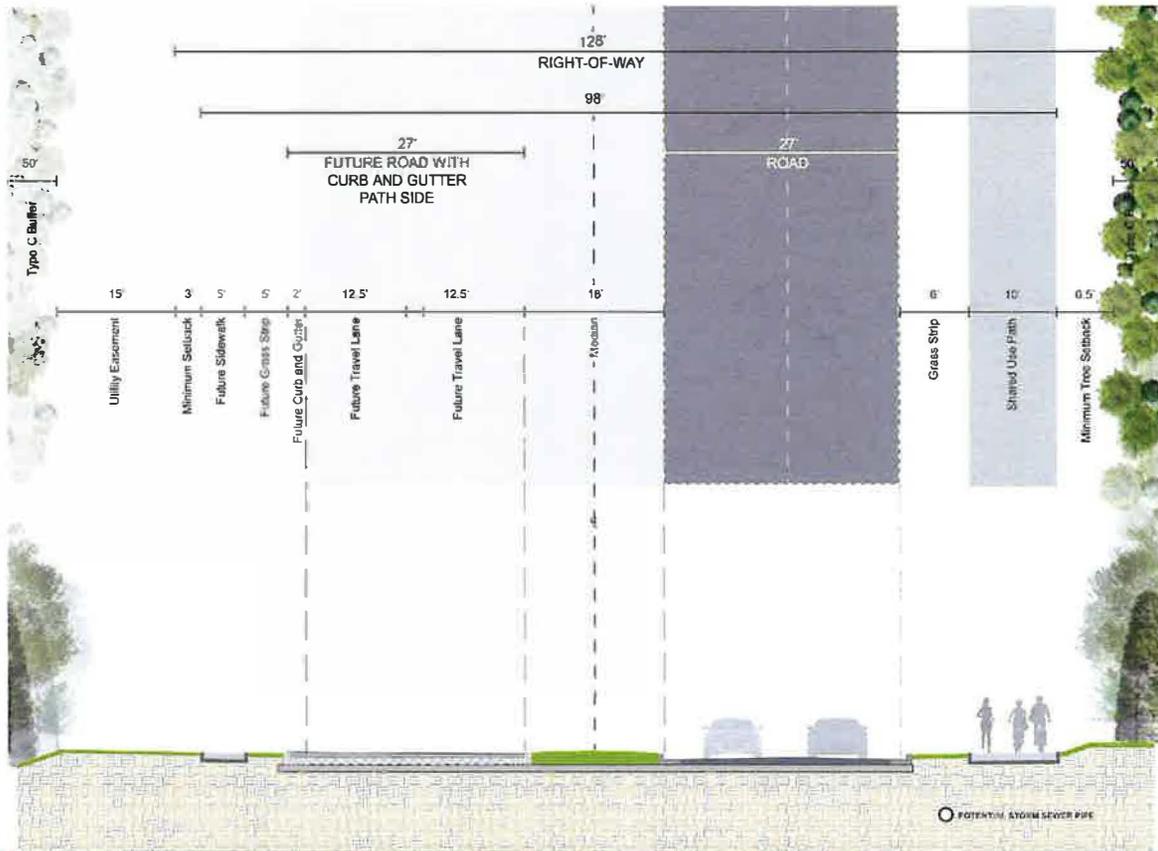
STREETS

STREETS

UNIVERSITY BOULEVARD

Subject to the Virginia Department of Transportation (VDOT) and Prince William County Department of Transportation approval the full 128 ft. right-of-way for University Boulevard will be provided through the property from Devlin Road to the western boundary. In addition to the right-of-way dedication a half section of the road including a two-lane section and shared-use path will be constructed from Devlin Road to the northern and southern neighborhood entrances.

Street section subject to modification to allow lane shifts as approved by PWCDOT and VDOT.

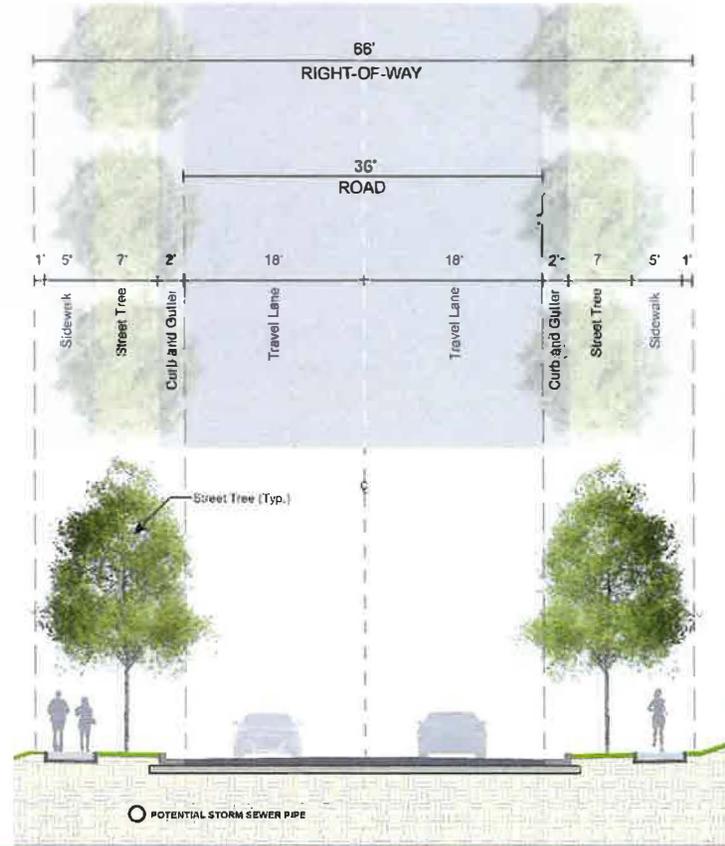


Design Guidelines, Devlin Community
Prince William County, Virginia

STREETS

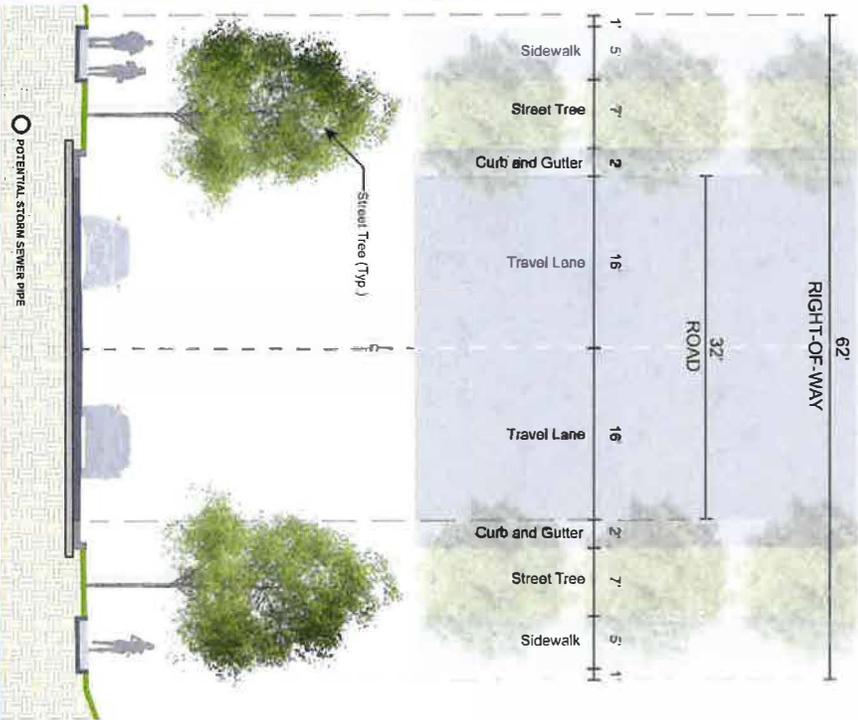
RESIDENTIAL STREET III (VPD 2,001-7,000)

Subject to VDOT and Prince William County Department of Transportation approval publicly maintained residential streets will be provided. The type and category of streets will be determined based upon the projected vehicles per day (VPD). The following examples depict the size and character of the internal residential streets. Some internal residential streets may include a shared-use path in place of a sidewalk. If a path is provided within the right-of-way it shall be done so based on Prince William County and VDOT requirements.

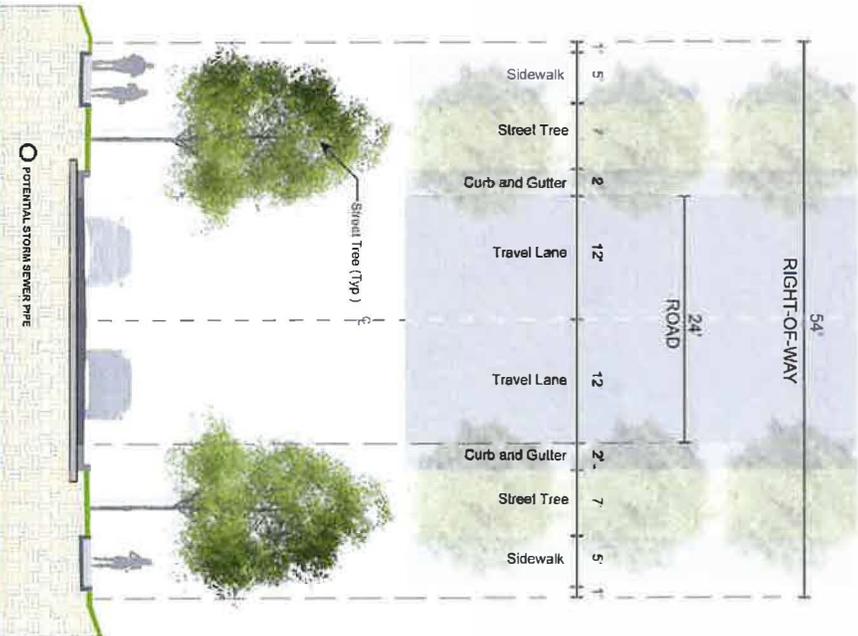


STREETS

RESIDENTIAL STREET II (VPD 401-2,000)



RESIDENTIAL STREET I (VPD 1-400)

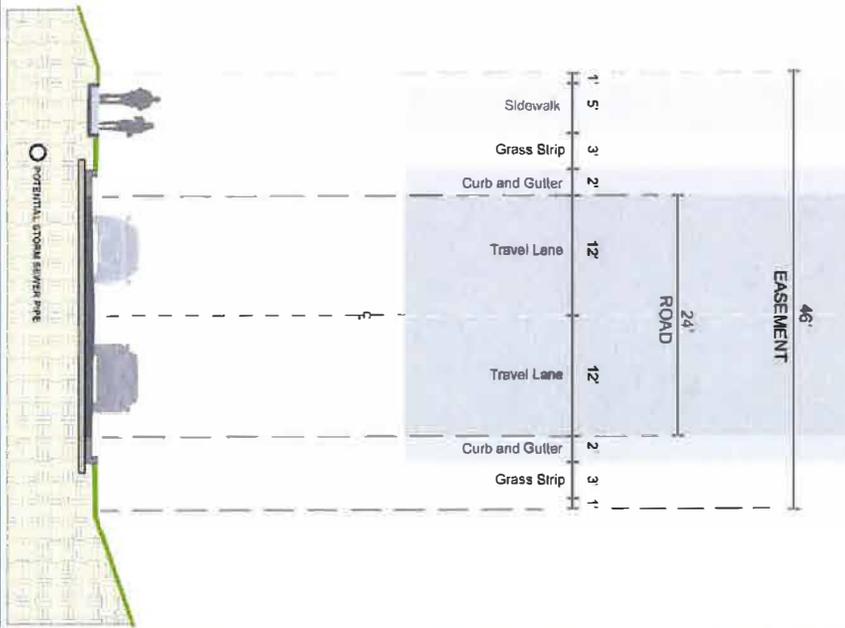


Design Guidelines, Devlin Community
Prince William County, Virginia

RESIDENTIAL STREET III (VPD 2,001-7,000)

STREETS

PRIVATE TRAVELWAY III (VPD 601-1,000)



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RESIDENTIAL ARCHITECTURE

RESIDENTIAL
ARCHITECTURE

RESIDENTIAL ARCHITECTURE

RESIDENTIAL MATERIALS

Note: Images contained on this page are for illustrative purposes only.



The Devlin Community architecture inserts design elements in the proper proportion and sizes. The design is focused on the appropriate use of materials and how they are used on all facades. Porches will be adequately sized and columns and details proportionally designed. In addition, specific attention will be placed on choosing the right blend of colors. Colors of the front doors, shutter, roof shingles, columns, rails, brick, stone, and siding, will all work together to create a beautiful exterior.

Architectural features may include:

- Elegantly classic exterior design appointed with a mix of materials, painted front doors, shutter, gable dormers, bay windows and porches, among others.

Building Materials

- Primary building facades for all homes shall include brick or brick veneer; stone or stone veneer; or vinyl or cement board (i.e. hard plank) siding.

Note: The residential architecture contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change.

Design Guidelines, Devlin Community
Prince William County, Virginia

RESIDENTIAL ARCHITECTURE

SINGLE - FAMILY DETACHED DWELLINGS: CLUSTER HOUSE

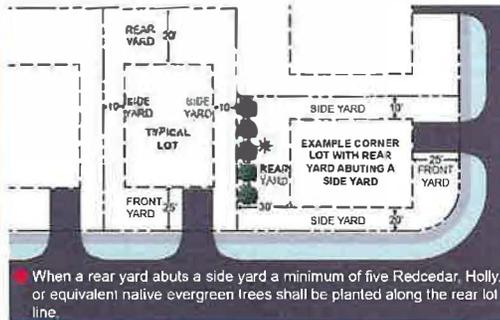
DESCRIPTION

This dwelling type consists of fully detached, single-family residences located on individual lots.

* A minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

| LOT LAYOUT STANDARDS | DIMENSIONS |
|---|------------|
| Minimum Lot Area | 7,500 SF |
| Maximum Lot Coverage | 0.45 |
| Maximum Building Height | 35 |
| MINIMUM SETBACKS | |
| Front | 25 |
| Side | 10 |
| Corner Lot (Side) | 20 |
| Rear Lot Line To House | 20 |
| * Rear Lot Line To House, When Rear Lot Line Abuts The Side Yard Of The Adjacent Lot. | 30 |
| UN-ROOFED DECKS, STOOPS, LANDINGS, AND SIMILAR FEATURES | |
| Front | 15 |
| Side | 5 |
| Corner Side | 20 |
| Rear | 8 |
| Rear abutting side yard | 18 |
| Minimum Lot Width | 70 |

CLUSTER HOUSE SETBACK DIAGRAM



• Dimensions shown depict the minimum depth of the side, front, or rear yard.

RESIDENTIAL ARCHITECTURE

SINGLE - FAMILY DETACHED DWELLING: REDUCED SETBACK HOUSE

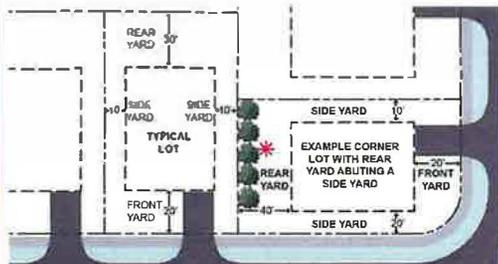
DESCRIPTION

This dwelling type consists of a single-family, fully detached residence located on an individual lot which is set not closer than twenty feet from the front lot line.

* A minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

| LOT LAYOUT STANDARDS | DIMENSIONS |
|---|------------|
| Minimum Lot Area | 7,000 SF |
| Maximum Lot Coverage | 0.50 |
| Maximum Building Height | 35 |
| MINIMUM SETBACKS | |
| Front | 20 |
| Side | 10 |
| Corner Lot (Side) | 20 |
| Rear | 30 |
| * Rear Lot Line To House, When Rear Lot Line Abuts The Side Yard Of The Adjacent Lot. | 40 |
| UN-ROOFED DECKS, STOOPS, LANDINGS, AND SIMILAR FEATURES | |
| Front | 15 |
| Side | 5 |
| Corner Side | 20 |
| Rear | 8 |
| Rear abutting side yard | 18 |
| Minimum Lot Width | 70 |

REDUCED SETBACK HOUSE DIAGRAM



* When a rear yard abuts a side yard a minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

* Dimensions shown depict the minimum depth of the side, front, or rear yard.

RESIDENTIAL ARCHITECTURE

SINGLE - FAMILY DETACHED DWELLING: VILLAGE HOUSE

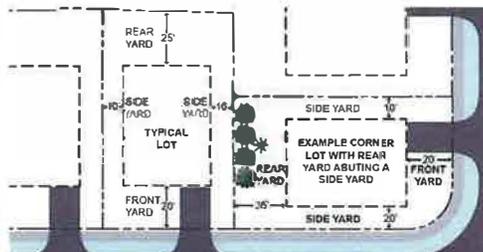
DESCRIPTION

This dwelling type is a single-family residence which is fully detached from neighboring structures. The village house is distinguished by small front and side yards.

* A minimum of four Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

| LOT LAYOUT STANDARDS | DIMENSIONS |
|---|------------|
| Minimum Lot Area | 6,000 SF |
| Maximum Lot Coverage | 0.60 |
| Maximum Building Height | 35 |
| MINIMUM SETBACKS | |
| Front | 20 |
| Side | 10 |
| Corner Lot (Side) | 20 |
| Rear | 25 |
| * Rear Lot Line To House, When Rear Lot Line Abuts The Side Yard Of The Adjacent Lot. | 35 |
| UN-ROOFED DECKS, STOOPS, LANDINGS, AND SIMILAR FEATURES | |
| Front | 15 |
| Side | 5 |
| Corner Side | 20 |
| Rear | 8 |
| Rear abutting side yard | 18 |
| Minimum Lot Width | 60 |

VILLAGE HOUSE SETBACK DIAGRAM



* When a rear yard abuts a side yard a minimum of four Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

* Dimensions shown depict the minimum depth of the side, front, or rear yard.

RESIDENTIAL ARCHITECTURE

CLUSTER HOUSE AND REDUCED SETBACK HOUSE - EXAMPLES

Note: The residential elevations contained on this page are intended to convey the general character and scale of the subject house type only. Final architectural styles and exterior elevations are subject to change. For illustrative purposes only.



Design Guidelines, Devlin Community
Prince William County, Virginia

RESIDENTIAL ARCHITECTURE

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CLUSTER HOUSE AND REDUCED SETBACK HOUSE - EXAMPLES

RESIDENTIAL ARCHITECTURE

VILLAGE HOUSE - EXAMPLES

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VILLAGE HOUSE - EXAMPLES

RESIDENTIAL ARCHITECTURE

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Prince William County, Virginia

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Prince William County, Virginia*

VILLAGE HOUSE - EXAMPLES

RESIDENTIAL ARCHITECTURE

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VILLAGE HOUSE - EXAMPLES

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OPEN SPACE AND LANDSCAPE

OPEN SPACE AND LANDSCAPE

OPEN SPACE AND LANDSCAPE

COMMUNITY OPEN SPACE

LEGEND

-  PASSIVE COMMUNITY OPEN SPACE
-  GENERAL NEIGHBORHOOD SPACE
-  COMMUNITY PARKS
-  PEDESTRIAN PROMINADE



Open space located within walking distance to the proposed homes is a core design principle of the Devlin Community. This open space will create ample separation from the surrounding roadways, provide active and passive recreation opportunities within the core of the community, and provide access to preserved woodland areas along the western boundary.

OPEN SPACE AND LANDSCAPE

PEDESTRIAN PROMENADE NORTH AND SOUTH PLANS

A pedestrian promenade will be centrally located within the community. The promenade will provide north-south connectivity to the community parks as well as pedestrian connectivity to Linton Hall Road, University Boulevard, and Chris Yung Elementary. The promenade will be provided with a 10 ft. wide shared-use path that may be located inside or outside of the right-of-way. When this path is located outside the right-of-way it should meander and be lined with shade trees. At every other block along the promenade a bench surrounded with landscape material shall be provided. The minimum width of the northern portion of the promenade shall be 40 ft. and the southern portion shall be 70 ft. This width shall be measured from the face-of-curb of the adjacent roadway to the parcel line of the adjacent residential lot.



PEDESTRIAN PROMENADE NORTH AND SOUTH PLANS

OPEN SPACE AND LANDSCAPE

UPPER ACTIVITY PARK

The Upper Activity Park shall have a centrally located pavilion structure. Pedestrian plaza areas shall flank each side of the pavilion. The Pedestrian Promenade shared-use path shall meander through the park and provide a connection to a tot-lot facility along the western edge of the park. This tot-lot shall provide two play areas. One for pre-school age children and one for elementary school aged children. The eastern edge of the park will be left open for use as an un-programmed recreational space.

Note: Images contained on this page are for illustrative purposes only.



Conceptual Trail



Playground

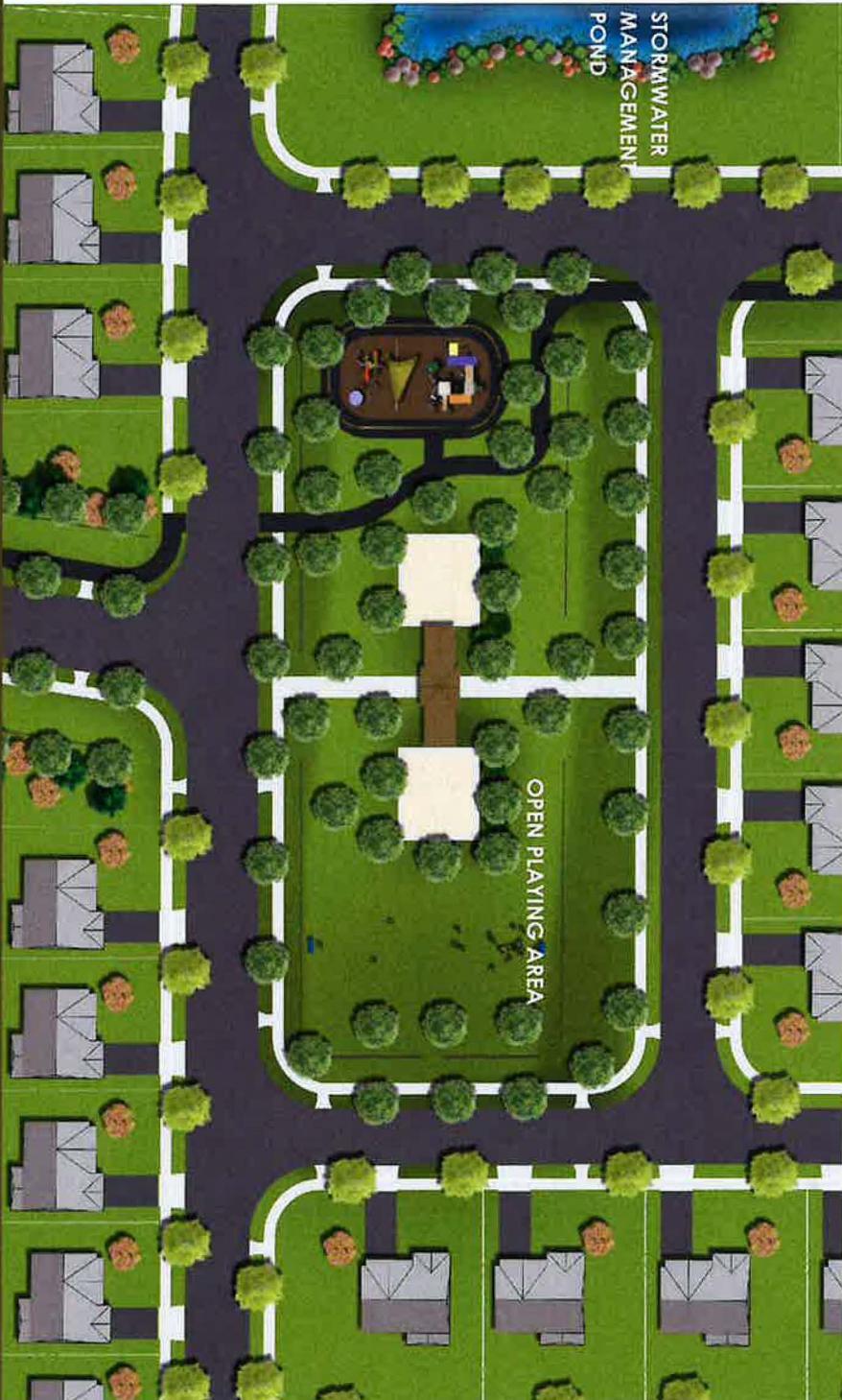


Open Playing Area

*Devlin Community, Design Guidelines
Prince William County, Virginia*

OPEN SPACE AND LANDSCAPE

UPPER ACTIVITY PARK



Design Guidelines, Devilin Community
Prince William County, Virginia

OPEN SPACE AND LANDSCAPE

RECREATION PARK

The Community Recreation Facility will be centrally located within the Devlin Community. This facility will consist of a clubhouse/bathhouse, outdoor swimming pool, and active recreation areas and equipment.

Note: Images contained on this page are for illustrative purposes only.



Conceptual Clubhouse



Conceptual Community Pool



Conceptual Community Pool

OPEN SPACE AND LANDSCAPE

RECREATION PARK



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Prince William County, Virginia

OPEN SPACE AND LANDSCAPE

DOG PARK AND BASKETBALL COURT

The Dog Park will provide a fenced-in mulch surface area for dogs to play freely. A basketball court or other similar active recreation facility shall also be provided. The Dog Park area and basketball court shall be surrounded with landscape material to help create separation from surrounding residence.

Note: Images contained on this page are for illustrative purposes only.



Conceptual Dog Park



Tree Screening



Conceptual Basketball Court

OPEN SPACE AND LANDSCAPE

DOG PARK AND BASKETBALL COURT



*Design Guidelines, Devil's Community
Prince William County, Virginia*

45

DOG PARK

OPEN SPACE AND LANDSCAPE

LOWER ACTIVITY PARK

The Lower Activity Park shall have a centrally located pavilion structure. Pedestrian plaza areas shall flank each side of the pavilion. A shared-use path shall meander through the park and provide a connection to a tot-lot facility along the southern edge of the park. This tot-lot shall provide two play areas. One for pre-school age children and one for elementary school aged children. The northern edge of the park will be left open for use as an un-programmed recreational space.

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Pavilion Structure



Activity Venue



Key Map



Example of Food Truck Staging Area

OPEN SPACE AND LANDSCAPE

LOWER ACTIVITY PARK



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Prince William County, Virginia

LOWER ACTIVITY PARK

OPEN SPACE AND LANDSCAPE

ECO PARK

The Eco Park should be provided with native landscape materials that require minimal maintenance, attract wildlife, and provide natural aesthetic beauty. Rock outcroppings and boulders may also be used to create visual interest. The perimeter of the park shall receive a maintained turf treatment to allow for a clean transition to the surrounding residential streets. An elevated boardwalk, educational signage, and natural surface trail/seating area may also be provide within the park to allow pedestrian interaction and enjoyment.

Note: Images contained on this page are for illustrative purposes only.



Key Map



Example of Plant Palette



Example of Grasses



Example of Boardwalk



Example of Shrubs

OPEN SPACE AND LANDSCAPE

ECO PARK



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Prince William County, Virginia

OPEN SPACE AND LANDSCAPE

TOT LOT PARK

The Tot Lot Park should be provided with a minimum 2,000 sf play surface area. Within the play surface a minimum of one school age play structure shall be provided and one small pre-school age piece of play equipment shall be provided.

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Climbing Equipment



Pre-School Age Play Structure Example



School Age Play Structure Example

OPEN SPACE AND LANDSCAPE

TOT LOT PARK



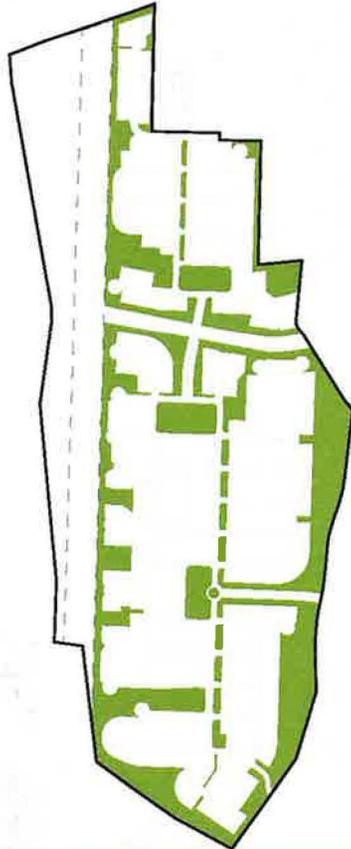
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OPEN SPACE AND LANDSCAPE

NEIGHBORHOOD OPEN SPACE

LEGEND

■ NEIGHBORHOOD OPEN SPACE



Note: Images contained on this page are for illustrative purposes only.



Stormwater Pond

General neighborhood open space will be provided throughout the community. This open space will be thoughtfully treated based the context of its location. Areas located along roadways or residential lots shall be well maintained and consist of lawn and landscaped areas. Where this open space abuts stormwater management facilities (ponds), existing woodlands, or is on a steep slope the areas may be reforested, reforestation shall be per planting requirements found on Reforestation Plan. Where topography will allow, these areas may also be used to provide additional recreation opportunities such as but not limited to pocket parks, outdoor seating areas, general play areas/green spaces, and the like. As a general rule this open space shall be well maintained, provide reforestation, and create some opportunities for outdoor recreation.

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Prince William County, Virginia*

OPEN SPACE AND LANDSCAPE

NEIGHBORHOOD OPEN SPACE

Note: Images contained on this page are for illustrative purposes only.



Existing Woodlands/Pocket Park



Example of Reforestation



Maintained Landscaping Along Roadway

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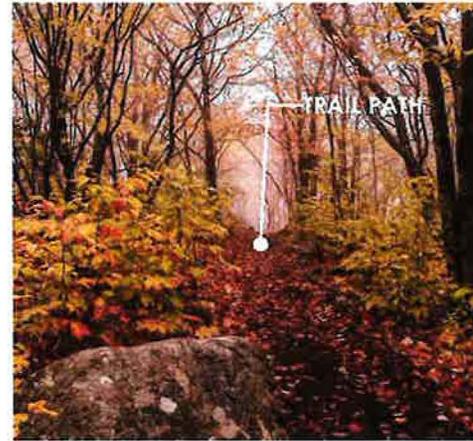
NEIGHBORHOOD OPEN SPACE

OPEN SPACE AND LANDSCAPE

PASSIVE OPEN SPACE



Note: Images contained on this page are for illustrative purposes only.



Forested Open Space Trail

The passive community open space will primarily provide trails to the preserved woodland area along the western boundary. With the exception of minor clearing for trails, footbridges and other minor clearing allowed per the proffers this area shall be left in its natural state. This open space area will be open to the general public and the proposed trail system will be a nice compliment to the Broad Run Scenic Trail network.

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 Prince William County, Virginia

OPEN SPACE AND LANDSCAPE

PRIMARY TRAILHEAD AND SECONDARY TRAILHEAD



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Prince William County, Virginia

PRIMARY TRAILHEAD AND SECONDARY TRAILHEAD

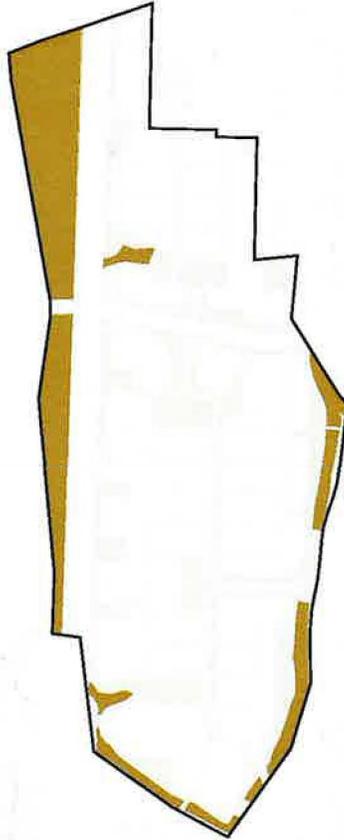
OPEN SPACE AND LANDSCAPE

TREE PRESERVATION PLAN

Note: Images contained on this page are for illustrative purposes only.

LEGEND

TREE PRESERVATION AREA



Preserved Natural Forest

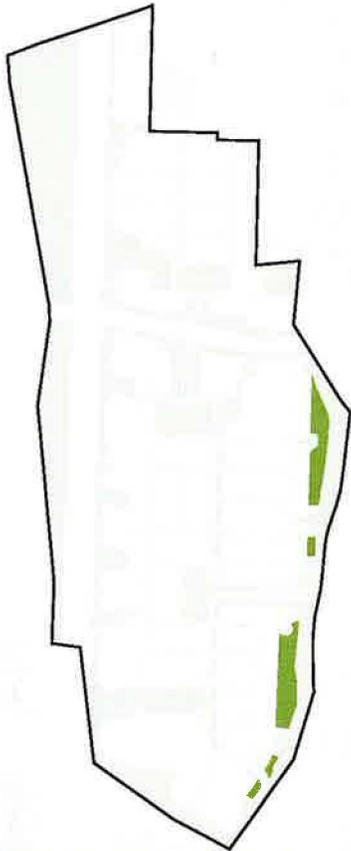
The existing forest within the Devlin Community consist of dominant species of White Oak, Northern Red Oak, and Black Oak species ranging in size from 12-20 inches. Other species such as Red Maple, Black Gum, Mockernut Hickory, American Elm also make up the existing forest. Significant portions of this existing forest will be preserved with this project. The primary areas of preservation will be located along Linton Hall Road, and Piney Branch.

OPEN SPACE AND LANDSCAPE

REFORESTATION PLAN

LEGEND

 POTENTIAL REFORESTATION AREA



Note: Images contained on this page are for illustrative purposes only.



Reforestation Planting

Reforestation may occur in open space areas around stormwater management ponds, steep slopes, and between lots and existing forested areas. The reforestation plantings shall consist of native deciduous and evergreen species planted per reforestation planting table below. Reforestation shall consist of a minimum of one acre but no more than three acres.

| REFORESTATION PLANTING TABLE | |
|---|--|
| For Every 400 square-foot unit (20' x 20') or fraction thereof, Plant | |
| One (1) | canopy tree @ 1 1/2"-2" caliper or large evergreen @ 6' |
| Two (2) | understory trees @ 3/4"-1 1/2" caliper or large evergreen @ 4' |
| Three(3) | small shrubs or woody groundcover @ 15"-18" |

OPEN SPACE AND LANDSCAPE

PEDESTRIAN CIRCULATION



Note: Images contained on this page are for illustrative purposes only.



Scenic Community Trail

In addition to the sidewalks that will be provided along all of the internal residential streets, the Devlin Community will be provided with additional internal and external pedestrian circulation facilities. A 10 foot wide shared-use path along the University Boulevard extension will provide a connection from Devlin Road to the community entrance. A shared-use path will also be provided along the south bound side of Devlin Road. This shared-use path will start at University Boulevard and extend north, connecting to the future shared-use path proposed with the Prince William Parkway/Balls Ford Road interchange project. This connection will provide pedestrian connectivity to areas east of Prince William Parkway. A 5 foot sidewalk will be constructed along Linton Hall Road from the existing sidewalk adjacent to the existing Walgreens to the existing sidewalk adjacent to Ameberliegh Station neighborhood. A scenic community trail will also be provided within the passive recreation area. There will be multiple connections to this trail from within the Devlin Community.

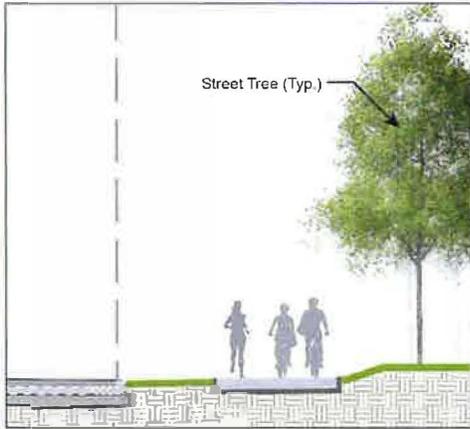
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OPEN SPACE AND LANDSCAPE

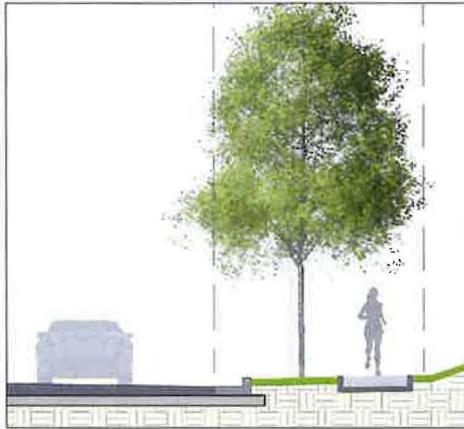
PEDESTRIAN CIRCULATION SECTIONS

Note: Images contained on this page are for illustrative purposes only.

10 FT SHARED-USE PATH



5 FT PEDESTRIAN SIDEWALK



SCENIC COMMUNITY TRAIL



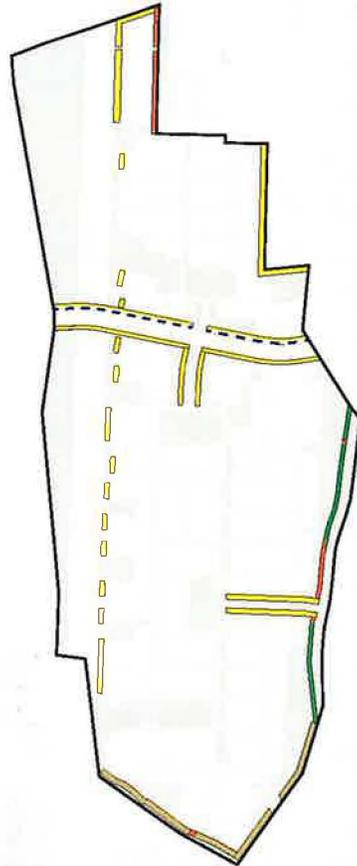
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OPEN SPACE AND LANDSCAPE

LANDSCAPE BUFFER PLAN

LEGEND

- 30' TYPE B PLANTED BUFFER
- 30' TYPE B PRESERVED BUFFER
- 50' TYPE C PLANTED BUFFER
- 50' TYPE C PRESERVED BUFFER
- 15' UTILITY EASEMENT PROPOSED



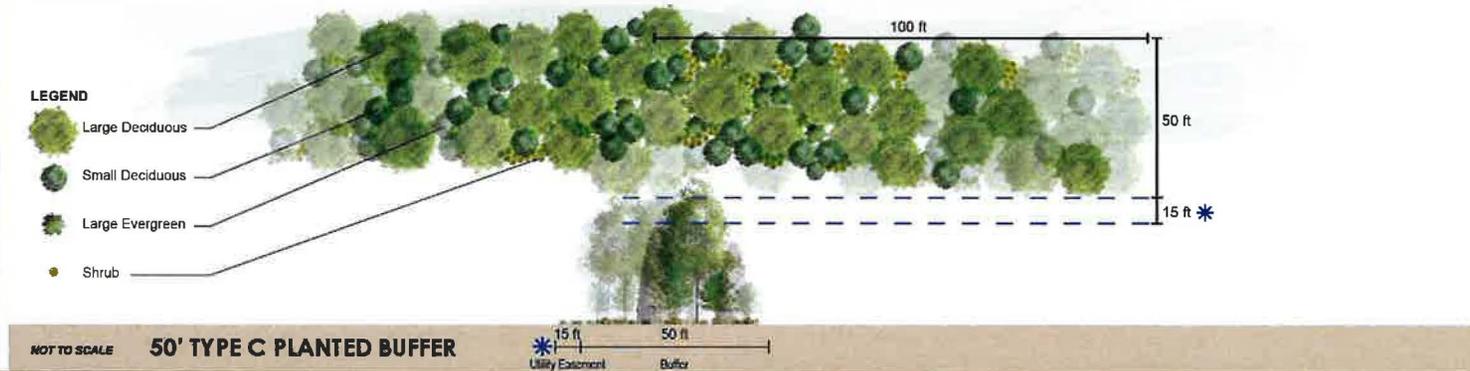
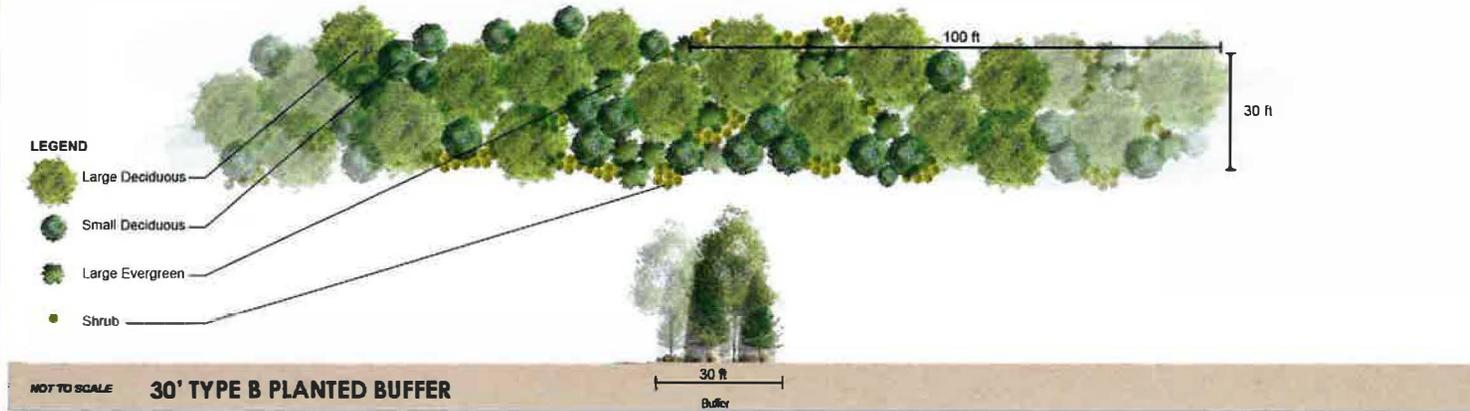
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Landscape Buffer

OPEN SPACE AND LANDSCAPE

CONCEPTUAL LANDSCAPE BUFFERS



OPEN SPACE AND LANDSCAPE

STREET TREE CONSIDERATIONS

- A coordinated street tree program provides a framework to unify the streetscape, define the character of the street and provide a sense of continuity throughout the community. The street tree program within the Devlin Community is premised on the identification of appropriate species for road lengths for each category of road type within the community.
- Trees shall be planted continuously a minimum of 3 feet from the edge of sidewalk and street and should be a type that provides a large canopy at maturity.
- Street tree spacing shall be not more than 50 feet. Spacing and placement may be modified where driveway/utility easements necessitate.
- The size of street trees at the time of planting shall be 2.5"-3" caliper and ornamental trees shall be a minimum of 1" caliper or 8'-10' in height.
- A single type of tree shall be used for the entirety of a single roadway or street.
- Tree planting shall conform to County and VDOT requirements with regard to final species selection and sight distance.
- Street Trees shall be planted on both sides of all public streets.
- Street Trees shall be allowed to be collocated with underground storm sewer pipes so long as the pipes are a minimum of 3 feet in depth and a root barrier is provided around pipes that are less than 5 feet deep and co-located with street trees.
- All plants shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen.

- Other plant species are permitted through approval of landscape planting plans.
- Deciduous street trees will be provided along all streets and roadways to provide shade and to define the streetscape.

Note: Images contained on this page are for illustrative purposes only.



Acer rubrum 'October Glory'

| STREET TREES | |
|--|-----------------------------|
| SCIENTIFIC NAME | COMMON NAME |
| Acer rubrum 'Autumn Flame' | Autumn Flame Maple |
| Acer rubrum 'October Glory' | October Glory Red Maple |
| Acer rubrum 'Red Sunset' | Red Sunset Maple |
| Gleditsia triacanthos inermis | Thornless Honey Locust |
| Liquidambar styraciflua 'Rotundifolia' | Fruitless Sweetgum |
| Platanus acerifolia 'Bloodgood' | Bloodgood London Plane Tree |
| Quercus phellos | Willow Oak |
| Quercus shumardii | Shumard Oak |
| Tilia cordata 'Greenspire' | Greenspire Linden |
| Tilia tomentosa 'Green Mountain' | Green Mountain Linden |
| Ulmus americana 'Valley Forge' | Valley Forge Elm |
| Zelkova serrata | Japanese Zelkova |

OPEN SPACE AND LANDSCAPE

RESIDENTIAL LANDSCAPE CONSIDERATIONS



- Yard trees shall be planted for all residential units at an average minimum of one yard tree per 2,000 square feet of single family detached residential lot.
- Single Family Lots should include a minimum of one canopy tree and one ornamental tree per home.
- Yard trees may include ornamental trees.
- Existing or saved trees may be substituted for required plantings at a ratio of 1 existing tree for 2 required trees, however at least one front yard tree is required.
- Foundation shrubs shall be provided for all single family detached residences along any building facade with direct exposure to public rights-of-way, private streets, common driveways or parking areas.
- Evergreen trees shall be placed to screen rear yards that are exposed to public and private streets, common driveways and parking areas.
- Foundation shrubs and plantings for single family detached units shall be provided at a minimum of one plant per three feet of any building facade length with direct exposure to public right-of-way, private streets, common driveways or parking areas.
- Plant material shall be chosen based on the relationship of ultimate height and width with regard to the space in which planted. Layering of plant materials is encouraged. Taller plants shall be placed behind lower plants.
- Beds of plant material providing seasonal color are encouraged.
- Use of perennials, ornamental grasses and

Note: Images contained on this page are for illustrative purposes only.

hedges are highly encouraged.

- Shrubs shall be planted a minimum of three feet from building foundations.
- Architectural building corners should be softened with evergreen trees or plant masses of sufficient height to soften corners.
- All planting beds must be covered with shredded hardwood mulch at sufficient depth to cover the topsoil.
- Screening, either with plant material, fencing and/or berming shall be provided for all non residential mechanical equipment, trash storage and similar uses.

OPEN SPACE AND LANDSCAPE

PLANTING PALETTE

MATERIAL SELECTION

- Canopy Trees are to be used along the streetscape, in open space, and parking lot islands. These trees shall be large deciduous trees, 2"-2 1/2" at time of installation, that will grow to at least 30' height at maturity.
- Evergreen Trees are to be used along property lines to accent borders and to screen for privacy. The plant material are to grow to at least 15' at maturity. Evergreen trees are to be a minimum of 6'-7' height at installation.
- Ornamental Trees are to be used at key focal points to provide seasonal color. The growth habits of the plant material will assist in creating a vertical element in the landscape such trees will typically be around 20' in height at maturity.
- Shrubs selections are to be primarily evergreen to promote year round visual interest. Typically, deciduous shrubs are to be used as accent plantings, integrated into the planting beds at less prominent areas. The combination of two shrub types will help create the desired layering effect throughout the design.
- All plants shall conform to the American Standard for Nursery Stock as published by the American Association of Nurserymen.

Note: Images contained on this page are for illustrative purposes only.

| CANOPY TREES | |
|-----------------------|-------------------|
| SCIENTIFIC NAME | COMMON NAME |
| Acer rubrum var. | Red Maple |
| Acer saccharum | Sugar Maple |
| Fagus grandiflora | American Beech |
| Fagus sylvatica | European Beech |
| Fraxinus americana | White Ash |
| Nyssa sylvatica | Black Gum |
| Ostrya virginiana | Hophornbeam |
| Platanus x. acerfolia | London Planetree |
| Prunus sargentii | Sergeant's Cherry |
| Quercus alba | White Oak |
| Quercus coccinea | Scarlet Oak |
| Quercus palustris | Pin Oak |
| Quercus phellos | Willow Oak |
| Quercus rubra | Red Oak |
| Quercus shumardii | Shumard Oak |
| Tilia americana | American Linden |
| Tilia cordata | Littleleaf Linden |
| Ulmus americana | American Elm |
| Ulmus parviflora | Chinese Elm |
| Zelkova serrata | Japanese Zelkova |



| EVERGREEN TREES | |
|------------------------------|----------------------|
| SCIENTIFIC NAME | COMMON NAME |
| Cedrus atlantica | Atlas Cedar |
| Cryptomeria japonica | Japanese Cryptomeria |
| Cupressocyparis leylandii | Leyland Cypress |
| Ilex x 'attenuata' 'Fosteri' | Foster Holly |
| Ilex opaca | American Holly |
| Juniperus virginiana | Eastern Red Cedar |
| Magnolia grandifolia | Southern Magnolia |
| Magnolia sp. | Magnolia species |
| Pinus abies | Norway Spruce |
| Pinus nigra | Austrian Pine |
| Pinus taeda | Loblolly Pine |
| Pinus thunbergii | Japanese Black Pine |
| Pinus virginiana | Virginia Pine |
| Thuja occidentalis | American Arborvitae |
| Tsuga caroliniana | Carolina Hemlock |



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Prince William County, Virginia*

OPEN SPACE AND LANDSCAPE

PLANTING PALETTE

Note: Images contained on this page are for illustrative purposes only.

| ORNAMENTAL TREES | |
|----------------------------|-------------------|
| SCIENTIFIC NAME | COMMON NAME |
| Acer palmatum | Japanese Maple |
| Amelanchier spp. | Serviceberry |
| Betula nigra | River Birch |
| Carpinus caroliniana | American Hornbeam |
| Cercis canadensis | Eastern Redbud |
| Chionanthus virginicus | Fringe Tree |
| Cornus florida | Flowering Dogwood |
| Cornus Kousa | Kousa Dogwood |
| Lagerstromia indica | Crepe Myrtle |
| Prunus serrulata 'Kwanzan' | Kwanzan Cherry |
| Prunus yedoensis | Flowering Cherry |



| EVERGREEN SHRUBS | |
|------------------------|------------------|
| SCIENTIFIC NAME | COMMON NAME |
| Abelia grandiflora | Glossy Abelia |
| Ilex spp. | Holly |
| Juniperus horizontalis | Juniper |
| Pieris japonica | Japanese Pieris |
| Prunus laurocerasus | Skip Laurel |
| Rhododendron spp. | Azalea varieties |
| Taxus spp. | English Yew |

| DECIDUOUS SHRUBS | |
|------------------------|---------------------|
| SCIENTIFIC NAME | COMMON NAME |
| Calycanthus floridus | Carolina Allspice |
| Clethra alnifolia | Summersweet |
| Cornus sericea | Recluser Dogwood |
| Cotoneaster spp. | Cotoneaster |
| Forsythia x intermedia | Forsythia |
| Itea virginiana | Virginia Sweetspire |
| Hamamelis virginiana | Virginia Witchhazel |
| Rhododendron spp. | Azalea varieties |
| Viburnum spp. | Viburnum |



| GROUNDCOVERS | |
|------------------------|-------------|
| SCIENTIFIC NAME | COMMON NAME |
| Liriope muscari | Liriope |
| Hosta spp. | Hosta |
| Pachysandra terminalis | Pachysandra |



Design Guidelines, Devlin Community
Prince William County, Virginia

OPEN SPACE LANDSCAPE

RESIDENTIAL FENCING AND SCREENING



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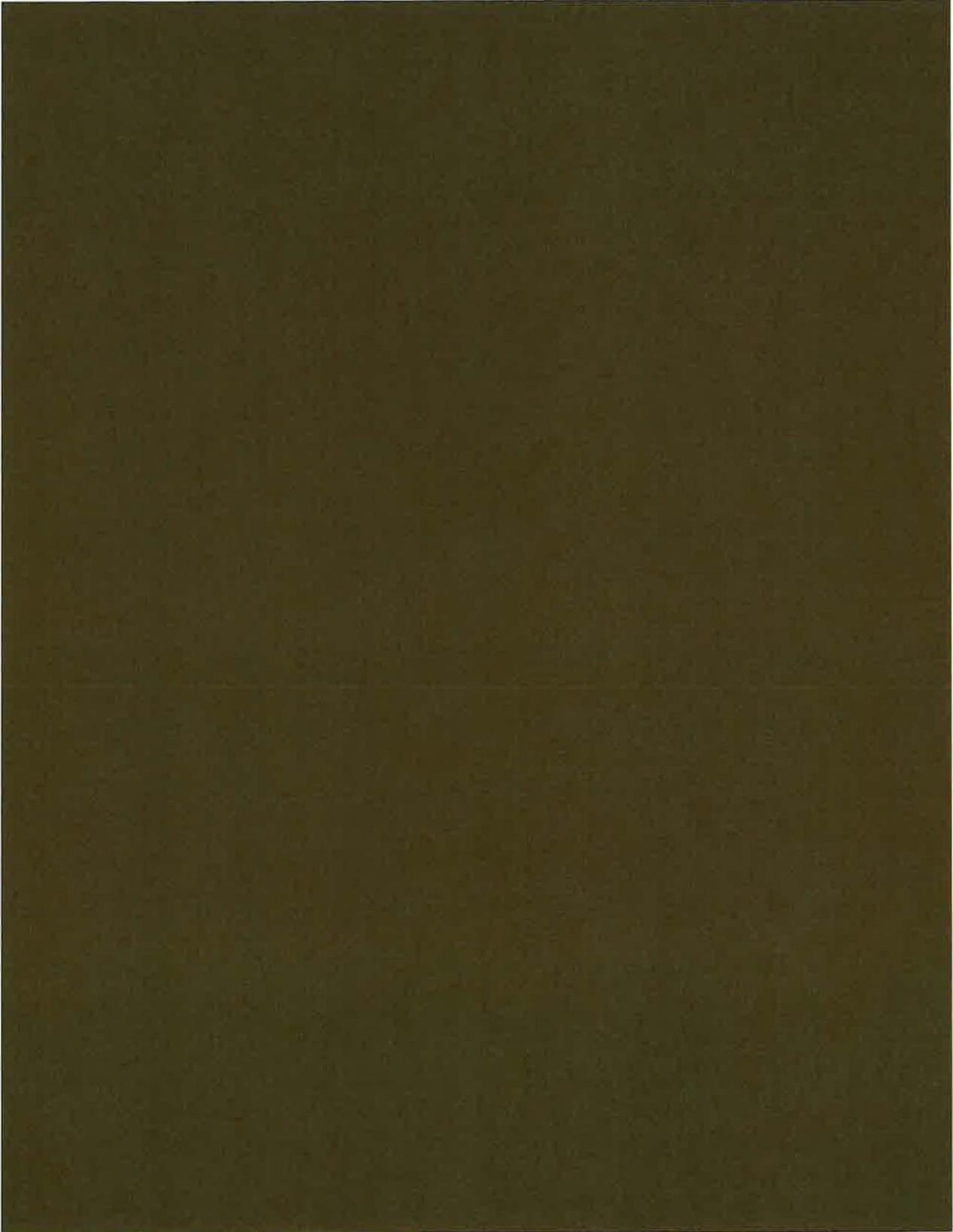
- Front Yard fencing where allowed, shall be a white picket style fence with a maximum height of 3 feet.
- Privacy Fencing is limited to the side and rear yards of single family attached units. Flush solid wood board fence style is acceptable with a maximum height of 6 feet. Alternating board on board, shadow, stockade style or dog ear style fencing is not acceptable. Exposed rails and posts shall be on the interior (residence side) of the fence. Fences shall include a cap board. Rear yard fencing for single family attached homes may extend no further than 1/2 way up the side yard.
- Chain link fencing is not permitted.

*Devlin Community, Design Guidelines
Prince William County, Virginia*

FULL SIZE ILLUSTRATIVE PLAN

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Environmental Constraints Analysis



Planning Commission Resolution

PLANNING COMMISSION RESOLUTION

MOTION: MCKAY **September 19, 2018**
SECOND: HOLLEY **Regular Meeting**
RE: REZONING #REZ2016-00029, DEVLIN ROAD REZONING **Res. No. 18-082**
ACTION: RECOMMEND DENIAL

WHEREAS, this is a request to rezone ±269.9 acres from A-1, Agricultural, to PMR, Planning Mixed Residential, to allow for the development of a maximum of 551 single family detached units; and

WHEREAS, the site is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch. The site is identified on County maps as GPIN 7496-65-4921 (pt); and

WHEREAS, the site is zoned A-1, Agricultural, and is subject to proffers dated August 23, 2018. The site is partially located in the Airport Safety Overlay District; and

WHEREAS, the site is designated SRL, Suburban Residential Low, and ER, Environmental Resource, in the Comprehensive Plan; and

WHEREAS, the Prince William County Planning Commission duly ordered, advertised, and held a public hearing on September 19, 2018; and

WHEREAS, the Prince William County Planning Commission believes that public general welfare as well as good planning practices are served by the approval of this request;

NOW, THEREFORE, BE IT RESOLVED that the Prince William County Planning Commission does hereby recommend denial of Rezoning #REZ2016-00029, Devlin Road, subject to the Proffers dated August 23, 2018.

Planning Commission Resolution

September 19, 2018
Regular Meeting
Res. No. 18-082
Page 2

Votes:

Ayes: Holley, McKay

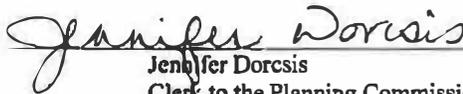
Nays: Berry, Bryant, Fry, Milne, Taylor, Vanegas

Absent from Vote: None

Absent from Meeting: None

MOTION FAILED

Attest:


Jennifer Dorcsis

Clerk to the Planning Commission

Planning Commission Resolution

PLANNING COMMISSION RESOLUTION

MOTION: MCKAY **September 19, 2018**
SECOND: FRY **Regular Meeting**
RE: REZONING #REZ2016-00029, DEVLIN ROAD REZONING **Res. No. 18-083**
ACTION: DEFER TO DATE CERTAIN – DECEMBER 5, 2018

WHEREAS, this is a request to rezone ≈269.9 acres from A-1, Agricultural, to PMR, Planning Mixed Residential, to allow for the development of a maximum of 551 single family detached units; and

WHEREAS, the site is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch. The site is identified on County maps as GPIN 7496-65-4921 (pt); and

WHEREAS, the site is zoned A-1, Agricultural, and is subject to proffers dated August 23, 2018. The site is partially located in the Airport Safety Overlay District; and

WHEREAS, the site is designated SRL, Suburban Residential Low, and ER, Environmental Resource, in the Comprehensive Plan; and

WHEREAS, the Prince William County Planning Commission duly ordered, advertised, and held a public hearing on September 19, 2018; and

WHEREAS, the Prince William County Planning Commission believes that public general welfare as well as good planning practices are served by the approval of this request;

NOW, THEREFORE, BE IT RESOLVED that the Prince William County Planning Commission does hereby recommend defer to date certain – December 5, 2018 of Rezoning #REZ2016-00029, Devlin Road, subject to the Proffers dated August 23, 2018.

Planning Commission Resolution

September 19, 2018
Regular Meeting
Res. No. 18-083
Page 2

Votes:

Ayes: Berry, Holley, McKay

Nays: Bryant, Fry, Milne, Taylor, Vanegas

Absent from Vote: None

Absent from Meeting: None

MOTION FAILED

Attest: 

Jennifer Dorcsis
Clerk to the Planning Commission

Planning Commission Resolution

PLANNING COMMISSION RESOLUTION

MOTION: MILNE **September 19, 2018**
SECOND: BRYANT **Regular Meeting**
RE: REZONING #REZ2016-00029, DEVLIN ROAD REZONING **Res. No. 18-084**
ACTION: RECOMMEND APPROVAL

WHEREAS, this is a request to rezone ±269.9 acres from A-1, Agricultural, to PMR, Planning Mixed Residential, to allow for the development of a maximum of 551 single family detached units; and

WHEREAS, the site is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch. The site is identified on County maps as GPIN 7496-65-4921 (pt); and

WHEREAS, the site is zoned A-1, Agricultural, and is subject to proffers dated August 23, 2018. The site is partially located in the Airport Safety Overlay District; and

WHEREAS, the site is designated SRL, Suburban Residential Low, and ER, Environmental Resource, in the Comprehensive Plan; and

WHEREAS, the Prince William County Planning Commission duly ordered, advertised, and held a public hearing on September 19, 2018; and

WHEREAS, the Prince William County Planning Commission believes that public general welfare as well as good planning practices are served by the approval of this request;

NOW, THEREFORE, BE IT RESOLVED that the Prince William County Planning Commission does hereby recommend approval of Rezoning #REZ2016-00029, Devlin Road, subject to the Proffers dated August 23, 2018, and with the following recommendations prior to the Board of County Supervisor's Public Hearing:

1. Increase lot sizes to be comparable to the surrounding communities of Sheffield Manor, Lanier Farms – 10,000 square foot lot minimum.
2. Revise the schools impact statement that they be updated to reflect what the current state is.
3. Transportation proffer – Complete Devlin Road improvements before occupancy permits are issued for other landbays (before occupancy of units in 2nd laybay).
4. Consider the construction of a trail along Devlin Road from University Blvd. to Linton Hall Rd.
5. Reword Proffer #13 – Eminent domain language to be revised to require payment of LOS monies in the event the road cannot be built because of inability to obtain necessary ROW.
6. Provide interparcel connection to Bristow Commons shopping center.

Planning Commission Resolution

September 19, 2018
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Res. No. 18-084
Page 2

7. Provide pedestrian connection to Chris Yung Elementary School
8. Identify bus stop location
9. Work with staff regarding tree save area along Linton Hall Road
10. Increase distance between house/lots and the utility easement per staff's comment
11. Increase the open space to ensure 30% of qualified open space provided
12. Continue to work with Commissioner McKay to address her concerns.

Votes:

Ayes: Berry, Bryant, Fry, Milne, Vanegas, Taylor

Nays: McKay

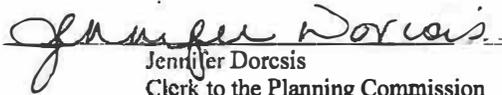
Absent from Vote: None

Absent from Meeting: None

Abstain from Vote: Holley

MOTION CARRIED

Attest: _____


Jennifer Dorcsis
Clerk to the Planning Commission



Devlin Road Rezoning REZ2016-00029

Brentsville Magisterial District

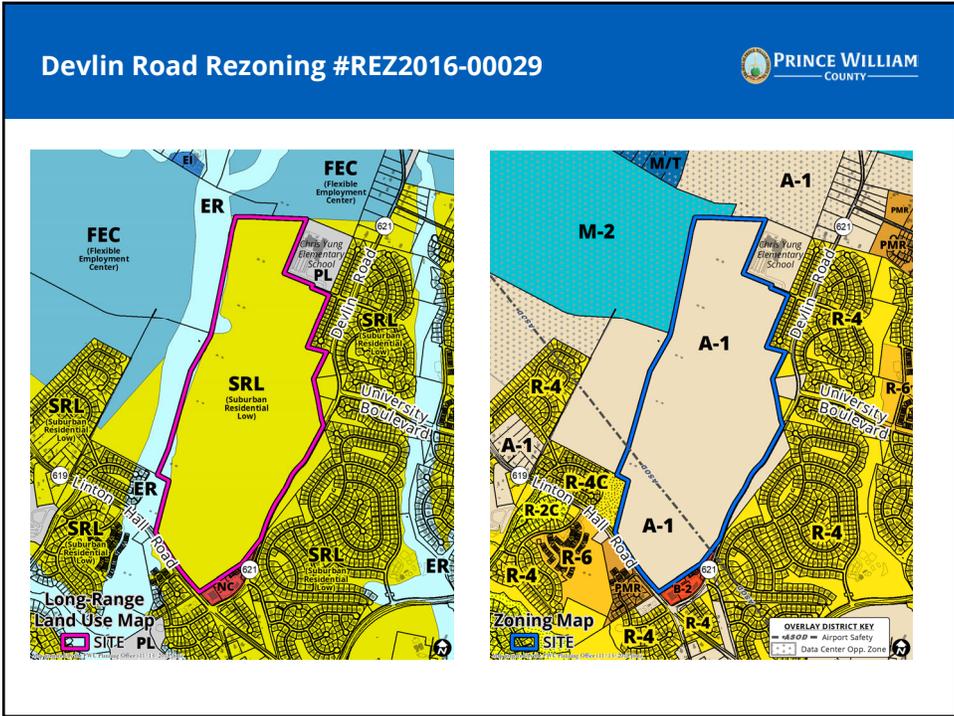
Stephen L. Donohoe, AICP
Planning Office

Devlin Road Rezoning #REZ2016-00029



- REZ Request –To rezone ±269.9 acres from A-1, Agricultural, to PMR, Planned Mixed Residential, to allow for the development of a maximum of 516 single-family detached units
- Location – The site is located on the north side of Linton Hall Rd., generally between Devlin Rd. and Piney Branch. The site extends northward from Linton Hall Rd. to the general area of Chris Yung Elementary School.
- Recommendation - Approval



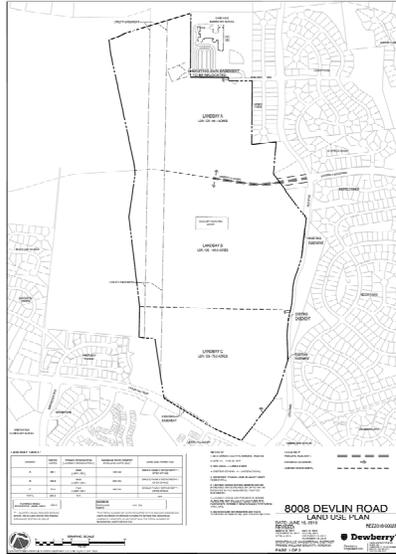


Devlin Road Rezoning #REZ2016-00029


PRINCE WILLIAM COUNTY

| Uses/Features | Existing | Proposed |
|-------------------|---|--|
| Zoning | A-1, Agricultural - ±269.9 acres | PMR, Planned Mixed Residential – LDR / OS, Low Density Residential / Open Space ±269.9 acres |
| Use(s) | Vacant | Up to 516 single family detached dwelling units |
| Uses/Features | Required (PMR District) | Proposed |
| Density | PMR (Low Density Residential, LDR/OS) = 1 - 4 dwelling units per acre (d/u/acre) | Gross: PMR – LDR/OS = ±1.91 d.u./acre Net: Per Comprehensive plan (less the ER of 23.2 acres) = ±2.09 d.u./acre |
| Open Space | 30% required (±81.0 acres) per PMR development standards | 40.3% of site (±108.9 acres, which includes utility easement) 30.3% (±81.7 acres) – Provided w/exclusion of easement |

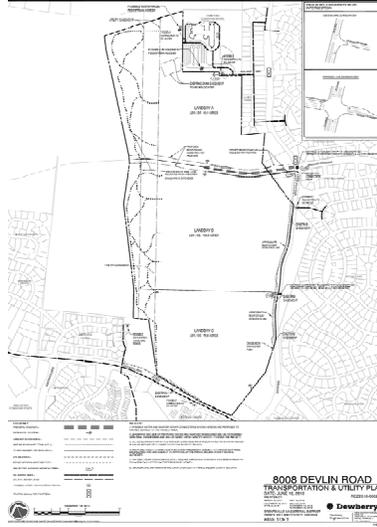
Devlin Road Rezoning #REZ2016-00029



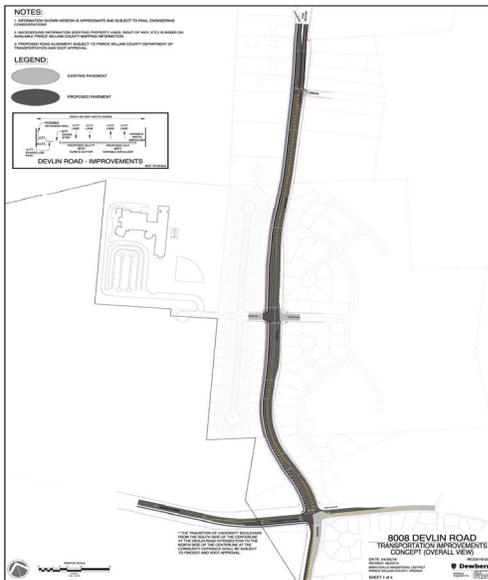
Devlin Road Rezoning #REZ2016-00029



Devlin Road Rezoning #REZ2016-00029



Devlin Road Rezoning #REZ2016-00029



Devlin Road Rezoning #REZ2016-00029



Devlin Road Rezoning #REZ2016-00029



Devlin Road Rezoning #REZ2016-00029



RESIDENTIAL ARCHITECTURE

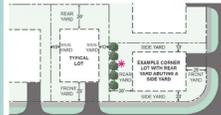
SINGLE - FAMILY DETACHED DWELLINGS: CLUSTER HOUSE

DESCRIPTION
This dwelling type consists of fully detached, single-family residences located on individual lots.

* A minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

| LOT LAYOUT STANDARDS | DIMENSIONS |
|---|------------|
| Minimum Lot Area | 7,200 SF |
| Maximum Lot Coverage | 0.45 |
| Maximum Building Height | 35 |
| MINIMUM SETBACKS | |
| Front | 25 |
| Side | 10 |
| Corner Lot (Side) | 20 |
| Rear Lot Line to House | 20 |
| * Rear Lot Line to House, When Rear Lot Line Abuts the Side Yard of the Adjacent Lot. | 30 |
| UN-ROOFED DECKS, STOOPS, LANDINGS, AND SIMILAR FEATURES | |
| Front | 15 |
| Side | 5 |
| Corner Side | 20 |
| Rear | 5 |
| Rear abutting side yard | 15 |
| Minimum Lot Width | 70 |

CLUSTER HOUSE SETBACK DIAGRAM



When a rear yard abuts a side yard a minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

* Dimensions shown depict the minimum depth of the side, front, or rear yard.

SINGLE - FAMILY DETACHED DWELLINGS: CLUSTER HOUSE

Devlin Community, Design Guidelines
Prince William County, Virginia

Devlin Road Rezoning #REZ2016-00029



RESIDENTIAL ARCHITECTURE

SINGLE - FAMILY DETACHED DWELLING: REDUCED SETBACK HOUSE

DESCRIPTION
This dwelling type consists of a single-family, fully detached residence located on an individual lot which is set not closer than twenty feet from the front lot line.

* A minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

| LOT LAYOUT STANDARDS | DIMENSIONS |
|---|------------|
| Minimum Lot Area | 7,200 SF |
| Maximum Lot Coverage | 0.50 |
| Maximum Building Height | 35 |
| MINIMUM SETBACKS | |
| Front | 20 |
| Side | 10 |
| Corner Lot (Side) | 20 |
| Rear | 30 |
| * Rear Lot Line to House, When Rear Lot Line Abuts the Side Yard of the Adjacent Lot. | 20 |
| UN-ROOFED DECKS, STOOPS, LANDINGS, AND SIMILAR FEATURES | |
| Front | 15 |
| Side | 5 |
| Corner Side | 20 |
| Rear | 5 |
| Rear abutting side yard | 15 |
| Minimum Lot Width | 70 |

REDUCED SETBACK HOUSE DIAGRAM



When a rear yard abuts a side yard a minimum of five Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

* Dimensions shown depict the minimum depth of the side, front, or rear yard.

Design Guidelines, Devlin Community
Prince William County, Virginia

SINGLE - FAMILY DETACHED DWELLING: REDUCED SETBACK HOUSE

Devlin Road Rezoning #REZ2016-00029



RESIDENTIAL ARCHITECTURE

SINGLE - FAMILY DETACHED DWELLING: VILLAGE HOUSE

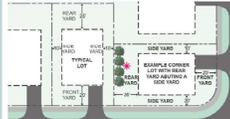
DESCRIPTION

This dwelling type is a single-family residence which is fully detached from neighboring structures. The village house is distinguished by small front and side yards.

* A minimum of four Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

| LOT LAYOUT STANDARDS | DIMENSIONS |
|---|------------|
| Minimum Lot Area | 6,000 SF |
| Maximum Lot Coverage | 0.60 |
| Maximum Building Height | 35 |
| MINIMUM SETBACKS | |
| Front | 20 |
| Side | 10 |
| Corner Lot (Side) | 20 |
| Rear | 25 |
| * Rear Lot Line To House, When Rear Lot Line Abuts The Side Yard Of The Adjacent Lot. | 35 |
| UN-ROOFED DECKS, STOOPS, LANDINGS, AND SIMILAR FEATURES | |
| Front | 15 |
| Side | 5 |
| Corner Side | 20 |
| Rear | 8 |
| Rear abutting side yard | 18 |
| Minimum Lot Width | 60 |

VILLAGE HOUSE SETBACK DIAGRAM



* When a rear yard abuts a side yard a minimum of four Redcedar, Holly, or equivalent native evergreen trees shall be planted along the rear lot line.

* Dimensions shown depict the minimum depth of the side, front, or rear yard.

24 |

Devlin Community Design Guidelines
Prince William County, Virginia

Devlin Road Rezoning #REZ2016-00029



OPEN SPACE AND LANDSCAPE

ECCO PARK



OPEN SPACE AND LANDSCAPE

DOG PARK AND BASKETBALL COURT



OPEN SPACE AND LANDSCAPE

UPPER ACTIVITY PARK



OPEN SPACE AND LANDSCAPE

PERFORMANCE AREA



OPEN SPACE AND LANDSCAPE

LOWER ACTIVITY PARK



Devlin Road Rezoning #REZ2016-00029



OPEN SPACE AND LANDSCAPE

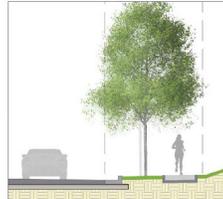
PEDESTRIAN CIRCULATION SECTIONS

Note: Images contained on this page are for illustrative purposes only.

10 FT SHARED-USE PATH

5 FT PEDESTRIAN SIDEWALK

SCENIC COMMUNITY TRAIL



Design Guidelines, Devlin Community
Prince William County, Virginia

PEDESTRIAN CIRCULATION SECTIONS

Devlin Road Rezoning #REZ2016-00029





Devlin Road Rezoning #REZ2016-00029

 PRINCE WILLIAM COUNTY

Planning Commission Recommendation: Approval of Rezoning #REZ2016-00029, Devlin Road Rezoning, subject to the proffers dated August 23, 2018, with the following considerations:

- Increase lot sizes to be comparable to the surrounding communities of Sheffield Manor, Lanier Farms – 10,000 SF lot minimum
- Revise the schools impact statement in light of all that is occurring with the CIP
- Transportation proffer – Complete Devlin Road improvements before occupancy permits are issued for other landbays (before occupancy of units in 2nd landbay)
- Consider the construction of a trail along Devlin Road from University Blvd. to Linton Hall Rd.
- Reword Proffer #13 - Eminent domain language to be revised to require payment of LOS \$ in the event the road cannot be built because of inability to obtain necessary ROW
- Provide interparcel connection to Bristow Commons shopping center
- Provide pedestrian connection to Chris Yung Elementary school
- Identify bus stop location
- Work with staff regarding tree save area along Linton Hall Road
- Increase distance between house/lots and the utility easement per staff's comment
- Increase the open space to ensure 30% of qualified open space provided
- Continue to work with Commissioner McKay to address her concerns

Devlin Road Rezoning #REZ2016-00029



- **Staff Recommendation:** Staff recommends approval of Rezoning #REZ2016-00029, Devlin Road Rezoning, subject to the proffers dated February 25, 2020, for the following reasons:
 - ❖ The requested PMR - Low Density Residential zoning district, implements the SRL Long Range Land Use designation of the Comprehensive Plan.
 - ❖ The proffered design guidelines for the project implement the Community Design Plan.
 - ❖ Considerable off-site transportation and pedestrian improvements are proposed that will be a benefit to the overall area.
 - ❖ The project addresses level of service impacts in accordance with guidelines in effect at the time the application was submitted.